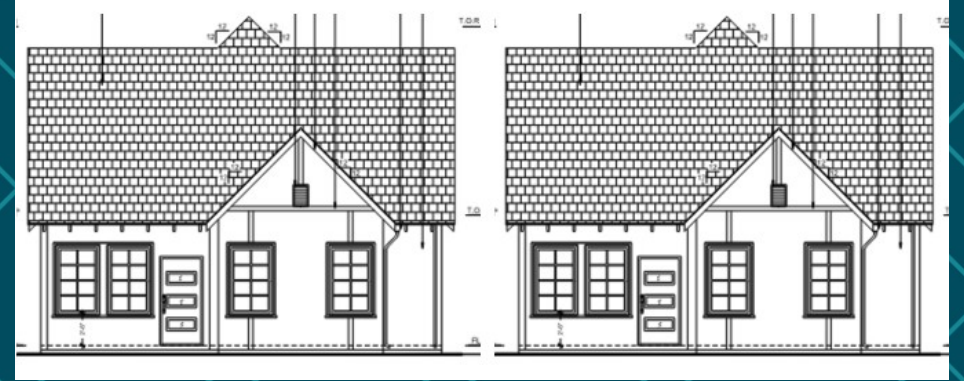


Like-for-Like Rebuilds

And Why it Matters

Rebuilding Together Workshop
May 17, 2025 / 10 am – 12 pm

Like-for-Like



Like-for-like rebuilds are projects that intend to rebuild a structure of the same size, in the same location and for the same purpose as the previous structure that was located on the property but has since been destroyed by wildfire.

Like-for-Like rebuilds offer an expedited timeline, exemptions from compliance with the Zoning Code, and reduced fees.

What is Zoning?



What is Like-for-Like

Rebuilding within 10% of what existed previously

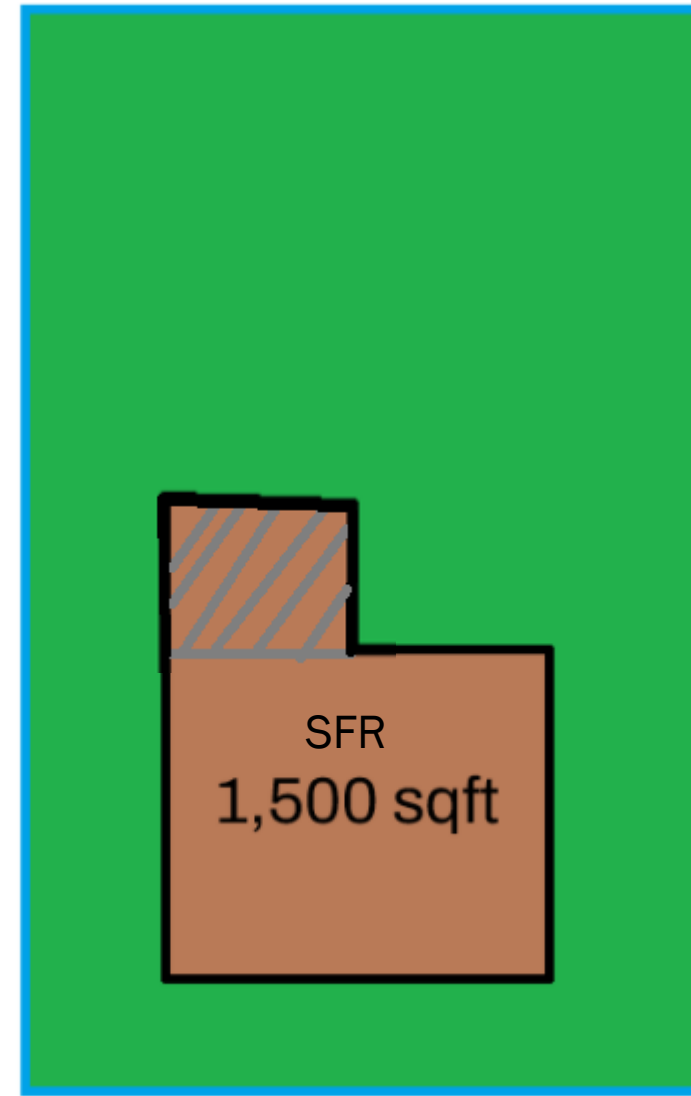
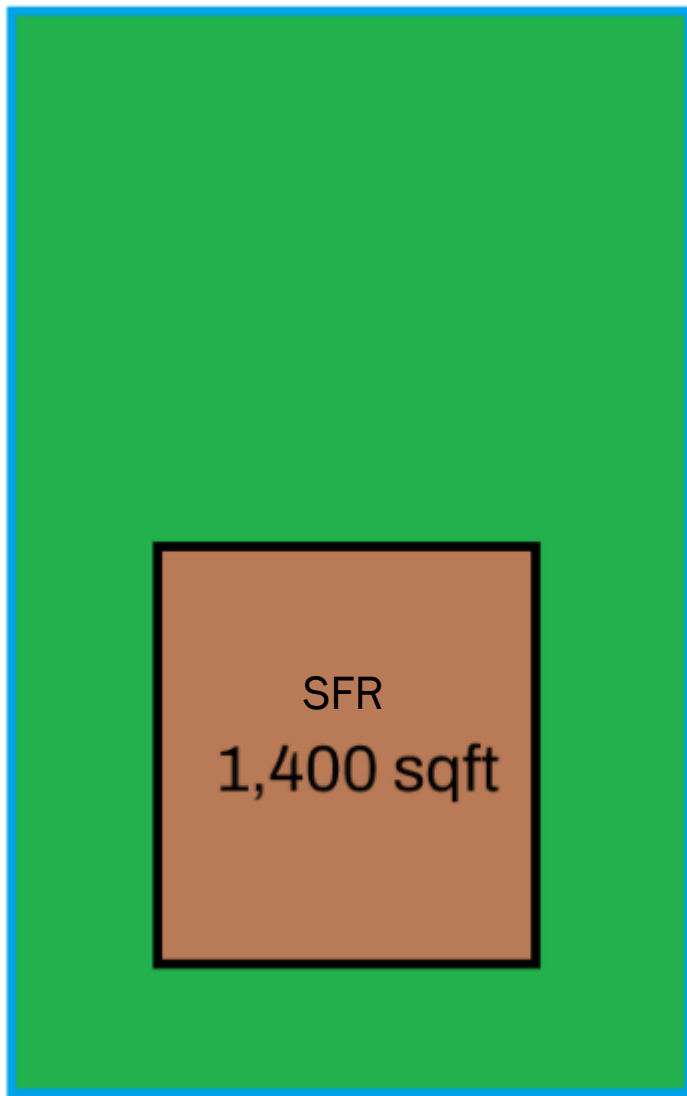
- Applies to height, size, bulk, footprint, square-footage.
- Not concerned with internal floor plan, room count, or ceiling height.
- *In Altadena only*: 200 square-foot increase is allowed on a building-by-building and use-by-use basis.
- Does not need to come into compliance with the Zoning Code, but cannot go further out of compliance.
- New ADU + SFR or standalone ADU is allowed and subject to the ADU requirements.

What would be like-for-like

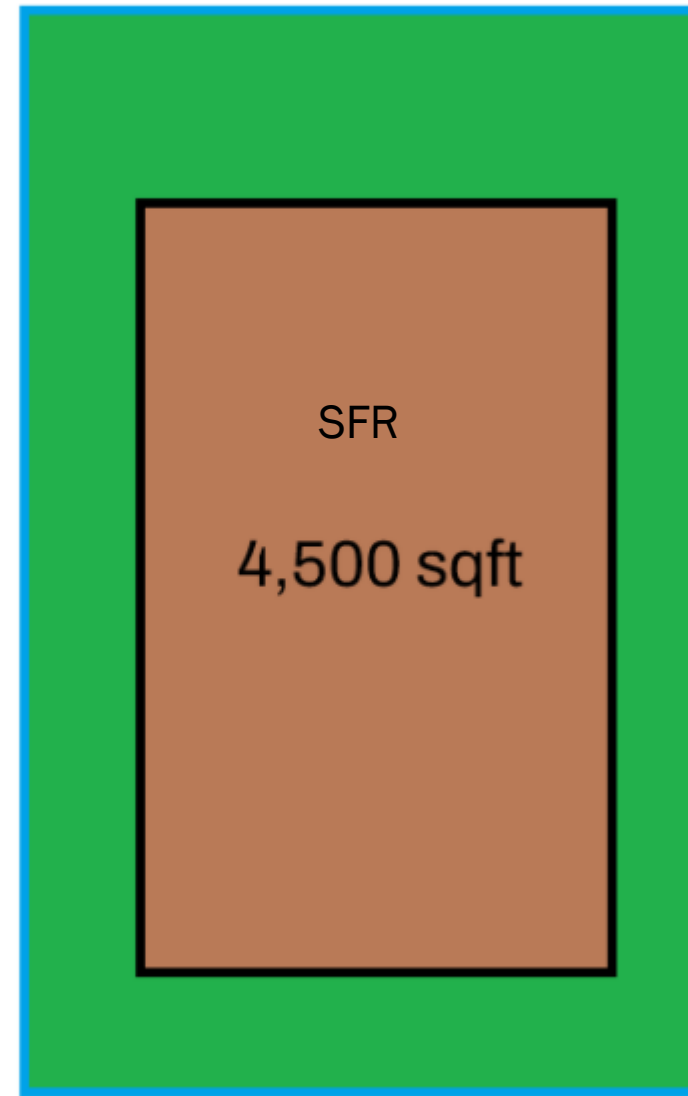
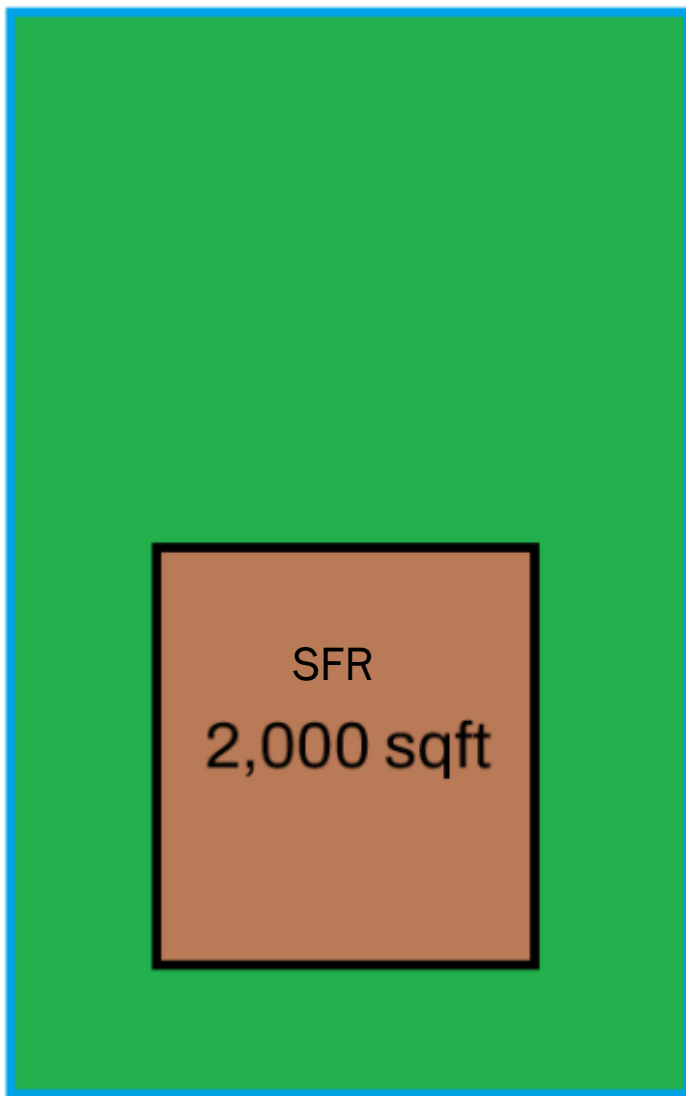
- A house increasing from 1,000 sqft to 1,200 sqft.
- Expanding a one-car garage to a two-car garage.
- Converting a garage into a carport or vis versa
- Proposing a new ADU (attached or detach or stand-alone).
- Changing the location of the driveway.
- Changing the pitch of the roof within previous height.
- Vaulting an internal ceiling.
- Changing architectural style.
- Unenclosed porch/patio

What would **not** be like-for-like

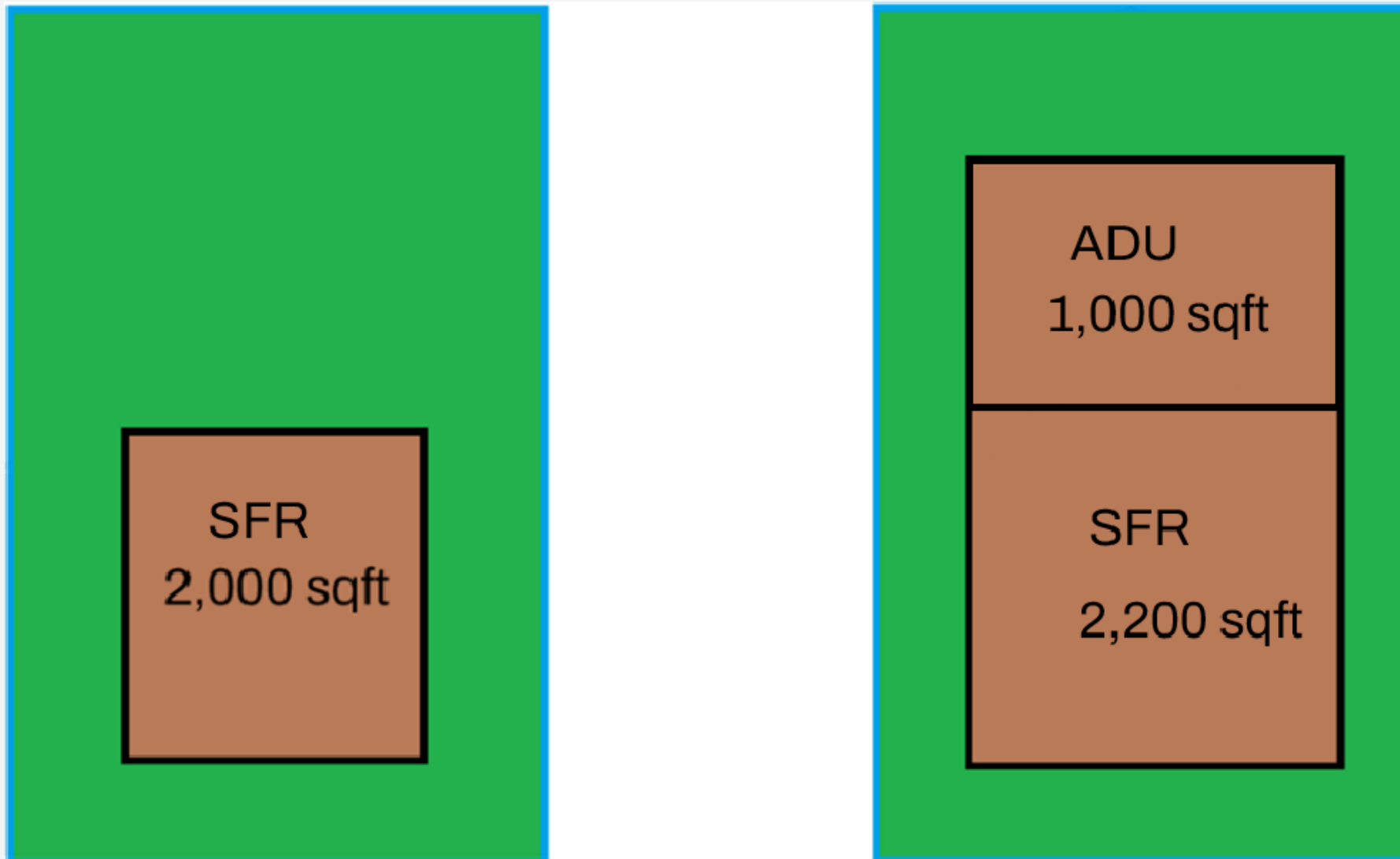
- A house increasing from 1,000 sqft to 2,200 sqft.
- Splitting a single unit into a duplex.
- Proposing an SB-9 unit/lot split.
- Moving a residence to the opposite side of the property.
- Splitting a single building into multiple buildings.
- Pre-Approved Plans – may qualify for like-for-like rebuilds in some circumstances:
 - Design must substantially meet square footage, footprint, height, and location of the lost structure
 - A maximum 200 square foot or 10% addition, whichever is greater, is allowed
 - Like-for-like does not apply to a residence's design style
 - Like-for-like applies to zoning requirements only



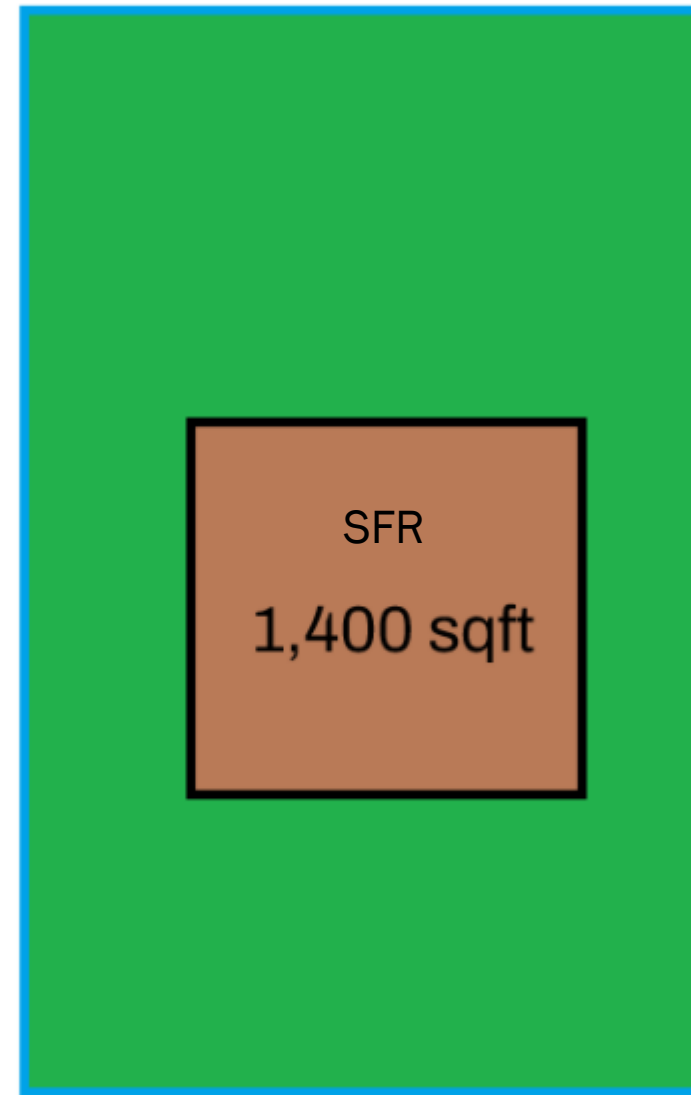
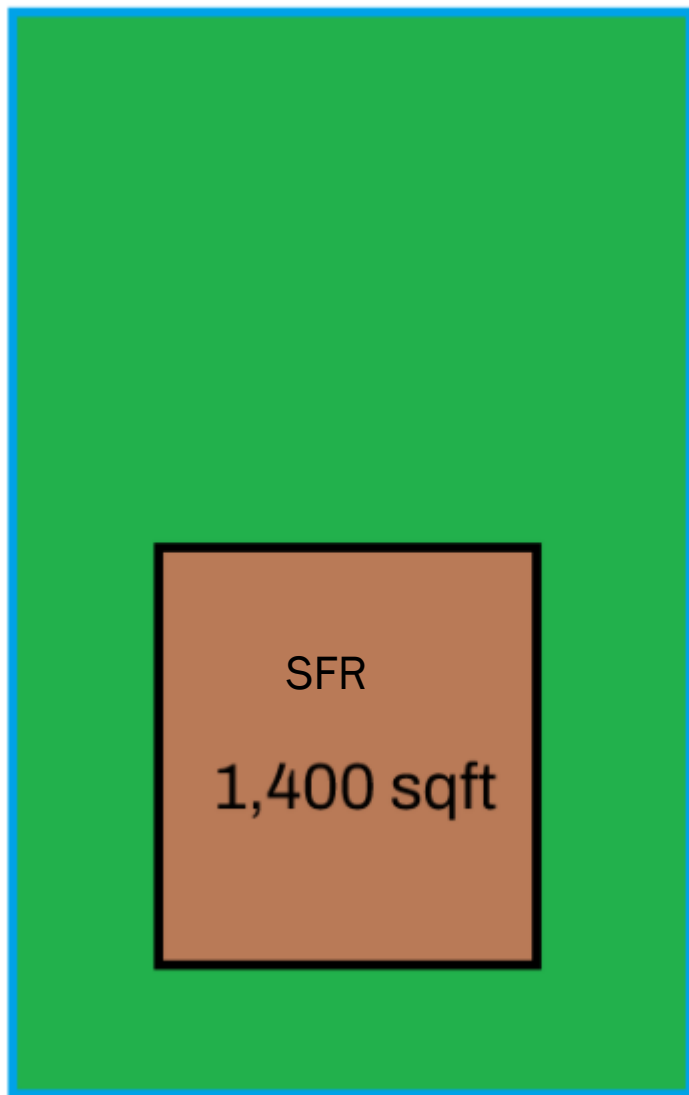
Like-for-Like



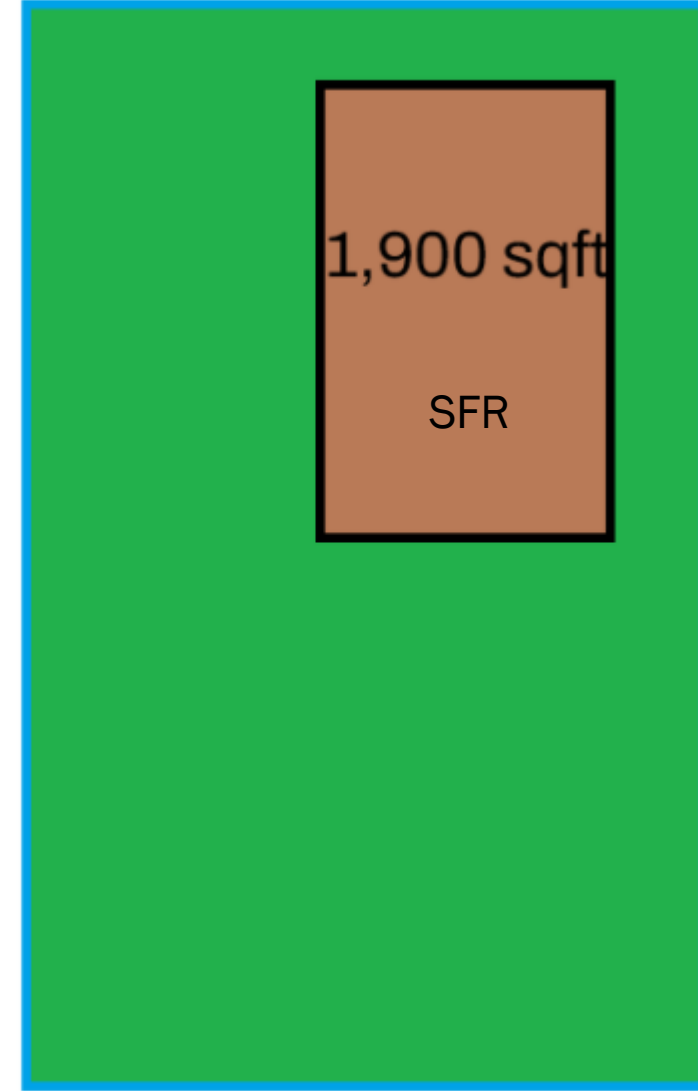
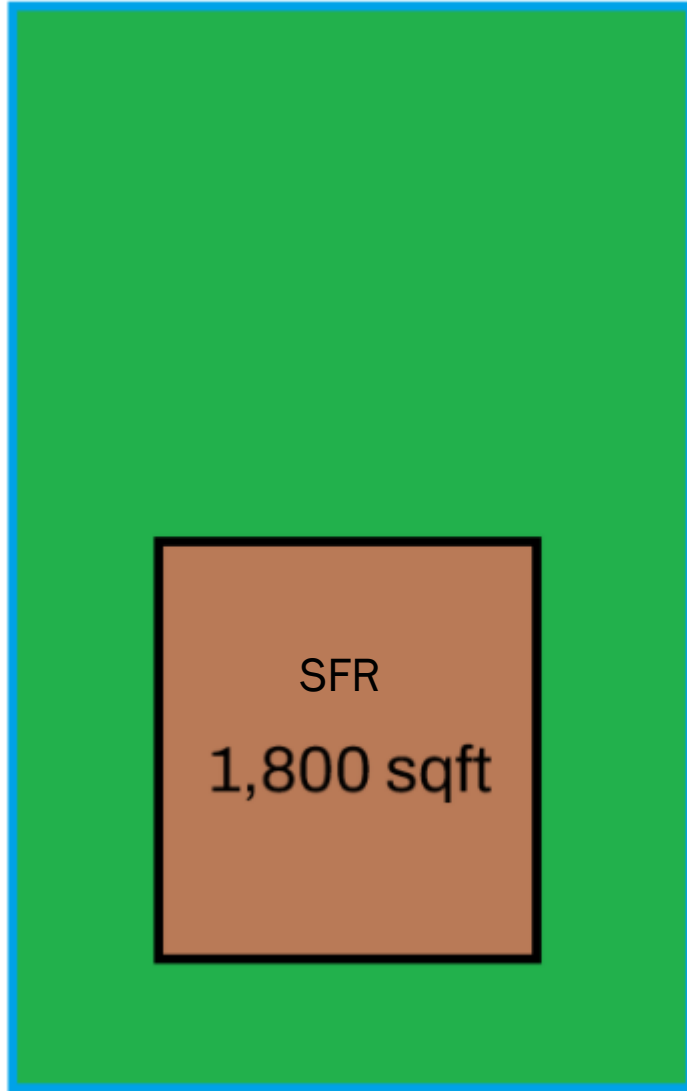
Non-Like-for-Like



Like-for-Like



Like-for-Like



Non-Like-for-Like

SITE PLAN (EXAMPLE ONLY)

R-1 ZONE

YARD SETBACK REQUIREMENTS

FRONT YARD (22.306.070.A.1)

- ☐ 20' for all disaster recovery rebuilds.
- ☐ NOTE: Setback District supersedes the CSD

SIDE YARD

- ☐ 10% of the average width of the lot or parcel, but in no case less than (22.306.070A.1)
 - ☐ 5' for interior and corner side yards; and
 - ☐ 10' for reverse corner side yards (whichever is greater).

REAR YARD (depends on lot size) (see 22.306.070.A.1)

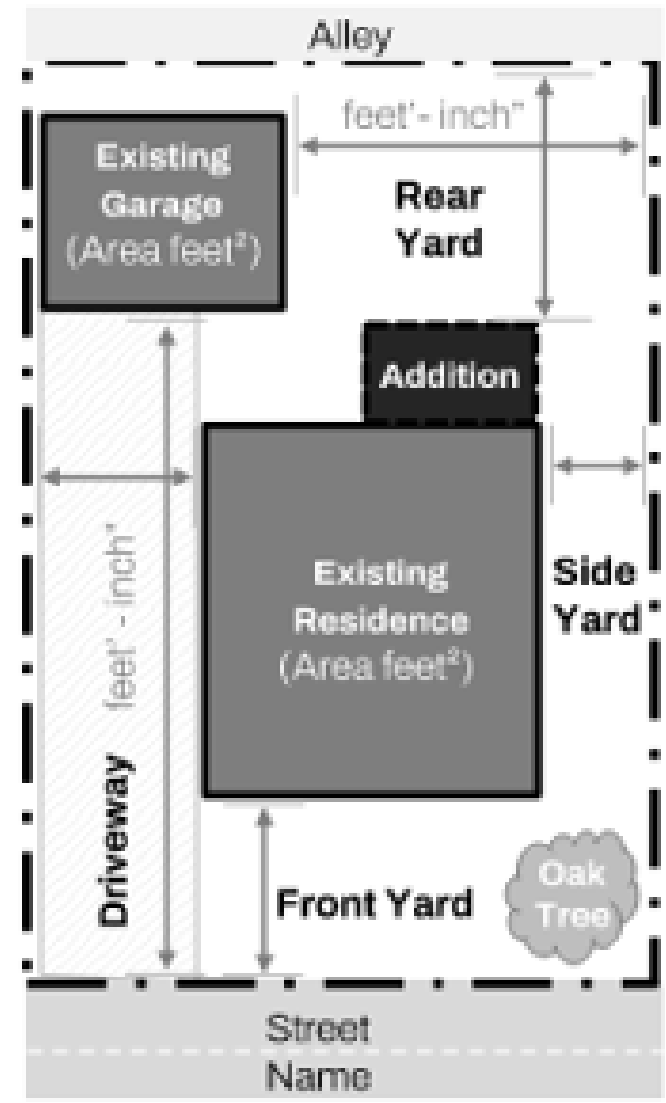
☐ Rear Yard Setbacks:

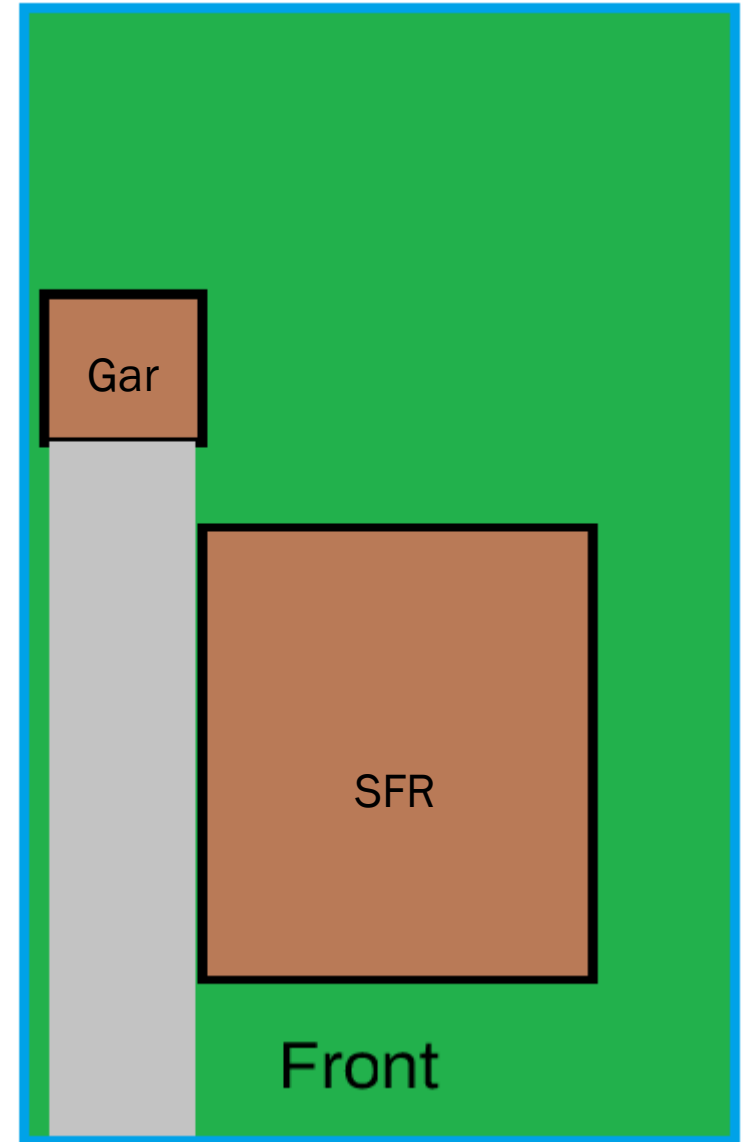
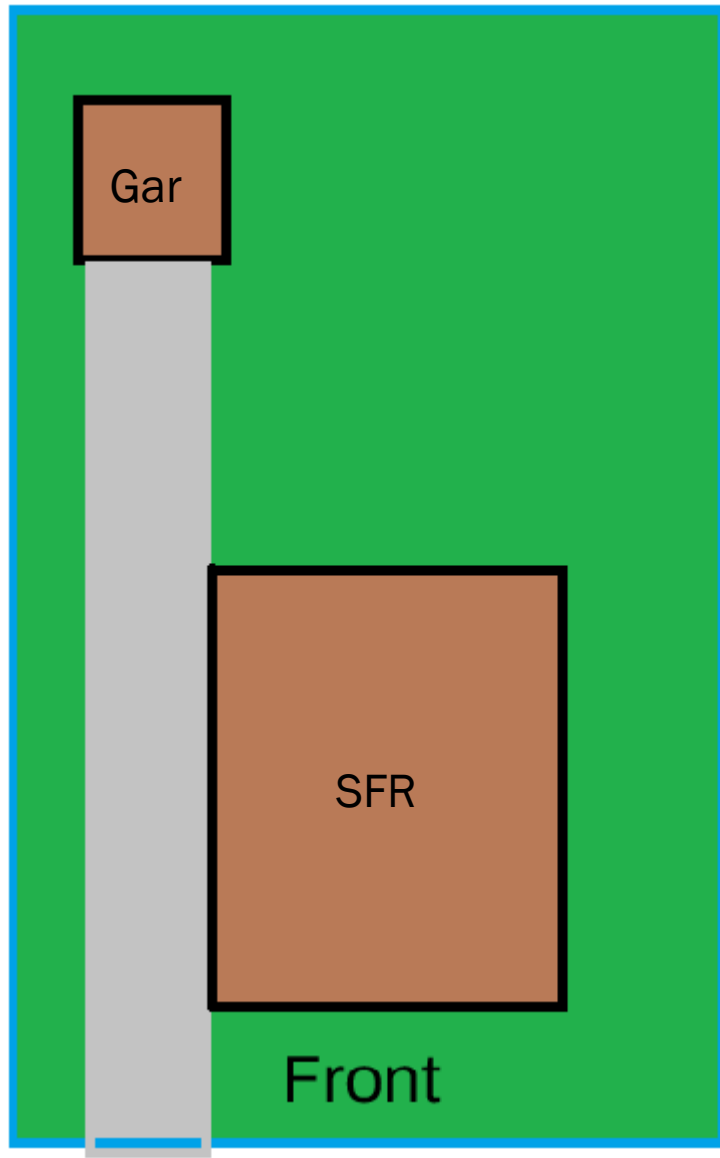
Less than 20,000 sq. ft.	25'
Equal or greater than 20,000 sq. ft.	35'

Where a lot is less than 75 feet in depth, such lot may have a rear yard equal to 20 percent of the average depth, but in no event less than 10 feet in depth. (22.110.080.D)

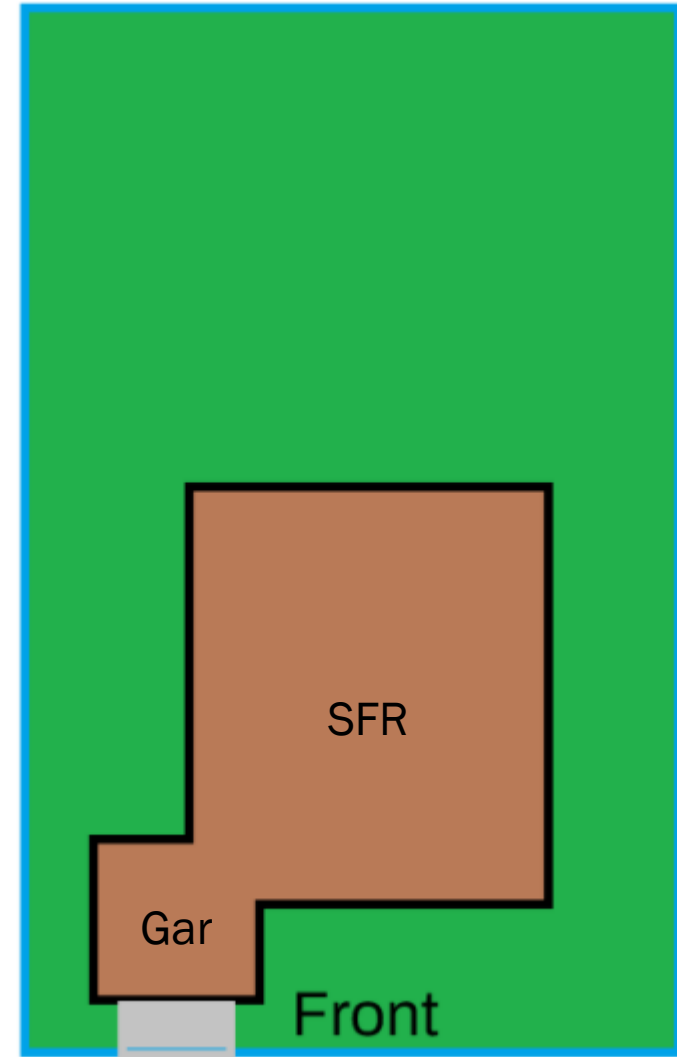
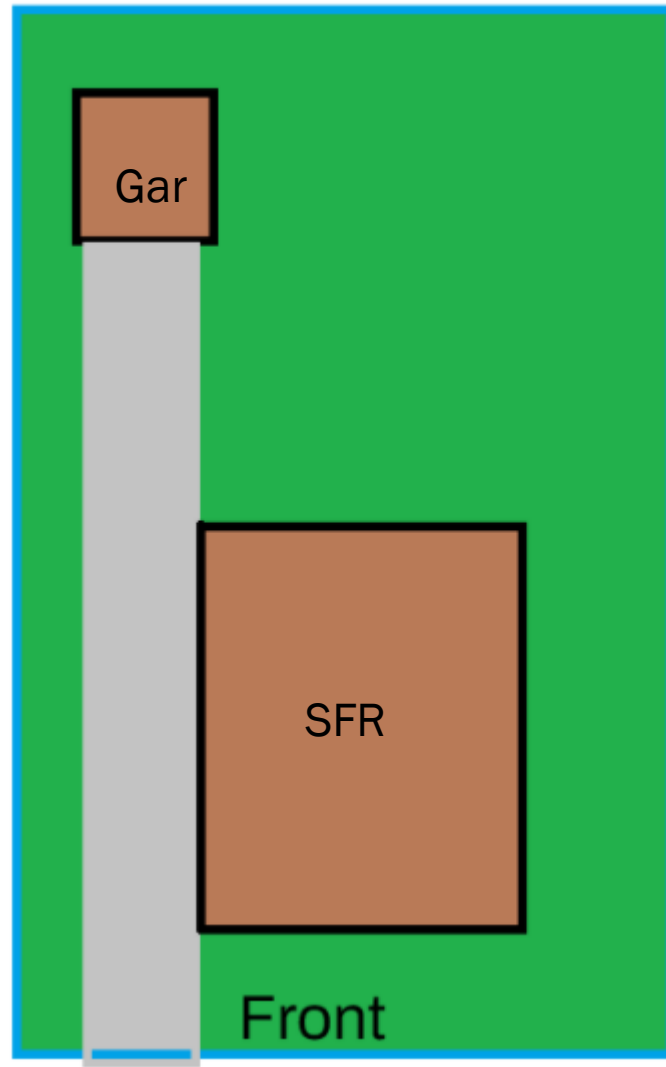
FLAG LOT SETBACKS

- ☐ Uniform 10' setback is permissible

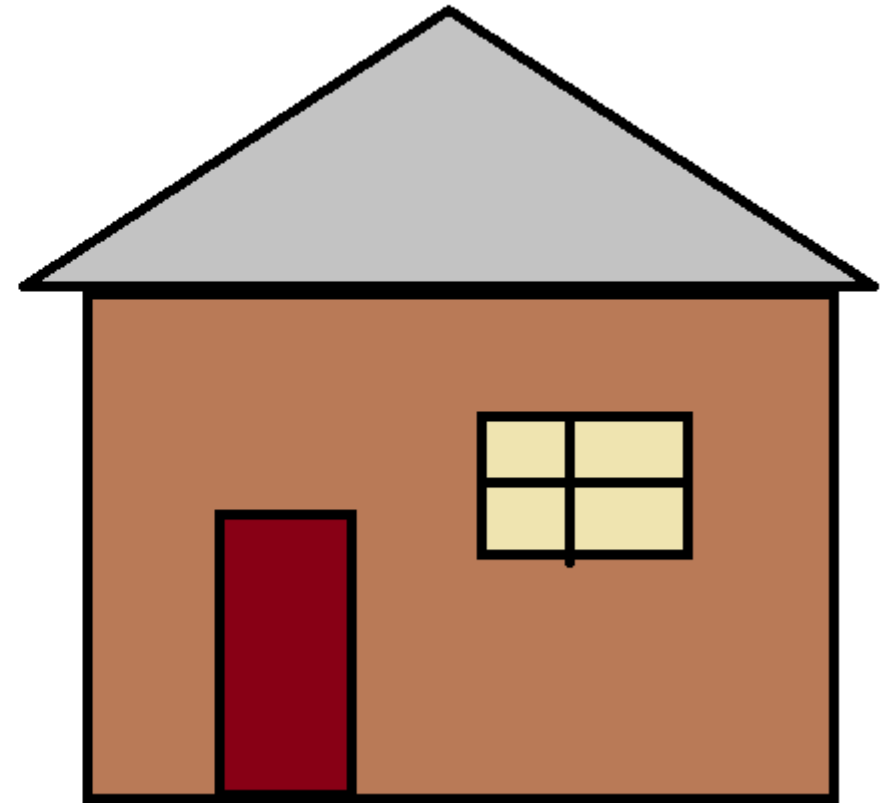
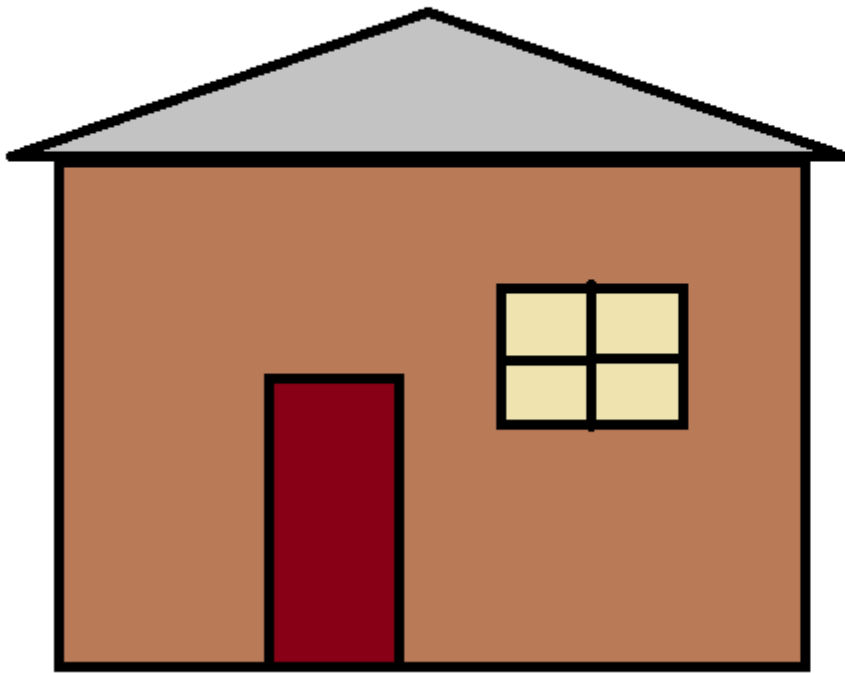




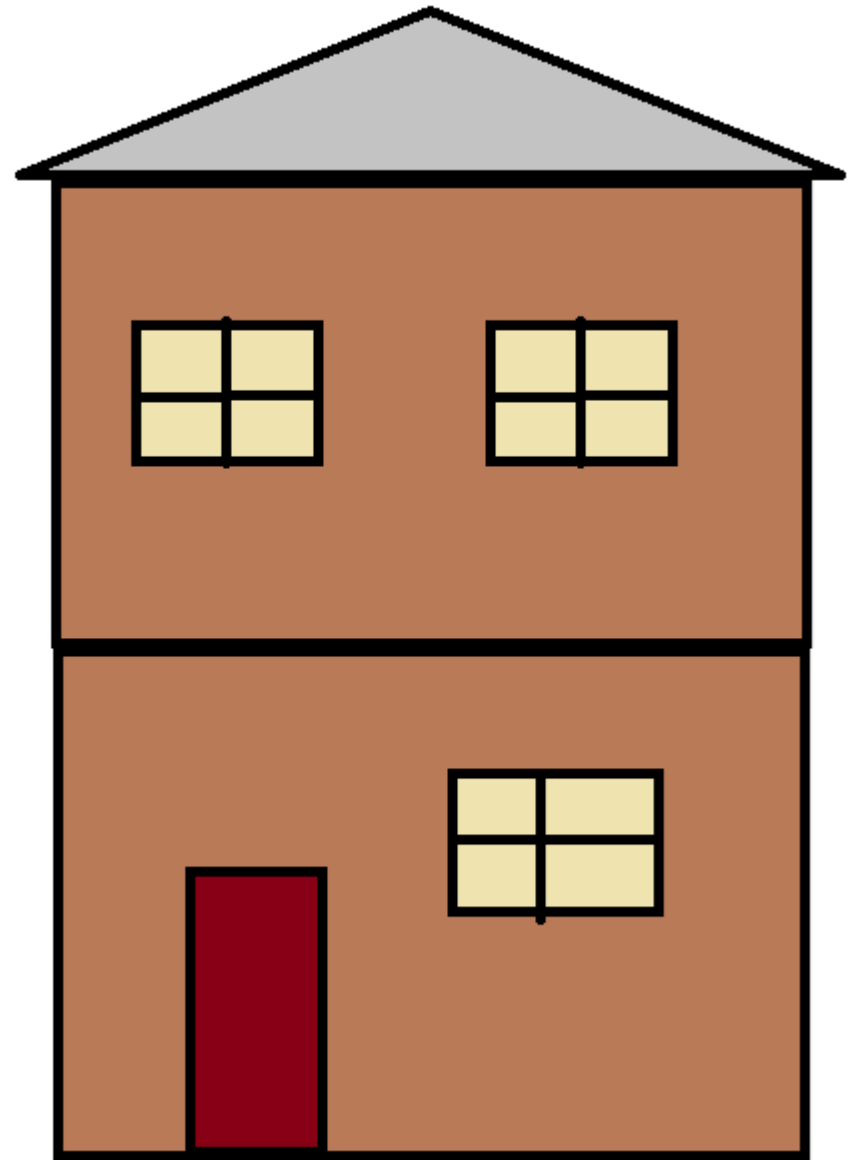
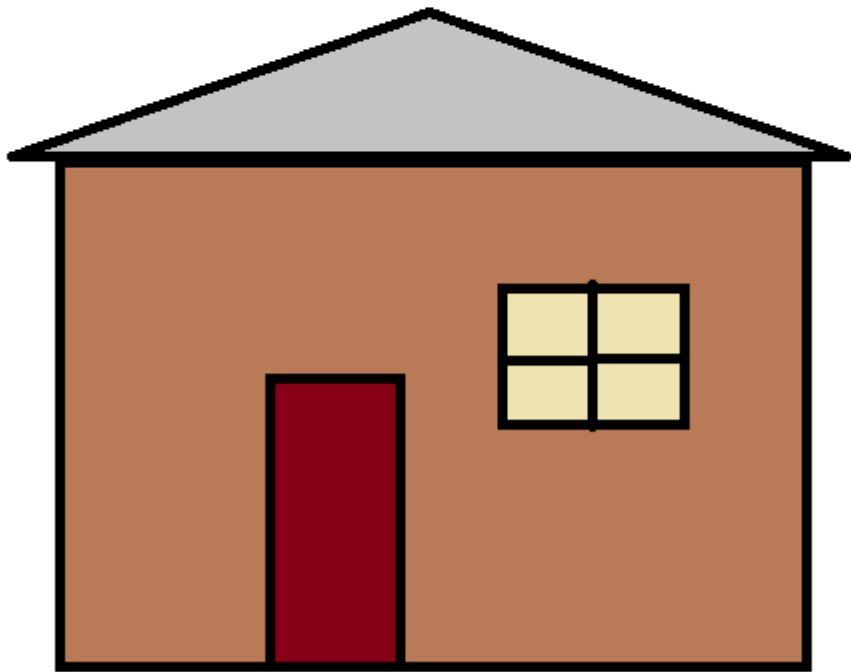
Like-for-Like



Not Allowed



Like-for-Like



Non-Like-for-Like

Cellar vs. Basement



Image from this link: <https://mellowpine.com/cellar-vs-basement/>



Image from this link: <https://www.instagram.com/p/C8CU7BERlp5/>

Applicable Standards for Non-Like-for-Like LA County

Eaton

- Altadena Community Standards District (CSD) – 22.306
- Residential Design Standards – 22.140.520
- General Site Regulations – 22.110

Palisades

- Santa Monica Mountains Local Implementation Program – 22.44

Application Submittal

Submit Plans

- Rebuild applications may be submitted online or in person at any of our field offices.
 - Online: <https://bit.ly/RebuildEPIC>
 - In person: <https://bit.ly/DRPRebuildApp>
- LA County will accept applications for rebuilds when a property owner is ready to submit. However, Phases 1 and 2 must be completed before permits are issued.

Instructions on what is needed to submit

Disaster Recovery Applications

Disaster Rebuild

- Online Application
- Supplemental Application Form (Online Only)
- In Person Application
- Plan Sheet Examples for Residential Projects

planning.lacounty.gov

LA COUNTY

PLANNING

1. Architectural Plans

The following plans must be drawn to either architect's or engineer's scale and combined into one PDF:

Site Plan. Depict the following items. The first six items must be depicted on the first page:

- Address
- Parcel Number(s)
- Revision Date
- Scope of Work
- Sheet Index
- Vicinity Map
- Bike Parking
- Closest Public Fire Hydrant
- Dimensions
- Driveways
- Fences / Walls / Gates
- Landscaping
- Mechanical Equipment
- North Arrow
- Oak Trees
- On-Site Access Roads
- Septic and Well Locations
- Setbacks
- Streets to Centerline
- Structures
- Vehicle Parking and Backup Space

Floor Plans. Provide plans for each floor. Label the following:

- All Rooms
- Dimensions
- Uses

Elevations. Depict the following:

- Ceiling Heights
- Colors
- Cut / Fill
- Finishes
- Fences / Gates / Walls
- Materials
- Natural / Finished Grades
- Retaining Walls
- Structure Heights

Sign Plans (only for commercial and industrial projects). Depict the following:

- Building / Lot Frontage(s)
- Sign Areas
- Sign Colors
- Sign Dimensions
- Sign Types

2. Building Table

NEW / ADDITION / REMODEL / TENANT IMPROVEMENT TABLE						
WORK TYPE (NEW, ADD, REMODEL)	FLOOR TYPE (BASEMENT, FLOOR, MEZZANINE)	FLOOR LEVEL	CONST TYPE	OCC GROUP	SQ FT	DESCRIPTION/USE

3. Proof of Ownership

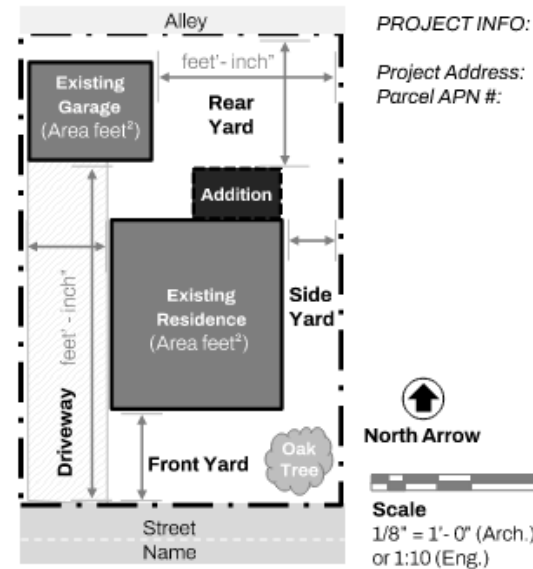
If the project site is owned by an LLC, corporation, partnership, or trust, please submit a document that lists the names and addresses of the principal owners (25% or greater). Attach a copy of the current corporate articles, partnership agreement, or trust document, as applicable, to that document.

SHAPING TOMORROW

PLAN SHEET EXAMPLES FOR RESIDENTIAL PROJECTS

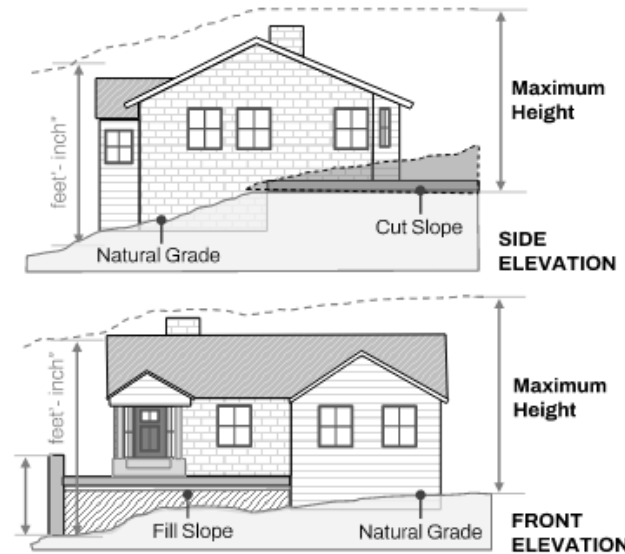
SITE PLAN (EXAMPLE ONLY)

A **Site Plan** shows the entire parcel of land and all existing and proposed development on the parcel.



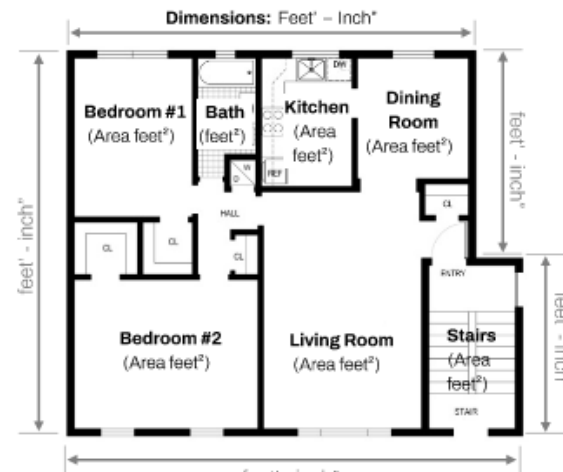
ELEVATIONS (EXAMPLE ONLY)

An **Elevation** shows the building exterior from the ground to the rooftop. Show any fences/ walls/ gates. Label the maximum height and natural vs. finished grade. Type of roofing, siding and trim materials. Shade any grading-cut and fill.



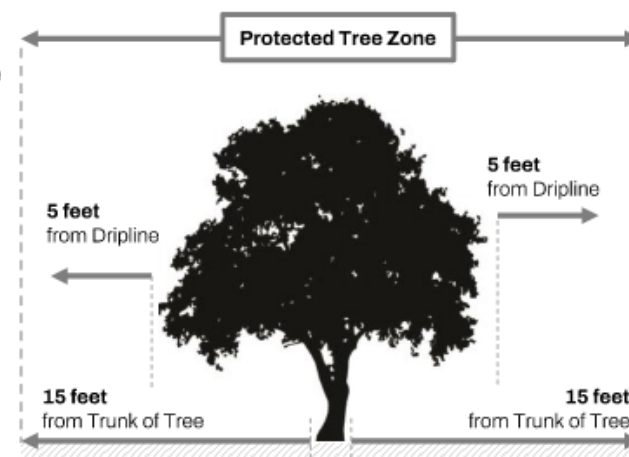
FLOOR PLAN (EXAMPLE ONLY)

A **Floor Plan** shows each building floor and the rooms and uses within each floor. Label all rooms, add dimensions, existing vs. proposed square footage by floors.



OAK TREE - PROTECTED ZONE (EXAMPLE ONLY)

The **Protected Zone** is the area within the dripline of an oak tree and extending to a point at least five feet outside the dripline, or 15 feet from the trunks of a tree, whichever distance is greater.



DPW Requirements



BUILDING & SAFETY

dpw.lacounty.gov/rebuild

LA COUNTY
PLANNING

SHAPING TOMORROW

One-Stop Centers

Altadena One-Stop Permit Center

464 W Woodbury Rd. Suite 210
Altadena, CA 91001

Counter Hours:

Monday through Friday : 8:00 AM – 4:30 PM

Rebuild Consultation Appointments Available:

Monday, Wednesday and Friday: 8:30 AM – 12:30 PM
Saturday: 8:00 AM – 12:00 PM

Calabasas One-Stop Permit Center

26600 Agoura Rd. #110
Calabasas, CA 91302

Counter Hours:

Monday through Thursday : 7:00 AM – 11:00 AM

Rebuild Consultation Appointments Available:

Monday and Wednesday: 7:30 AM – 10:30 AM
Saturday: 8:00 AM – 12:00 PM

Upcoming LA County Recovers Webinars

- Self-Certification Pilot Program
- Tax Assessments
- Mobile, Manufactured and Factory-Built Homes
- How to Work with a Contractor
- How to Use EPIC-LA
- And more!



Sign up for LA County Recovers newsletters for recovery updates, news and upcoming events

Feedback: Survey

Please let us know your thoughts!

https://dpwlacounty.qualtrics.com/jfe/form/SV_0I2IHqh2bgYmdqC



Questions

recovery.lacounty.gov

Recovery@planning.lacounty.gov