

Pre-Approved Plans

A Head Start for
Homeowners

Rebuilding Together Workshop
May 3, 2025

Pre-Approved Standard Plans

What Are Pre-Approved Standard Plans?

- Architectural and structural plans that have been reviewed and approved by a local jurisdiction
- Plans are reviewed for non-property-specific zoning and building code compliance
- Use of pre-approved plans require development of a site plan and must demonstrate compliance with property specific requirements
- A property owner will need to contract with the designer that developed the plans to complete the permitting process

Pre-Approved Standard Plans

Benefits

- Streamlined and predictable review process
- Provides an alternative to a custom designed home
- Reduced design time
- Reduced cost



Pre-Approved Standard Plans

Limits

- Plans will not work for every property due to site-specific constraints. Verify a pre-approved design can be used for your property before you contract with the designer
- Plans/designs cannot be customized after pre-approval
- Applicants should do their own due diligence. The pre-approval of a plan is not an endorsement of the designer/firm or their ability to complete the work they are contracted to do

Pre-Approved Standard Plans

Fire Rebuilds

- Pre-approved standard plans can be used for fire rebuilds in the communities impacted by the Eaton and Palisades fires
- Plans for Single-Family Residences (SFR) and Accessory Dwelling Units (ADUs) can be submitted for pre-approval
- Plans are reviewed as non-like-for-like and must meet current zoning regulations
- Plans may qualify as like-for-like rebuilds

Pre-Approved Standard Plans

Workgroup

- County of Los Angeles
- City of Pasadena
- City of Sierra Madre
- Alex Athenson – The Foothill Catalog Foundation
- Mary Casper – Social Studies Project
- Chris Driscoll – NardiHaus/Altadena Collective
- Rachel Shillander – Rachel Shillander Architecture
- Rachel Bullock – Laun Los Angeles
- Tim Vordtriede - Vordtriede & Company/Altadena Collective
- Issac Resnikoff – Project Room

Foothill Catalog Foundation

An aerial photograph of a rugged mountain range. The mountains are covered in dense, dark green vegetation, with some rocky outcrops visible. A thin, white, wavy line is drawn across the middle of the image, following the contours of the mountain ridges. The lighting is warm, suggesting a sunset or sunrise, with long shadows and golden highlights on the mountain peaks.

THE FOOTHILL CATALOG FOUNDATION

LA County Rebuild Together Workshop
May 3, 2025

An aerial photograph of a lush, green hillside covered in dense trees. In the background, a city skyline is visible through a light haze under a clear blue sky with some clouds. A white rounded rectangle is centered over the middle of the image, containing text.

THE MISSION

The Foothill Catalog mission is to develop a collection of preapproved home designs for displaced residents to affordably and expeditiously rebuild, while collectively retaining our community identity and local architectural character.

THE PEOPLE AND THE PLACE - ALTADENA, CA

138-Year-Old Community

Northeast of Los Angeles

Nestled at the base of the San Gabriel Mts.

Quiet Foothill Town of 40,000 People

Eclectic mix of new and old

Beautiful verdant streets and neighborhoods

Historically Diverse Population

African American, Hispanic, Asian, European communities all contribute to historic and diverse representation in Altadena

Historically Diverse Architectural Character

California Craftsman, Spanish Revival,

Tudor Revival, Norman Revival,

Colonial Revival, Minimal Traditional,

California Ranch, Mid-Century Modern

all exist harmoniously throughout Altadena

LA County Rebuild Together

May 3, 2025

The Foothill Catalog Foundation



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FOUNDATION

THE EATON FIRE

January 7th - 8th, 2025

Historic Windstorm

Reported wind gusts over 100 mph,
Category II hurricane strength

Spark & Exponential Spread

6 hours after reported flames at 6:18pm
Fire spread to over 1,000 acres

Tens of Thousands Evacuated

99,161 residents and 38,941 structures placed
under evacuation orders or warnings

Continuous Battle to Save People & Place

Firefighters work 24 hours a day for 24 days
until 100% containment achieved

14,021 acres burned



THE AFTERMATH

Fatalities & Injuries

18 confirmed fatalities, many of them elderly
9 firefighter injuries

Destruction & Damage

10,488 structures damaged or destroyed
6,354 residences affected

Demographic Displacement

Nearly 50% of the Black homeowner
population in Altadena saw their homes
destroyed

Valued Damage & Insurance Coverage

Total property and capital losses across LA
valued upwards of \$164 billion
Insured losses valued only at \$75 billion



THE FOUNDERS

Alex Athenson, AIA
Cynthia Sigler, AIA

NW Pasadena Residents - Montana St.
(1/2 block south of the Altadena border)

Licensed California Architects

Evacuated from home during Eaton Fire

Trained in regionally specific traditional
design at the University of Notre Dame

Rebuilt their own 1947 traditional
California Ranch Home




THE SOLUTION

The Foothill Catalog Foundation


A renaissance of the Catalog Home model popularized by Sears Roebuck and Co. in the 20th Century

Envisioned as a collection of affordable, working-class homes reflective of Altadena identity and heritage

Oklahoma Houses By Mail



MODERN HOME No. 172



CHAMBER 10'-0" x 12'-0"
CHAMBER 10'-0" x 12'-0"
DINING ROOM 12'-0" x 14'-0"
PARLOR 12'-0" x 14'-0"
KITCHEN 10'-0" x 12'-0"
BATHROOM 5'-0" x 7'-0"
P.O.R.C.H. 8'-0" x 12'-0"
FLOOR PLAN

SAVES MORE THAN ONE-THIRD OF THE COST OF HIS HOUSE AND GETS THE HIGHEST QUALITY OF MATERIAL. WITHOUT A BLEMISH.

67 Brushy Hill Rd., Danbury, Conn.
Sears, Roebuck and Co., Chicago, Ill.
Gentlemen—The building material I purchased from you is second to none and is far superior to anything I expected to receive. The mill work is without a blemish and of high quality. I am much pleased with the prompt manner in which my order was handled and shipped. I have easily saved more than one-third of the cost of this house by ordering from you. This was my first order. You may expect many mill work orders in the future.
Very truly yours,
JOSEPH O'CONNOR.

—22—

\$863⁰⁰

For \$863.00 we will furnish all the material to build this Five-Room Bungalow, consisting of Lumber, Lath, Shingles, Mill Work, Flooring, Ceiling, Siding, China Closet, Finishing Lumber, Building Paper, Pipe, Gutter, Sash Weights, Hardware and Painting Material. NO EXTRAS, as we guarantee enough material at the above price to build this house according to our plans.

By allowing a fair price for labor, stone, concrete, brick and plaster, which we do not furnish, this bungalow can be built for about \$1,600.00, including all material and labor.

For Our Offer of Free Plans See Page 3.

A MODERN bungalow of frame construction. Considered the best five-room bungalow ever built at anywhere near this low price. The extra wide sliding, the visible rafters over porches and eaves give a pleasing rustic effect. The roof is ornamented by an attractive dormer with three windows. The front and side of the bungalow are beautified by many triple and double windows, making every room light and airy. The porch extends across the front of the house and is 29 feet 6 inches wide by 9 feet 6 inches deep, making a cool and shady retreat. Porch columns are arranged in clusters, supported by a base which is sided with the same material as used on the rest of the house.

First Floor.
The front entrance leads directly into a large parlor, size 15 feet by 15 feet 6 inches. Directly to the rear is located a large dining room, separated from the parlor by casual opening. Dining room is 15 feet long by 13 feet wide and has a sideboard or china closet and is trimmed with plate rail. Directly to the rear of this room is the kitchen, size 10 feet by 12 feet, with a door leading to the rear porch. The pantry being located between the kitchen and dining room makes it possible to use this room as a butler's serving pantry and pantry combined. On the left side of the house are located two large and airy chambers, size 12 feet by 13 feet 6 inches, with closets, and conveniently located between the two chambers is a bathroom, size 5 feet 6 inches by 7 feet 6 inches.

For the front door we furnish a heavy bevel plate glass door. Interior doors are five-cross panel yellow pine with clear yellow pine casings and trim throughout. Interior can be finished either light or dark finish, dark finish preferred. Clear yellow pine for the floor for the entire house and porches.

Built on concrete foundation, basement excavated and has cement floors. It is frame construction sided with 10-inch No. 1 boards and has a cedar shingle roof.


Height of Ceiling.
Basement, 7 feet from floor to joists.
First floor, 9 feet from floor to ceiling.
With small cost a very pleasing effect can be had by staining siding with brown crosscut stain, and staining with a warm green, all trimmings to be painted pure white. This same scheme has been followed with very satisfactory results.

This house can be built on a lot 40 feet wide.

Complete Warm Air Heating Plant, for soft coal, extra.....	\$ 60.00
Complete Warm Air Heating Plant, for hard coal, extra.....	100.00
Complete Steam Heating Plant, extra.....	125.00
Complete Hot Water Heating Plant, extra.....	175.00
Complete Plumbing Unit, extra.....	17.50

SEARS, ROEBUCK AND CO. CHICAGO, ILLINOIS

Oklahoma Houses By Mail



The Glen Falls
Described on
Pages 42 and 43

Honor Built

MODERN HOMES

Sears, Roebuck and Co.

CHICAGO PHILADELPHIA KANSAS CITY

THE FOOTHILL CATALOG FOUNDATION

FOR EASY PAYMENT PLAN SEE PAGES 143 and 144

THE THREAT



Loss of People

Time

Cost

Knowledge

Emotional Bandwidth



Loss of Place

Historic Structures

Shared Heritage

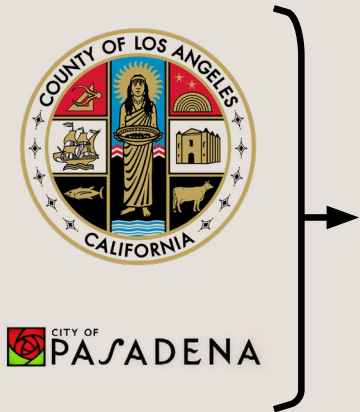
Cultural Identity

THE PERMITTING PROCESS

DESIGN



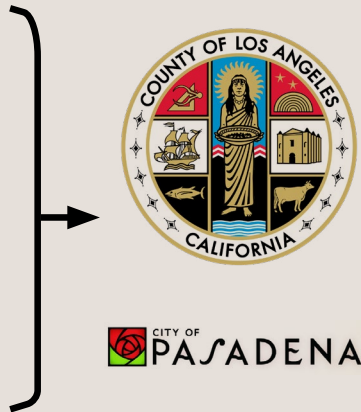
PREAPPROVAL



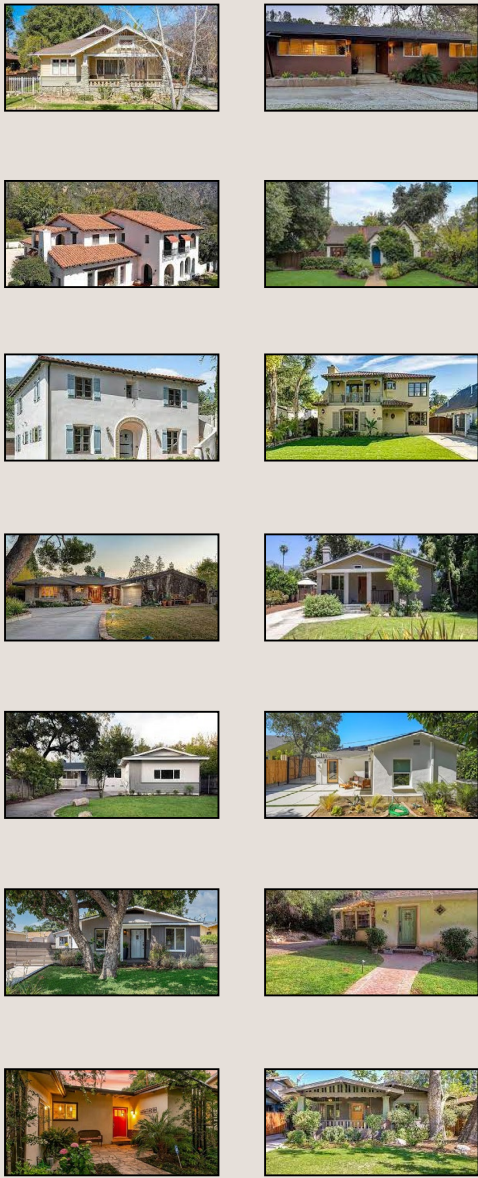
THE FOOTHILL CATALOG



POST-VERIFICATION



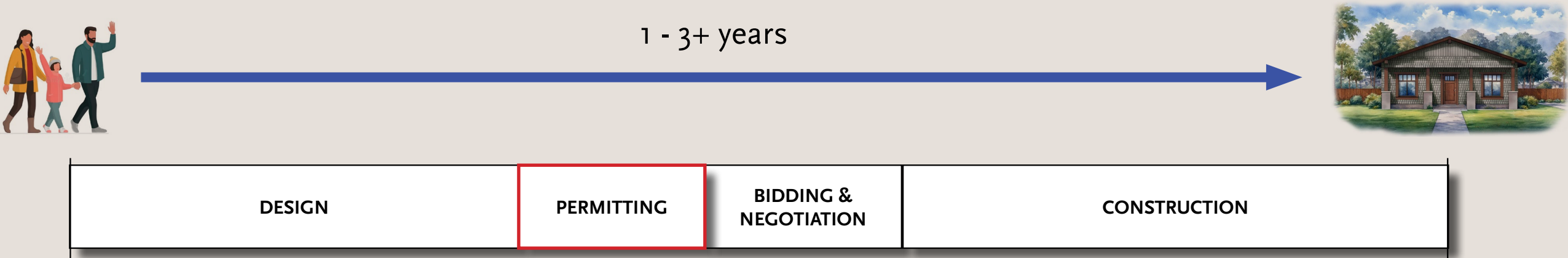
CONSTRUCTION



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FOUNDATION

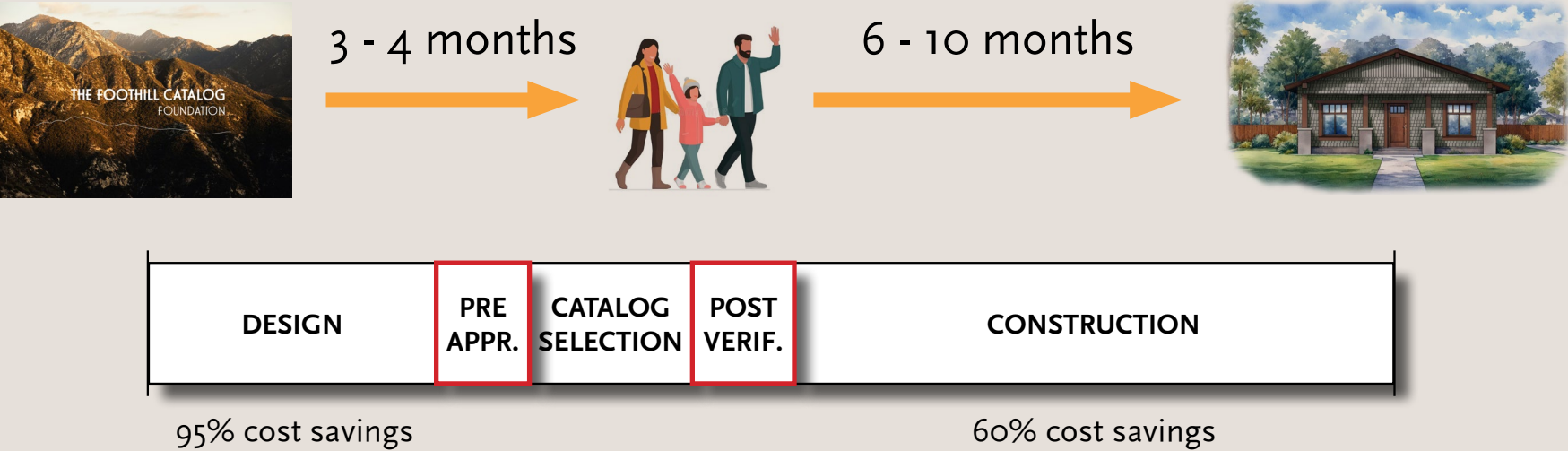
THE FOOTHILL CATALOG DIFFERENCE

Typical Design-Bid-Build




Preapproved Plans

- Community-Based Nonprofit Organization
- Streamlined Permitting
- Standard Plan Design Process
- Predictable Cost & Time Estimates
- Vetted Preferred Vendors
- Prefabrication of Materials & Assemblies
- Repeatability & Economies of Scale



THE PROGRESS



THE LEWIS

A California Bungalow that offers simple elegance, the Lewis harkens back to the Craftsman heritage of the Foothill region to fit seamlessly into a many number of Altadena neighborhoods. At 1,660 square feet, with 3 bedrooms and 2 full bathrooms, the Lewis features flexibility for a wide range of family sizes and needs. The front bedroom can easily be converted into a den or office space, while the spacious kitchen adjacent to the open dining and living area allows for comfortable family living, with the ability to entertain as needed. The open front porch stretches the entire width of the house to greet the neighborhood and offer a protected space to take in the warm Altadena summer evenings.


Features of The Lewis

- 1,660 Square Feet
- 3 bedrooms, 2 full bathrooms
- Combined Kitchen & Dining Space
- Ample Living Room
- Utility & Laundry Closets
- Large Open Front Porch
- Detached garage

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GROUND FLOOR PLAN




The Passivist

This Mid-Century Modern home is airy and spacious, despite its modest footprint. Sized to fit on a narrow lot, it's also lovely with more landscaping around it.

The house is 1,566 square feet and features two bedrooms and two full baths, plus a great room with vaulted ceilings that soar to 13½ feet and clerestory windows that flood it with light. Configured with Universal Design principles, the primary bath can be made fully accessible with minor modifications. Large patio doors on the primary suite and the great room connect the interior to the backyard for fluid indoor/outdoor living.

This fire hardened, high-performance home can readily be constructed to Passive House/building standards - the world's highest benchmarks for health, comfort, quiet, and efficiency.

ESSENTIAL HABITAT ARCHITECTURE



THE PALM



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B

A Spanish Bungalow

1,942 SF
3 bedroom / 2 bath



THE CASITA BLANCA
By Ben Felix

The Casita Blanca is a single-story, white stucco Spanish Bungalow featuring two bedrooms and two bathrooms. The floor plan is a simple rectangle measuring 30 by 40 feet, with a total gross area of 1,200 square feet, including the front porch. It is the smallest house in the catalog. The house emphasizes simplicity and solid craftsmanship between windows and openings, creating a harmonious flow throughout the home. The exterior features a combination of white stucco and red tile. The interior is finished with light-colored wood and tile. The house is designed to be a simple, elegant, and affordable home. The house is designed to be a simple, elegant, and affordable home. The house is designed to be a simple, elegant, and affordable home.



CASITA • BLANCA
BEN • FELIX



THE CARMELINA



THE CROMWELL



THE MAYBROOK






NOT QUITE JANE
FOOTHILL CATALOG

ARTERBERRY COOKE
architecture




BILLY

A classic California Ranch, designed to take advantage of a narrow lot. Billy's rectangular interior includes two full bedrooms, a large living room, a large dining room, a large kitchen, and a large front porch. The house is designed to be a simple, elegant, and affordable home. The house is designed to be a simple, elegant, and affordable home. The house is designed to be a simple, elegant, and affordable home.




LA MARIPOSA

This Pacific Coastal Home features a simple garden of plaster and terracotta, a timeless pattern of naturally textured stucco and a warm, earthy color palette. The house is designed to be a simple, elegant, and affordable home. The house is designed to be a simple, elegant, and affordable home. The house is designed to be a simple, elegant, and affordable home.



THE FOOTHILL CATALOG FOUNDATION



LA County Rebuild Together
May 3, 2025
The Foothill Catalog Foundation

THE FOOTHILL CATALOG
FOUNDATION

join us to view our initial concept designs, learn more about our process, provide community input, & meet the designers and the TFCF team

THE FOOTHILL CATALOG
FOUNDATION

concept design
showcase +
meet & greet

sunday ,may 4th
1 - 4 pm

Sierra Madre Women's Club
550 W Sierra Madre Blvd,
Sierra Madre, CA 91024

THE COMMUNITY VISION

"We are at a point in our lives where the rebuild time and cost are both major considerations. The vision I've read with the Foothill Catalog is heartening and encouraging. It seems like a dream come true to be able to put back on the property, an authentic (with updates, etc) Craftsman house."

"I am interested in pre-permitted designs for rebuilding my house. My neighbors, 25 destroyed homes, are all interested in this venture. Thanks for doing this!"

"We absolutely love the mission of your organization. My husband Bill and I have lamented that it's not in our wheelhouse to design our own home. We want to be handed plans. We are definitely open to other designs (especially Mediterranean). We cannot wait to see what you all come up with!"

"When I saw the sketches and floorplans of the Spanish/Mediterranean, I burst into tears in the middle of the T-Mobile Store. It finally feels like rebuilding might be doable when I see these".

"Thank you for the update and for starting this project. It will help so many of us who are eager to make our way back to Altadena".

"I am an Altadena senior who home burned down in the Eaton Fire. I'm very concerned about being able to go through the rebuild process on my own. I would love to rebuild my bungalow, and the idea of working with a group, being able to select a pre-approved design, and having support to get through this process is very encouraging and potentially, much less stressful".

"This seems like a wonderful project, and thank you for prioritizing the architectural style of Altadena as we know it. Our family is eagerly following along".

"I am interested in learning more about this concept as you develop the catalog. I believe this may be the best and only way for me to rebuild".

"I think this is a fabulous idea and might allow many to rebuild who otherwise may be priced out".

"The process of rebuilding and trying to figure everything out oneself is so daunting that I often want to scrap it all and just move. I'm hoping that with the designs and guidance and community found within the Foothill Catalog, I will remain an Altadena til... Thank you all!"

An aerial photograph of a rugged mountain range. The mountains are covered in dense, dark green forest, with some rocky peaks visible. A thin, white, winding line, likely a trail, snakes across the lower slopes of the mountains. The lighting is warm, suggesting a sunset or sunrise, with long shadows and a golden glow on the mountain ridges.

THE FOOTHILL CATALOG FOUNDATION

✉ info@foothillcatalog.org

foothillcatalog.org

📷 [@thefoothillcatalog](https://www.instagram.com/thefoothillcatalog)

Applicable Standards - LA County

Planning

- Subject to Title 22 – Planning and Zoning Code
- Chapter 22.04 – Rules for Provisions, Language, Measurement, and Interpretations
- ADUs are subject to both state and local requirements
- The unincorporated impacted areas have different standards
 - Santa Monica Mountains Coastal Zone
 - Foothills (Altadena and Kinneloa Mesa)



Sunset Mesa Collective

UNDERSTANDING THE CHALLENGES

THE REALITY OF REBUILDING IN LA

- **Skyrocketing construction costs** averaging \$800–\$1,000 per sq. ft
- **Insurance and financing hurdles** making funding harder to secure
- **Contractor shortages** causing delays and quality concerns
- **Skilled labor gaps** driving up timelines and costs
- **Supply chain issues** with delays and material price spikes

WHAT HOMEOWNERS NEED MOST

- **Faster rebuilding process** for quicker home return
- **Predictable budgets** to avoid cost overruns
- **Fire-resistant construction** for long-term resilience
- **Sustainable options** like solar and battery storage for energy independence
- **Smart materials and tech** to reduce energy costs
- **Adaptable designs** for changing household needs

OUR SOLUTIONS

SCALABLE PRECISION-BUILT AND ON-SITE CONSTRUCTION SOLUTIONS

Streamlined Construction Process

Collective Cost Savings

Flexible Pricing Models

Bulk Material Procurement

Optimized Labor & Resources

Enhanced Quality Control

Sustainable & Resilient Design

END-TO-END PROJECT MANAGEMENT

Coordination with contractors,
fabricators, and engineers

Optimized Logistics

Comprehensive Oversight

Risk Management & Compliance

Efficiency-Driven Scheduling

Cost Control & Budgeting

Quality Assurance & Execution

FIRE-RESILIENT & SUSTAINABLE COMMUNITY PLANNING

Defensible Space Design

Fire-Resistant Materials

Renewable Energy Integration

Passive Cooling Strategies

Water Conservation Systems

Optimized Energy Efficiency

Community-Scale Resilience

Rating System for Insurability

INTRODUCTION

CORE PRINCIPLES

REBUILDING SMARTER, NOT JUST REBUILDING

Our vision: A safer, modern, and desirable community.

CORE PRINCIPLES:

- Preserve Community Character
- Build Smarter, Faster, Cost-Effective
- Design for Sustainability and Resilience
- Improve Insurability Ratings



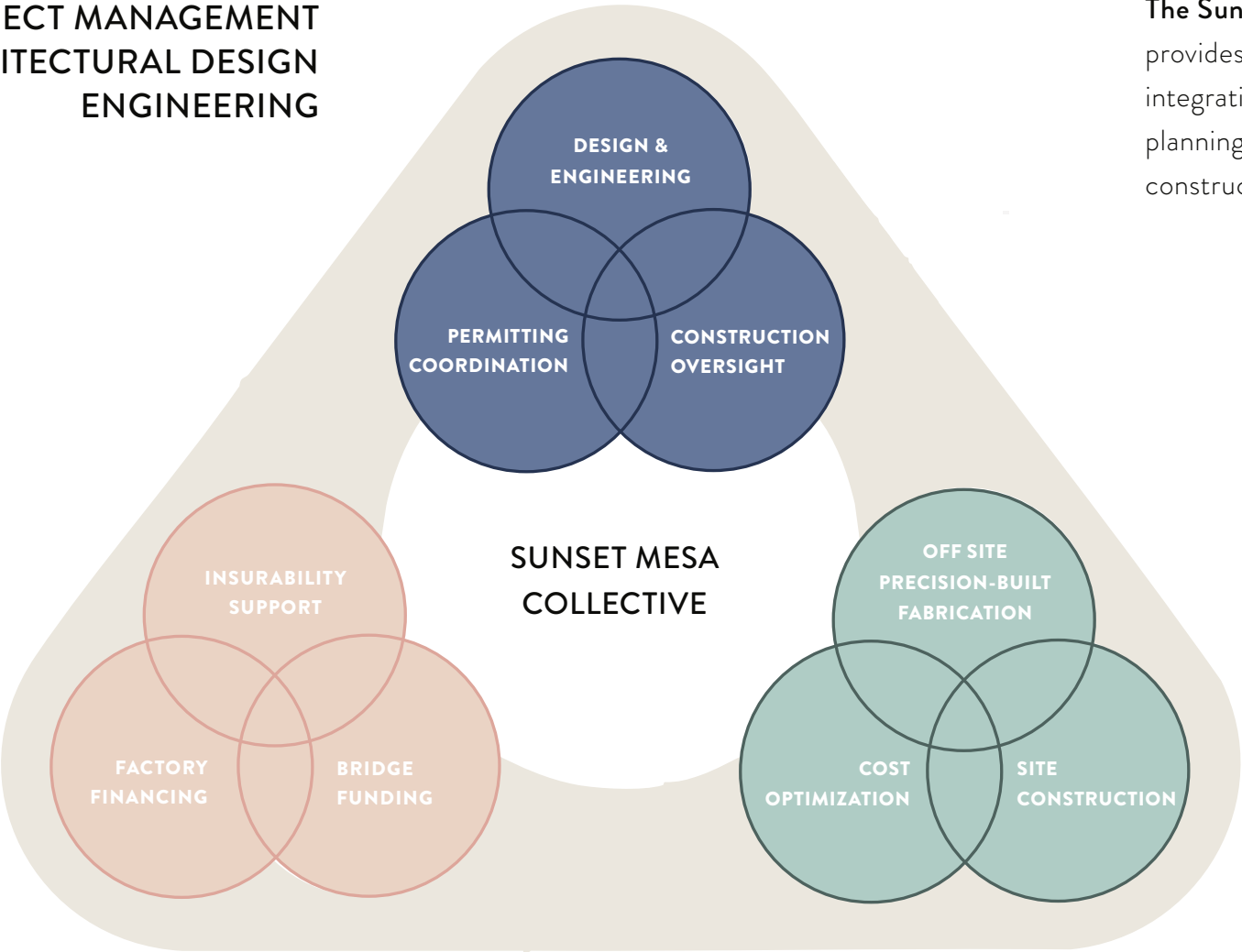
SUNSET MESA REBUILD

360° INTEGRATED APPROACH

PROJECT MANAGEMENT
ARCHITECTURAL DESIGN
ENGINEERING

The Sunset Mesa Collective
provides an end-to-end solution
integrating all phases of design,
planning, financing, and
construction.

HOME REBUILD
FINANCING & SUPPORT



CONSTRUCTION &
QUALITY CONTROL

INTRODUCTION

SUNSET MESA COLLECTIVE



ARCHITECTURAL
TEAM

MANAGEMENT
TEAM

SURVEY + CIVIL
& STRUCTURAL TEAM

FIRE RESILIENT
LANDSCAPE TEAM

PERMITTING TEAM

FIRE ADVISOR

COMMUNITY & IN-
SURANCE ADVISORS



MATTHEW ROSENBERG
CEO & FOUNDER, M-RAD



JAMES HUGHES, AIA
PRINCIPAL, M-RAD



CHRISTOPHER CARLIN
FOUNDER, MGMT



LISA KAY
CHIEF OFFICER, NV5



STEPHEN BLEWETT
FOUNDER, CRAFT-LA



KIMBERLINA WHETTAM
PRINCIPAL, KW&A



NATE WITTASEK, P.E.
PRINCIPAL, SGH



FRANCOIS DE LAME
SUNSET MESA RESIDENT



ROBERTO O. LANDAZURI
MANAGER, M-RAD



ETIENNE SERVEAU
DESIGNER, M-RAD



MATTHEW GOODWIND
FOUNDER, MGMT



JOHN LABIB, SE
PRINCIPAL, LFA



MIA LEHRER
PRESIDENT, STUDIO-MLA



JAN DYER
PRINCIPAL, STUDIO-MLA



MEGAN HORN
PRINCIPAL, STUDIO-MLA



JENNIFER FITZGERALD
SUNSET MESA RESIDENT

INTRODUCTION

SUNSET MESA COLLECTIVE

SCALABLE PRECISION BUILT SOLUTIONS



PLANT PREFAB
RIALTO, CALIFORNIA



DVELE
SAN DIEGO, CALIFORNIA



BECC MODULAR
ANCASTER, ONTARIO

CUSTOM PRECISION BUILT SOLUTIONS



METHOD HOMES
SEATTLE, WASHINGTON



LUCALANZETTA GROUP
INTERIOR DESIGNERS

POTENTIAL GENERAL CONTRACTORS (PRECISION BUILT)



HOWARD | CDM
LOS ANGELES, CALIFORNIA



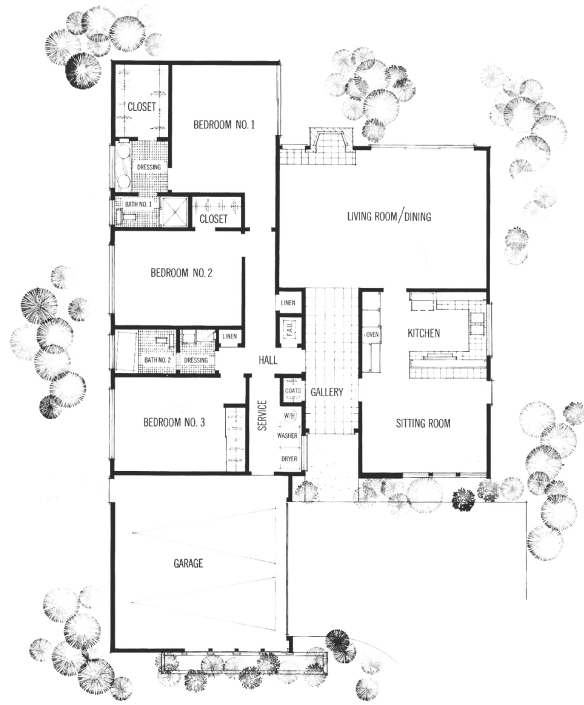
BUILDGROUP
LOS ANGELES, CALIFORNIA



SWINERTON
LOS ANGELES, CALIFORNIA

PERMITTING PROCOESS AND CONSTRAINTS

TPOLOGIES FROM 1965



PANORAMA HOUSE: PLAN A, B & E
3/4 BED 2/3 BATH

Gross Area: A= 2,020 sq. ft.; B= 2,050 sq. ft.; E= 2,300 sq. ft.

Like-for-Like 110% Max. Area: A= 2,222 sq. ft.; B= 2,255 sq. ft.; E= 2,530 sq. ft.

Garage Area: A= 460 sq. ft.; B= 430 sq. ft.; E= 430 sq. ft.

Levels: 1 Level

Height: 11' / 13' (Varies)



SPLIT LEVEL HOUSE: PLAN G & H
4 BED 3 BATH

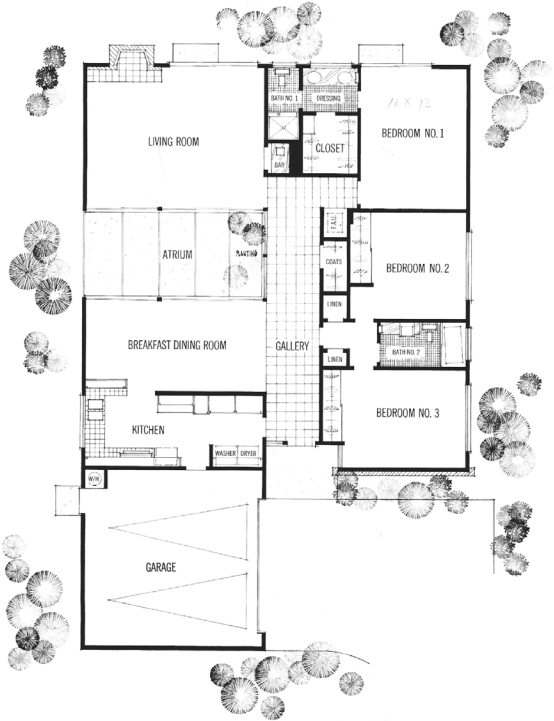
Gross Area: G= 2,420 sq. ft.; H= 2,290 sq. ft.

Like-for-Like 110% Max. Area: G= 2,662 sq. ft.; H= 2,519 sq. ft.

Garage Area: G= 410 sq. ft.; H= 420 sq. ft.

Levels: 2 Levels

Height: 21'2-3/4



PATIO HOUSE: PLAN C
3 BED 2 BATH

Gross Area: C= 1850 sq. ft

Like-for-Like 110% Max. Area: C= 2,035 sq. ft.

Garage Area: C= 420 sq. ft.

Levels: 1 Level

Height: 11' / 13' (Varies)

SUNSET MESA REBUILD OPTIONS (COASTAL ZONE)

LIKE-FOR-LIKE UP TO 110% REBUILD

- **Definition:** Rebuild up to 110% of original size and height.
- **Benefits:** Fastest permitting (approx. 2–5 weeks) No zoning or setback updates required. Flexibility to slightly enlarge or modernize.
- **Requirements:** Up to 10% increase in floor area, height, or footprint allowed. Must document original size using permits, photos, or assessor data.

Coastal Commission review waived under Executive Order.

EXPANSION / NEW DESIGN

- **Definition:** Rebuild larger than 110%, add new stories, or significantly change layout or use.
- **Benefits:** Freedom to build something new. Not eligible for expedited permitting
- **Requirements:** Must meet all current zoning, setback, height, and land use regulations. May require public hearings and discretionary review.

Coastal Commission review will apply

Important Notes

- You can apply now — even before debris removal is complete
- All rebuild types must comply with current Building, Fire, and Health & Safety codes
- Coastal Zones (like Sunset Mesa): Executive Order waives coastal review for like-for-like and 110% rebuilds only

FLEXIBLE CUSTOMIZATION OPTIONS

Standardized layouts help streamline construction and approvals, but flexibility remains a key part of our approach.

We'll work with each homeowner to thoughtfully adapt their home to the site's conditions and personal preferences. Customizable elements include:

- **Mirrored Layouts** to suit orientation, views and site conditions
- **Garage Placement** adapts to street-facing or patio-facing access
- **Facade and Roof Variations** for aesthetic diversity
- **Window & Door Tweaks** to enhance light, ventilation and spatial flow
- **Material & Finish Options** for cohesive personalization
- **Room Positioning to maximize ocean views**

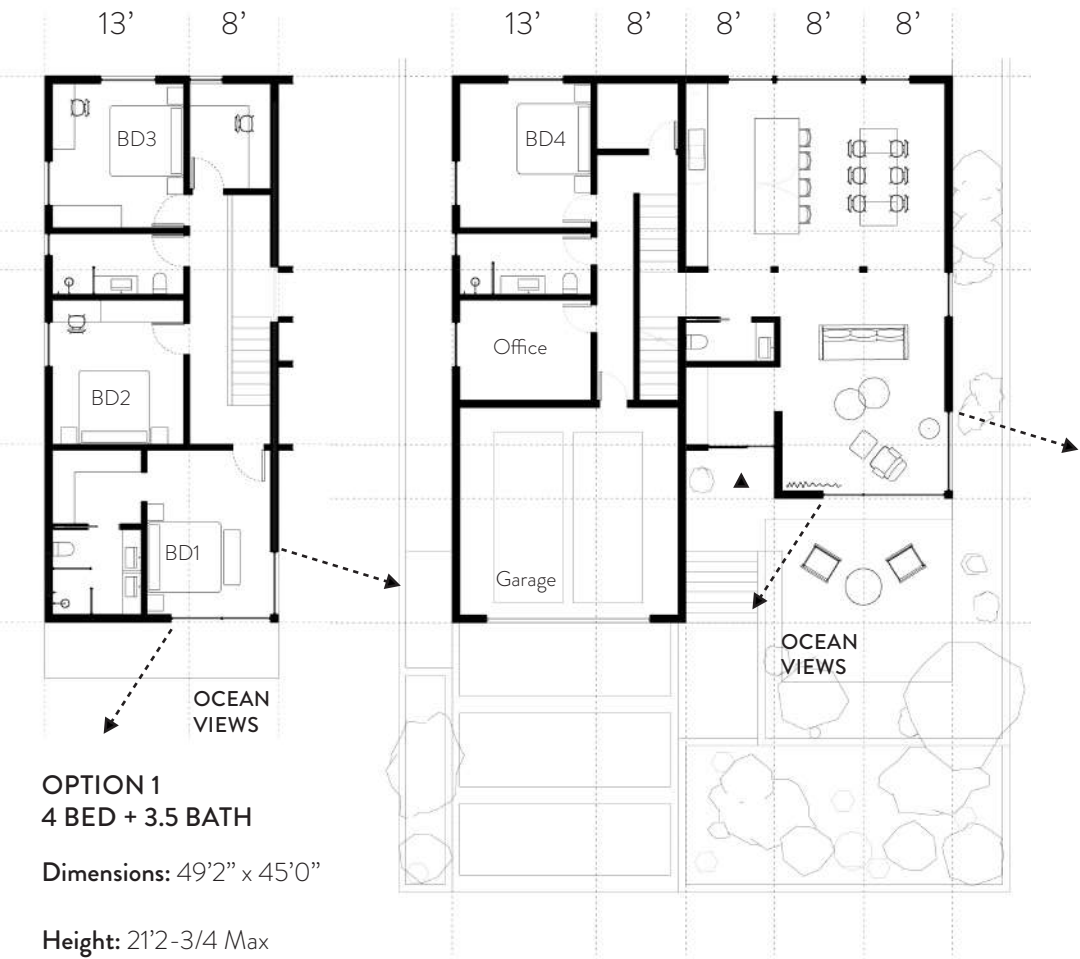
DESIGN

SPLIT LEVEL HOUSE



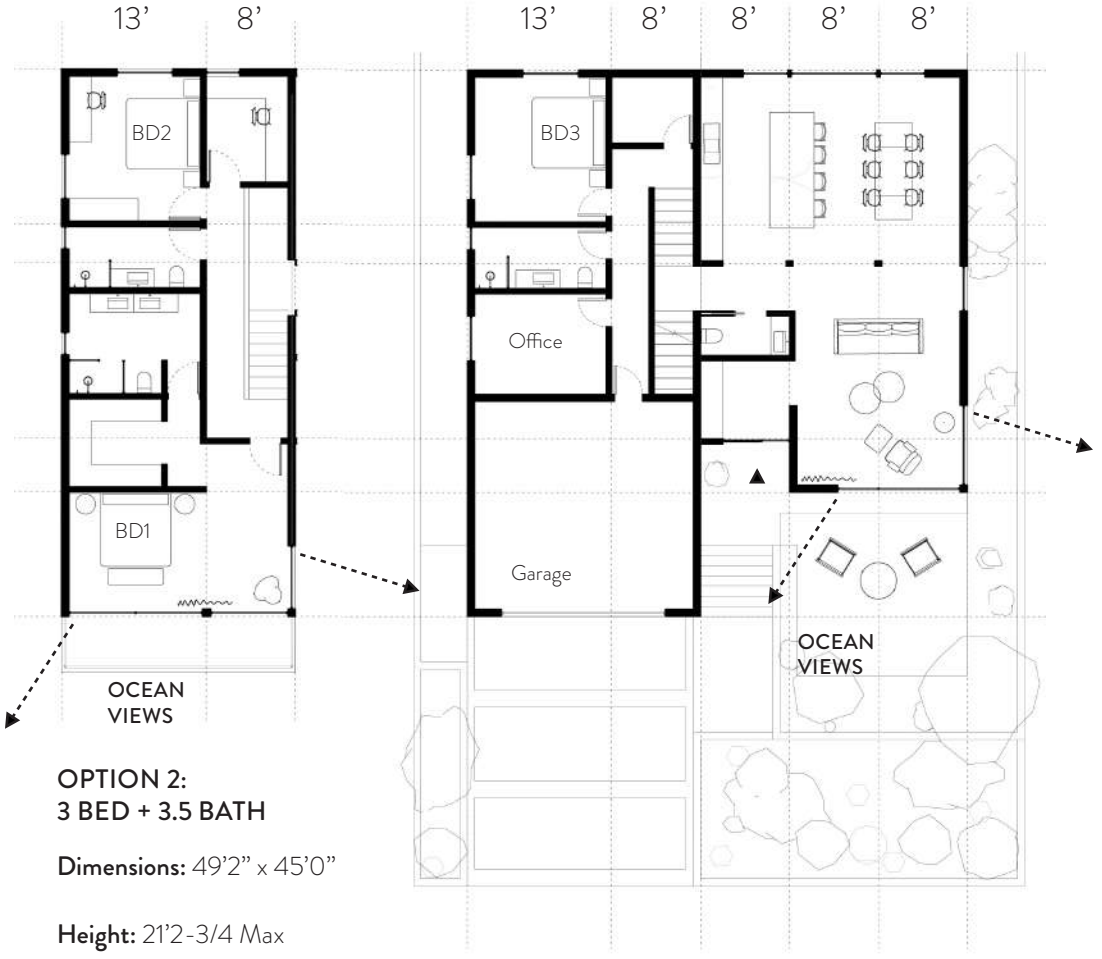
DESIGN

SPLIT LEVEL HOUSE



Gross Area: 2,515 sq. ft.
< Like-for-Like 110% Max Area (2,662 sq.ft.)

Garage Area: 420 sq.ft.



Gross Area: 2,515 sq. ft.
< Like-for-Like 110% Max Area (2,662 sq.ft.)

Garage Area: 420 sq.ft.

DESIGN

SPLIT LEVEL HOUSE



OPTION 3 4 BED + 3 BATH

Dimensions: 49'2" x 45'0"

Height: 21'2-3/4 Max

Gross Area: 2,515 sq. ft.
< Like-for-Like 110% Max Area (2,662 sq,ft,)

Garage Area: 420 sq.ft.

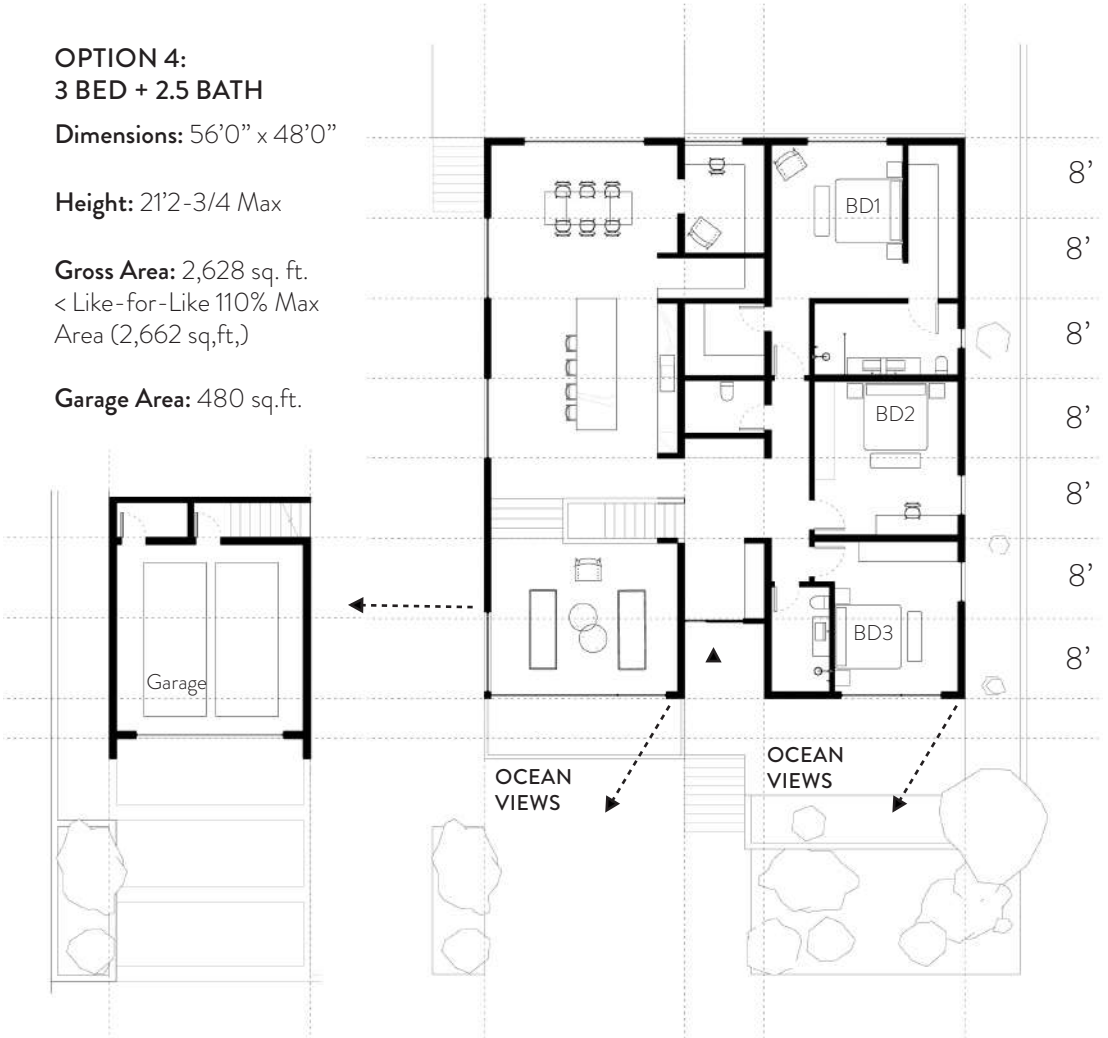
OPTION 4: 3 BED + 2.5 BATH

Dimensions: 56'0" x 48'0"

Height: 21'2-3/4 Max

Gross Area: 2,628 sq. ft.
< Like-for-Like 110% Max
Area (2,662 sq,ft,)

Garage Area: 480 sq.ft.



DESIGN

SPLIT LEVEL HOUSE: MID-CENTURY EVOLUTION



DESIGN

SPLIT LEVEL HOUSE: HORIZON PRECISION



DESIGN

SPLIT LEVEL HOUSE: MODERN CLASSIC



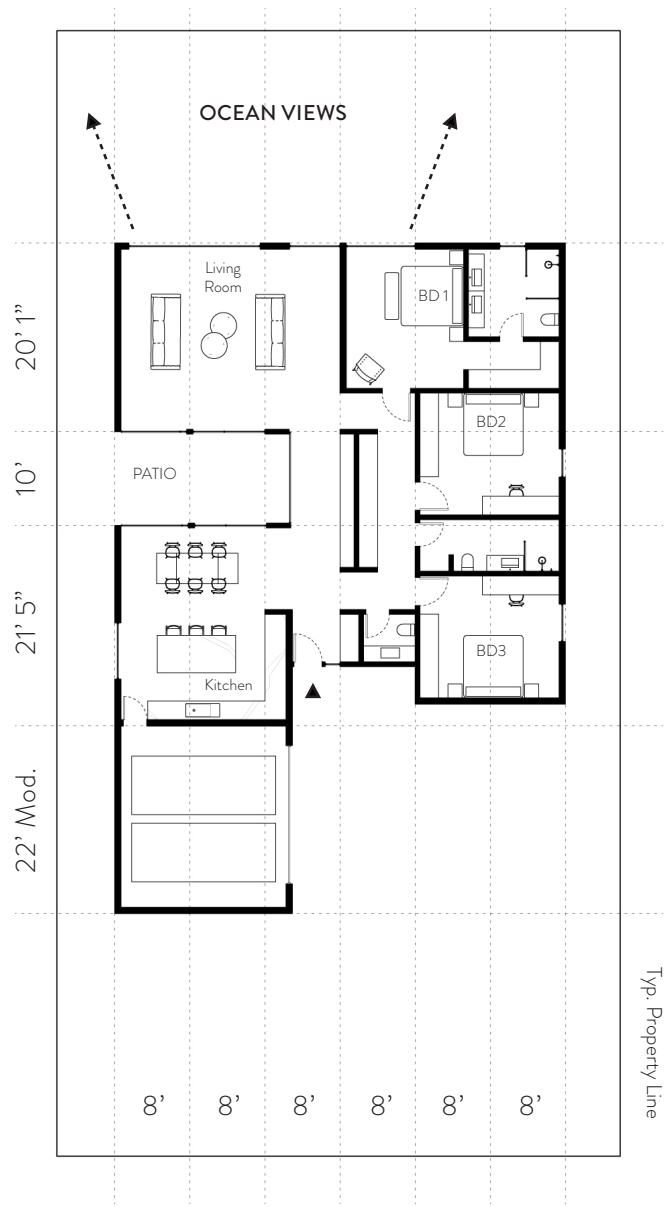
DESIGN

PATIO HOUSE 2025



DESIGN

PATIO HOUSE 2025



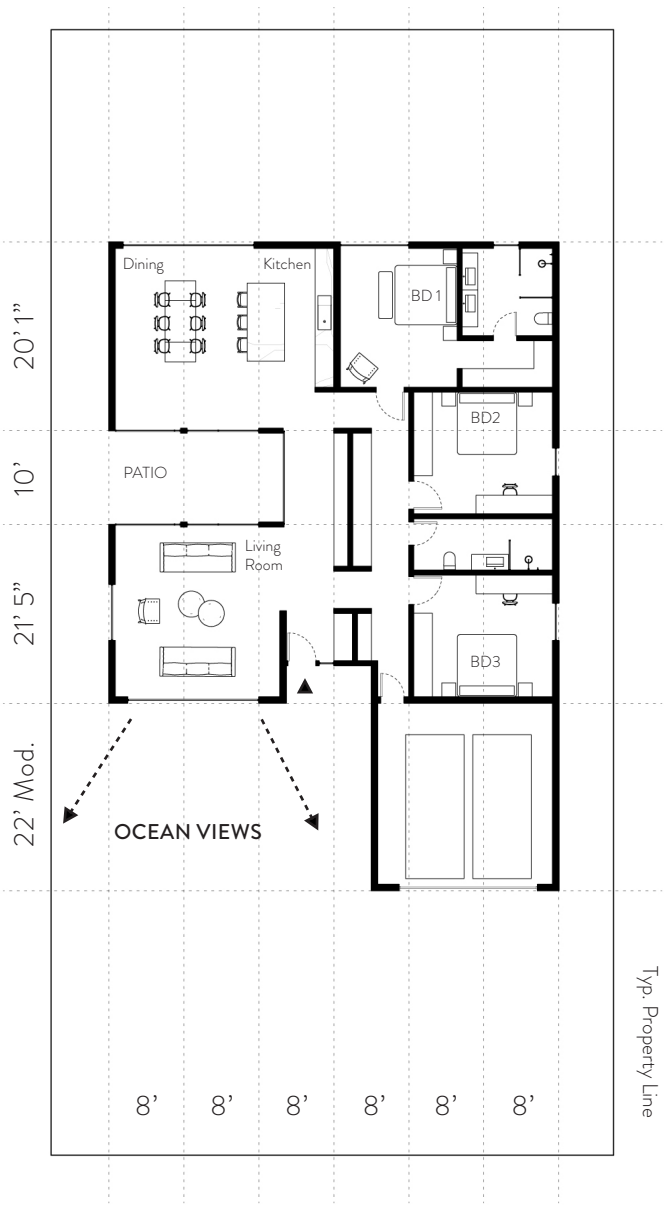
OPTION 5 3 BED + 2.5 BATH

Dimensions: 71'6" x 48'0"

Height: 11'3" to 13'5"

Gross Area: 2,030 sq. ft.
< Like-for-Like 110% Max Area (2,035 sq.ft,)

Garage Area: 410 sq.ft. garage



OPTION 6 3 BED + 2 BATH

Dimensions: 71'6" x 48'0"

Height: 11'3" to 13'5"

Gross Area: 2,030 sq. ft.
< Like-for-Like 110% Max Area (2,035 sq.ft,)

Garage Area: 410 sq.ft. garage

DESIGN

PATIO HOUSE: TANGERINE MID-CENTURY



DESIGN

PATIO HOUSE: OLIVE OASIS



DESIGN

PATIO HOUSE: SUNSET TERRA



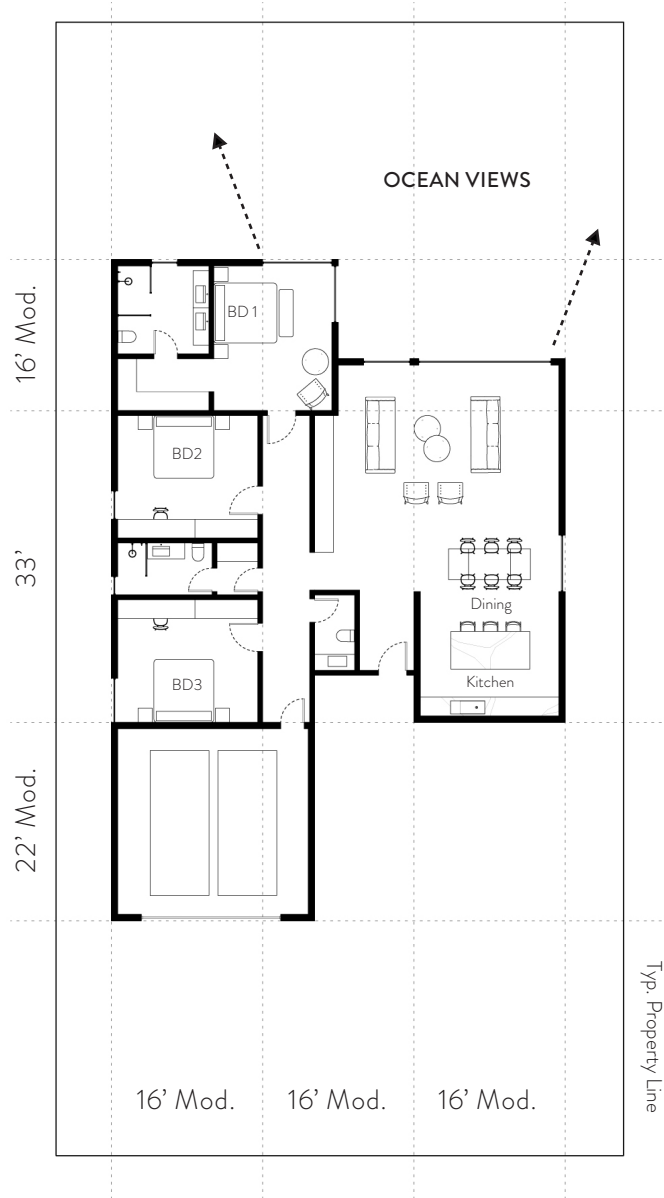
DESIGN

PANORAMA HOUSE 2025



DESIGN

PANORAMA HOUSE 2025



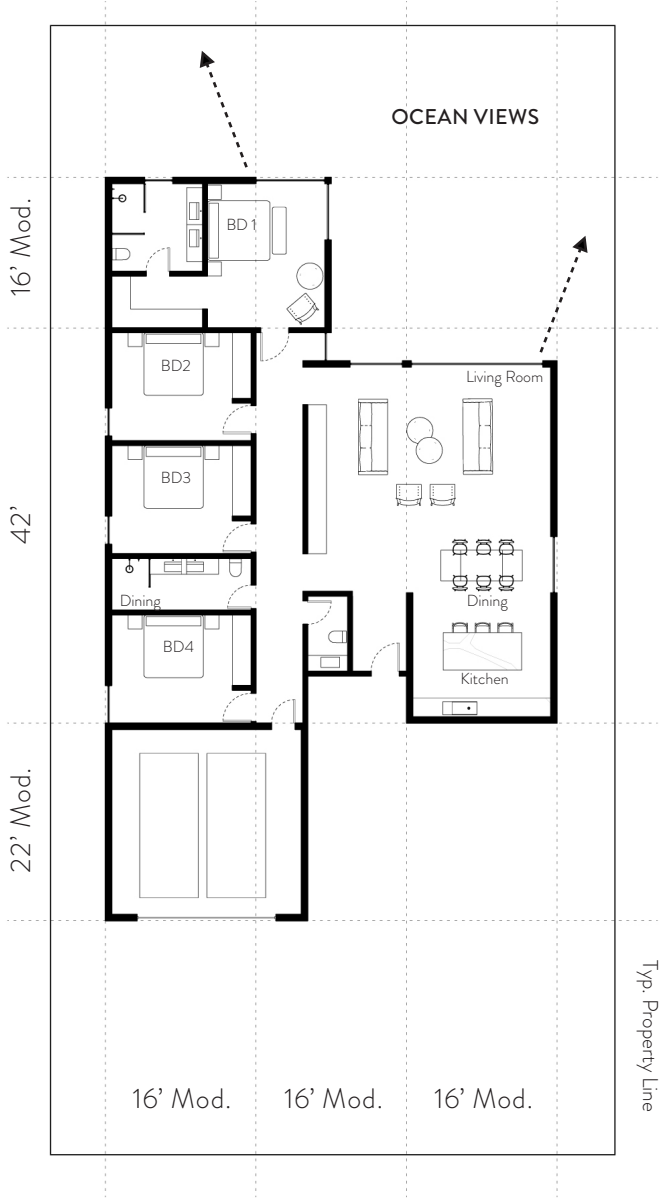
OPTION 7 3 BED + 2.5 BATH

Dimensions: 70'0" x 48'0"

Height: 11'3" to 12'0"

Gross Area: 2,055 sq. ft.
< Like-for-Like 110% Max Area (2,255 sq.ft,)

Garage Area: 445 sq.ft. garage



OPTION 8 4 BED + 2.5 BATH

Dimensions: 79'0" x 48'0"

Height: 11'3" to 12'0"

Gross Area: 2,270 sq. ft.
< Like-for-Like 110% Max Area (2,530 sq.ft,)

Garage Area: 445 sq.ft. garage

DESIGN

PANORAMA HOUSE: MOD TRICOLOR



DESIGN

PANORAMA HOUSE: MESA INDIGO



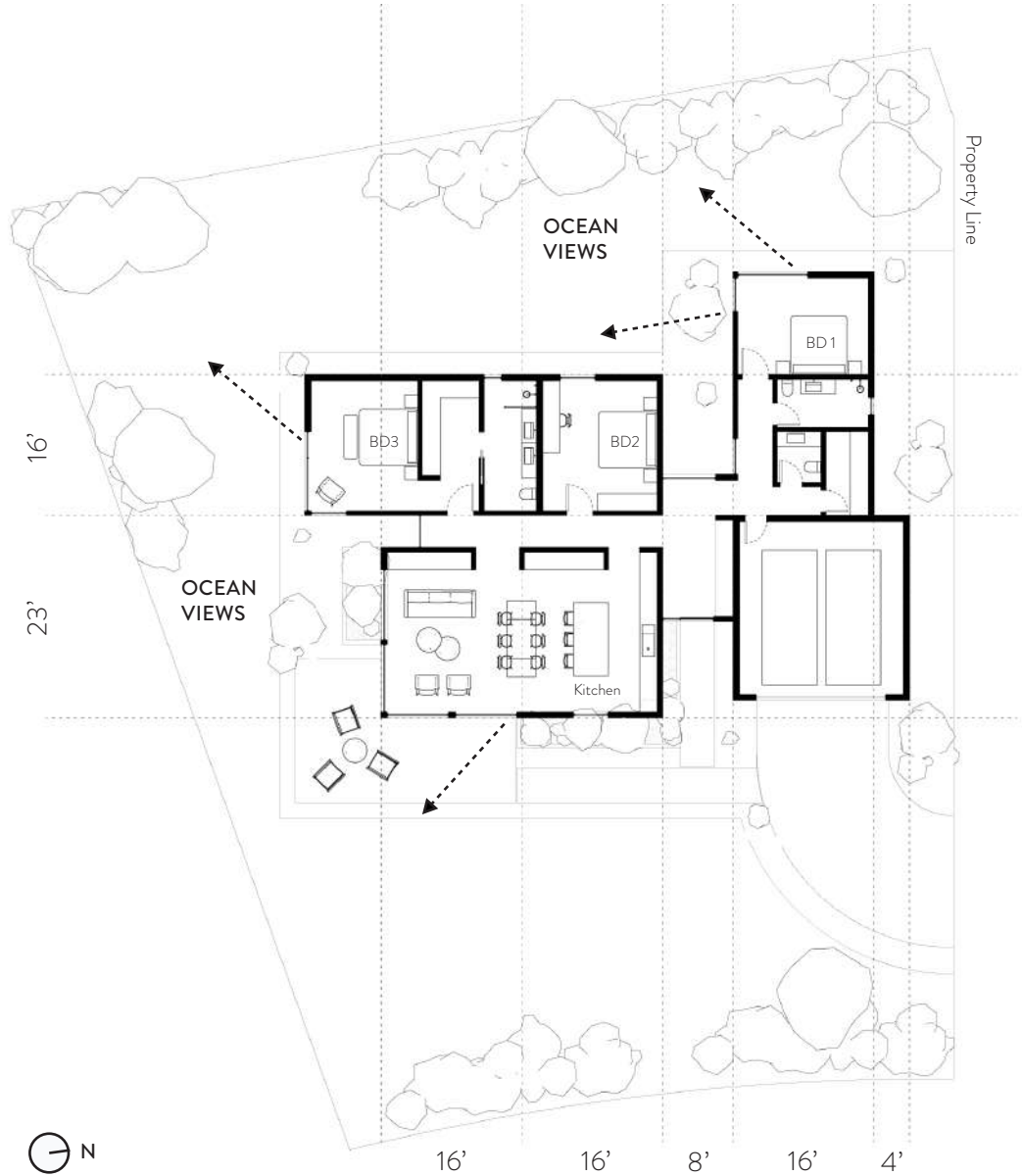
DESIGN

PANORAMA HOUSE: PALM SPRINGS BLUE



DESIGN

CORNER, KEY, AND LARGE LOT HOME OPTIONS



CORNER LOT OPTION EXAMPLE 3 BED + 2.5 BATH

Dimensions: 68'8" x 50'4" (Subject to lot conditions)

Height: 12'3" (Subject to individual case study for CCR compliance)

Gross Area: 1,947 sq. ft. (Will vary depending on lot)
< Like-for-Like 110% Max Area

Garage Area: 420 sq.ft. garage



DESIGN

COMMUNITY VARIATION, CUSTOMIZATION



a. Split Level House



b. Split Level House



c. Split Level House



d. Panorama House



e. Panorama House



f. Patio House



g. Patio House



h. Panorama House



i. Patio House

...and many other variations as well!

DESIGN

INTERIOR KITCHEN AND BATHROOMS EXAMPLES



DESIGN

PREMIUM INTERIOR OPTIONS BY POLIFORM, MOLteni&C & ERNESTOMEDA



DESIGN

EXAMPLES OF NON-COMBUSTIBLE INTERIOR MATERIALS



CONCRETE | FOUNDATIONS



PLASTER



PORCELAIN



TILE



METAL ROOFING

PRECISION BUILT

HYBRID MODEL: PRECISION & CUSTOMIZATION

- **Precision and efficiency** through factory built
- **On-site customization** for personal touches
- **Flexible Construction** using panelized systems for corners and larger lots
- **Faster timelines**
- **Consistent quality** from factory controls
- **Fire-resistant and durable** materials
- **Sustainable design** with low waste

360° APPROACH: FULLY INTEGRATED

- **End-to-end managed** from design to assembly
- **Integrated material selection** and production
- **Factory-built components** ensure consistency
- **On-site work** streamlined for efficiency



BUILDING METHODS OVERVIEW

A LEGACY OF INNOVATION

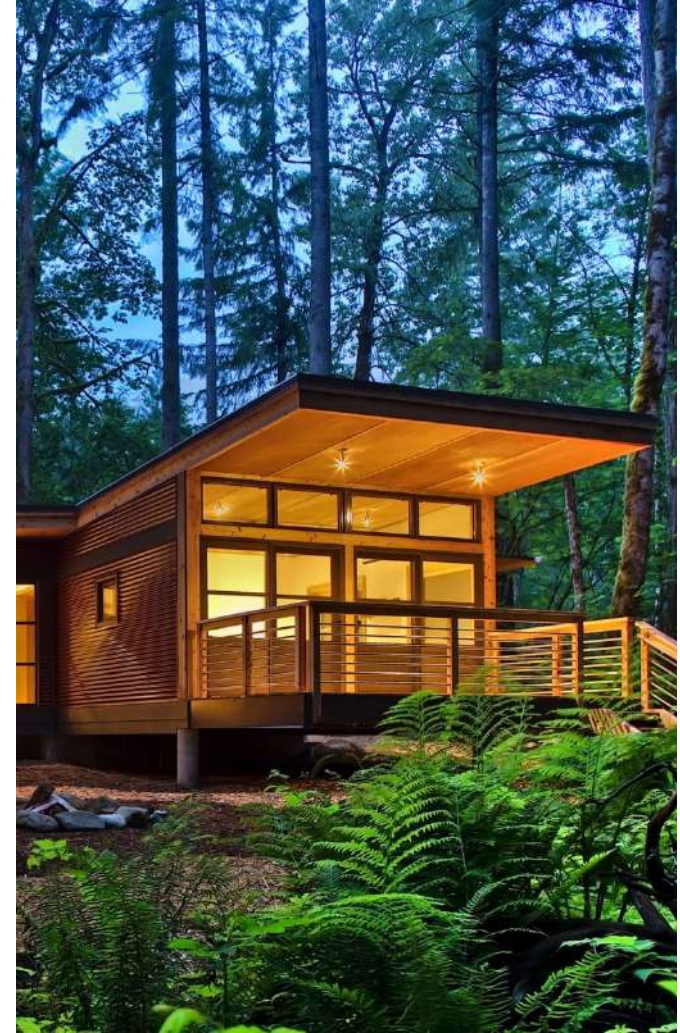
- **Precision-built homes trace their legacy to the 1949 Eames House** near Sunset Mesa.
- **With Decades of Evolution**, today, modular design spans luxury homes, high-rises, and resilient housing.
- **Technology-driven**, factory-built with digital precision
- **Built to exceed standards with fire-resistant**, sustainable materials.
- **A faster way to build**



Eames House (1949), built with panels

BUILDING METHODS OVERVIEW

PRECISION BUILT EXAMPLES



FIRE RESILIENCE ADVISOR: NATE WITTASEK

EXPERTISE IN FIRE RESILIENCE ENGINEERING AND INSURANCE

- Leads fire resilience strategy from concept through implementation
- Specializes in structural hardening, defensible space, and wildfire mitigation
- Ensures fire-resistant materials and engineering best practices are integrated early in design
- Design and Engineering oversight of plans and specifications

FIRE RESILIENCE AND INSURANCE PLATFORM

- Conducts defensible space inspections and structural evaluations
- Helps homeowners meet insurance requirements and improve insurability
- Supports potential Firewise community certification for insurance benefits
- Provides educational resources for proactive fire risk management

ROLE IN THE SUNSET MESA COLLECTIVE

- Advises on fire resilience planning and insurance negotiations
- Helps integrate fire resilience measures into the community's rebuilding strategy
- Develops approaches for common infrastructure systems to enhance fire safety
- Supports long-term risk reduction and insurability for homeowners

A HOME BUILT TO LAST

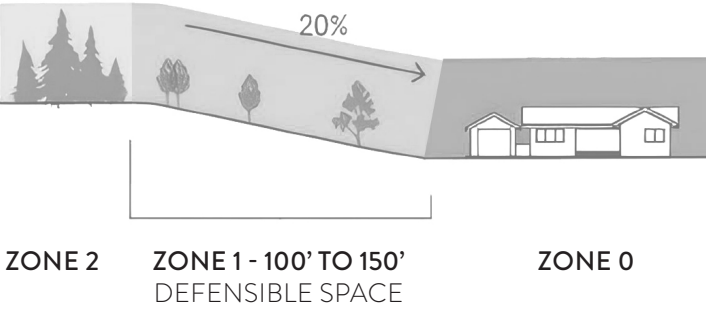
SITE PLAN

DEFENSIBLE ZONES

ZONE 0: Remove all combustible materials near the home, including mulch, flammable plants, and wood storage. Use gravel, concrete, or pavers to create an ember-resistant zone.

ZONE 1A (5-30 FT): Space shrubs and trees to prevent fire spread. Use fire-resistant plants like succulents and ornamental grasses, ensuring groupings are widely spaced.

ZONE 1B (30-100 FT): Thin vegetation, prune tree limbs 6-10 feet above the ground, and clear dead material. Maintain 10 feet between tree canopies and prioritize native plants for soil stability and erosion control.



A HOME BUILT TO LAST

RESILIENCE STRATEGIES

STRUCTURAL FIRE PROTECTION

- **Airtight Envelope:** High-performance insulation shields against heat.
- **Class A Roof & Insulation:** Top-tier fire resistance.
- **Laminated Windows & Doors:** Prevent ember intrusion.
- **WUI-Compliant Siding & Steel Structure:** Durable, non-combustible materials.
- **No Gas or Propane:** Reduces fire risk.

ACTIVE FIRE DEFENSE

- **Fire Sprinklers:** Integrated suppression.
- **Self-Powered Solar + Battery:** Ensures backup power.
- **Defensible Space & Fire-Smart Landscaping:** Strategic fire mitigation.

EMBER-RESISTANT DESIGN

- **Unvented Crawlspace, Roof & Eaves:** Blocks ember entry.
- **Airtight Envelope & Rainscreen:** Seals gaps, enhances protection.

CENTRALIZED AIR SYSTEM

- **Fewer Exterior Openings:** Limits ember exposure.
- **Smart Fire Dampers:** Auto-sealing pathways.
- **MERV 15 Filtration:** Improves air quality.

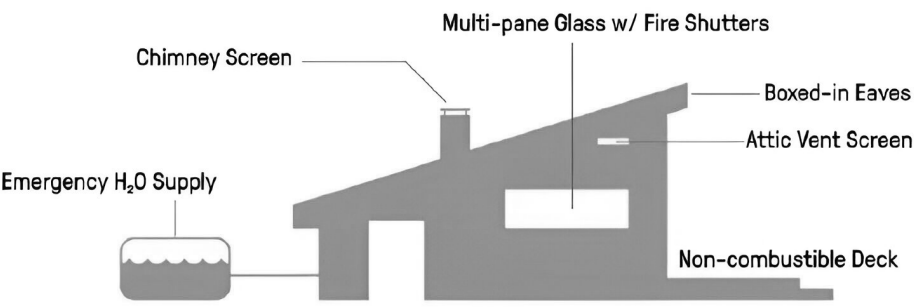
SUSTAINABILITY & EFFICIENCY (OPTIONAL)

- **Solar Integration & Collective Energy Grid**
- **Smart Energy Management Systems**
- **Solar-Ready Infrastructure**

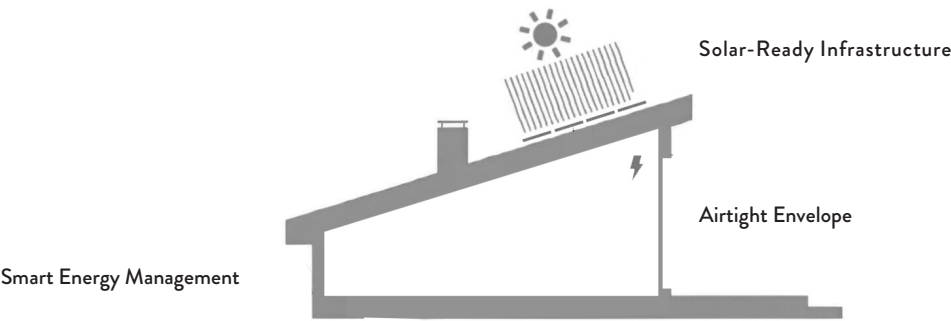
PARCEL PROTECTION



KEY STRUCTURE HARDENING ELEMENTS



SUSTAINABILITY AND EFFICIENCY



A HOME BUILT TO LAST

FIRE-RESISTANT CONSTRUCTION



NON-COMBUSTIBLE STEEL FRAME SYSTEMS

Homes eliminate wood framing entirely, reducing fire risks.



ACTIVE FIRE SUPPRESSION SYSTEMS

Built-in sprinkler systems ensure rapid response in case of a fire.



FIRE-RESISTANT TREATED WOOD SIDING

Meets strict ASTM E84 or E2768 fire test compliance for flame spread and smoke development.



DUAL-PANEL TEMPERED GLASS WINDOWS

Provides thermal insulation and impact resistance to protect against extreme



EMBER-RESISTANT VENT COVERS

Made from durable metal mesh with openings no larger than 1/8 inch to block



FIRE-RATED EXTERIOR DOORS

Available in 20-minute or 90-minute fire-rated designs for wood or metal



FIREPROOF SKIRTING

Blocks embers from accessing the foundation and raised crawl spaces.



TITLE 24 STANDARDS

Meet or exceed California's stringent energy efficiency codes, offering superior insulation and materials that double as fire-resistant.



NON-COMBUSTIBLE ROOFING

Metal, tile, or concrete roofing that resists ember ignition.

NEXT STEPS: HOW TO GET INVOLVED

1. SIGN UP TO RECEIVE THE SUNSET MESA COLLECTIVE UPDATES (IF YOU HAVEN'T ALREADY)

- Visit **sunsetmesacollective.com**

2. REVISIT THE TOWN HALL MATERIALS AT YOUR CONVENIENCE

- We'll be sending out the full presentation and recording so you can explore the vision and process in more detail.

3. SIGN UP FOR A FEASIBILITY STUDY

- We'll be sending out the signup form in the coming weeks.

4. CHOOSE YOUR TYPOLOGY

- Select from our layouts, and we'll begin customizing it to suit your lot, views, and lifestyle.

5. BEGIN THE DESIGN PHASE

- From Schematic design to survey coordination and fire resilience planning.



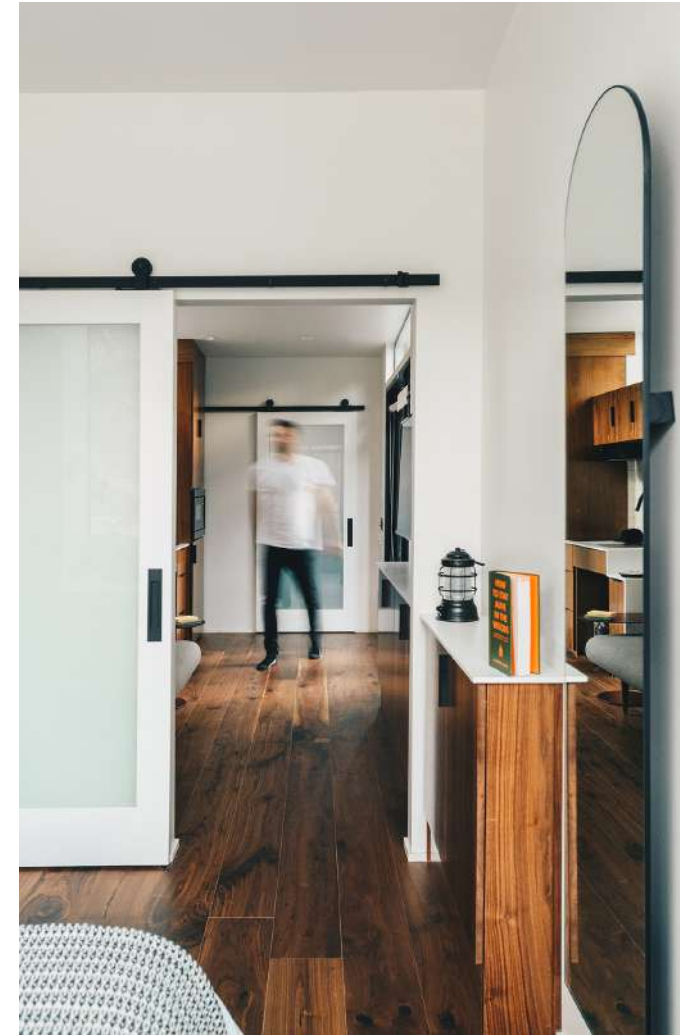
QUALIFICATIONS

AUTOCAMP

PRECISION-BUILT HOSPITALITY

AutoCamp integrates prefabricated design with the natural landscapes of Yosemite and Joshua Tree. The precision-built Airstream Suites and modular ADA-compliant units emphasize efficiency, flexibility, and seamless indoor-outdoor living. Designed for adaptability across multiple locations, the structures balance functionality with a strong connection to their surroundings.

QUALIFICATIONS
AUTOCAMP



QUALIFICATIONS

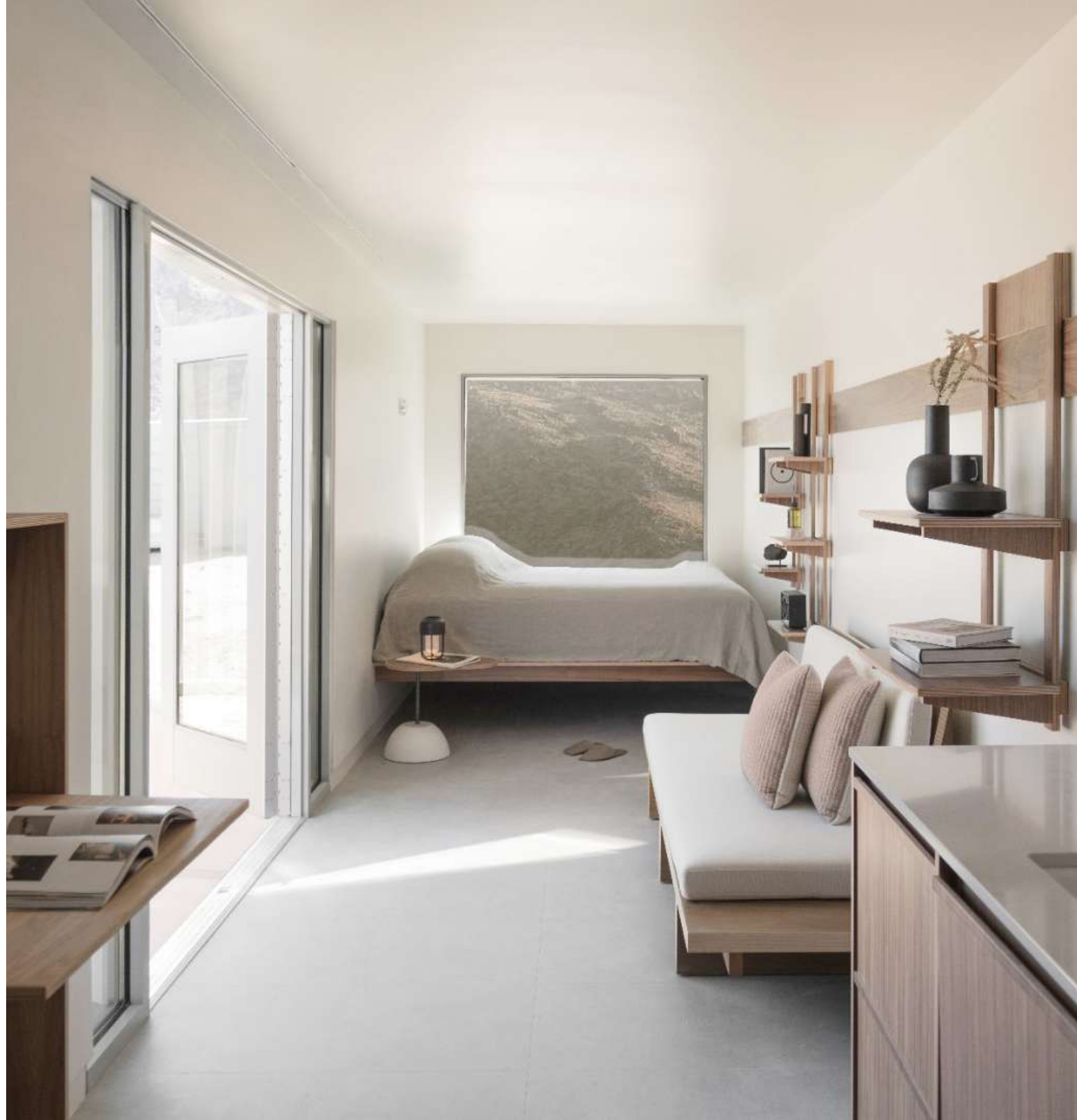
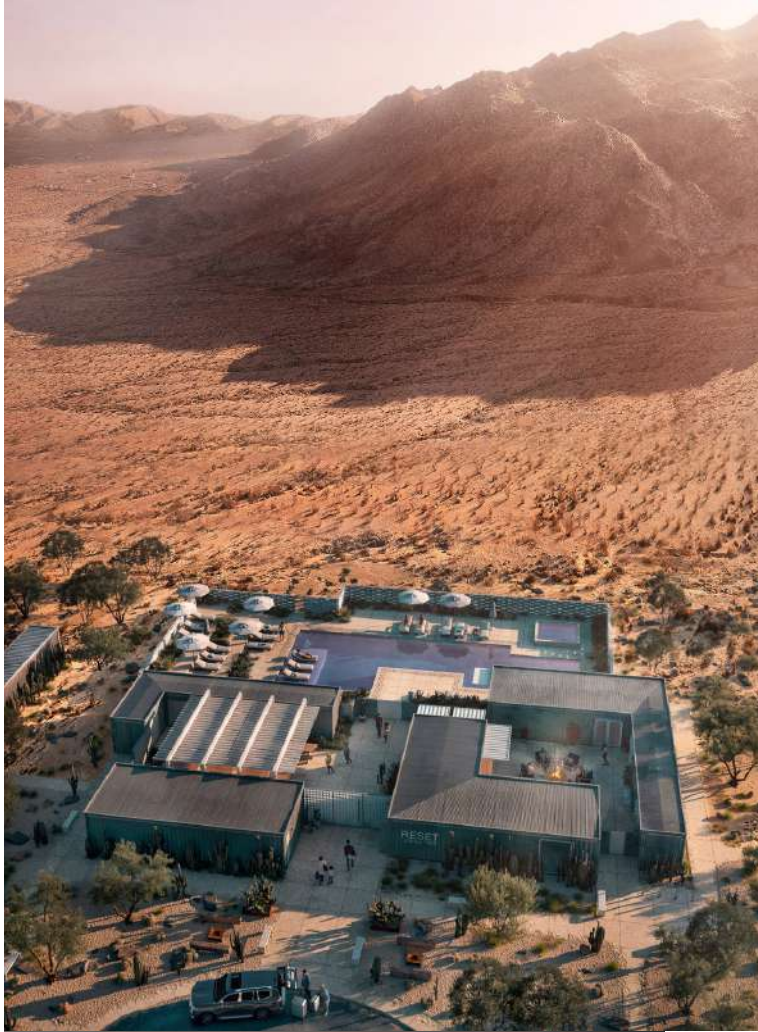
RESET HOTEL

PRECISION-BUILT DESERT MINIMALISM

Located near Joshua Tree, Reset Hotel features precision-built structures with clean lines, open interiors, and seamless indoor-outdoor connections. Expansive glass walls frame mountain views, while private patios offer a direct link to the desert landscape. Designed for simplicity and integration with nature, the architecture emphasizes craftsmanship and efficiency.



QUALIFICATIONS
RESET HOTEL



QUALIFICATIONS

BEVERLY HILLS HYBRID HOME

PRECISION-BUILT MODERN RESIDENCE

This modernist hybrid home blends precision-built efficiency with site-crafted elements, featuring cantilevered rooflines, warm wood siding, and expansive glass facades for seamless indoor-outdoor flow. Its L-shaped structure comprises six prefabricated modules, while a site-built glass tower anchors vertical circulation.



QUALIFICATIONS

BEVERLY HILLS HYBRID HOME



QUALIFICATIONS

MANZANITA | LANDSCAPE

MANZANITA is a thoughtfully restored mid-century ranch re-imagined for both ecological renewal and family life. A new landscape of native plants, boulders, and water basins repairs habitat connections while also supporting play and relaxation. The outdoor space is reprogrammed with kid-friendly features like climbable stumps and stones, balanced by a new pool and spa designed for adults.





QUALIFICATIONS

BAILEYA

Located at the foot of the San Gabriel Mountains in Altadena, CA, Bailey re imagines turf removal as a celebration of place and habitat. Designed with climate consciousness, it invites neighborhood fauna into a wild, untethered garden anchored by a rainwater feature that stretches toward the street, connecting home and community. Native California fan palms contextualize existing queen palms, while boulders, flagstone, and a spring boulder surrounded by native plants elevate the landscape's ecological richness.



LANDSCAPE: HORIZON GARDEN



Architectural Pairing
Split-level house

ZONE	DESIGN STRATEGY	PLANTS	MATERIALS
Zone 0 (0–5 ft)	Ember-resistant zone with gravel, boulders, and tight, low-growing plants.	<ul style="list-style-type: none">- Dudleya brittonii (Chalk Lettuce)- Carex pansa (California Meadow Sedge)- Eriogonum crocatum (Conejo Buckwheat)	<ul style="list-style-type: none">Crushed graniteLight angular bouldersPermeable pavers or corten bands
Zone 1A (5–30 ft)	Layered, low shrubs and spaced groupings for both structure and softness.	<ul style="list-style-type: none">- Salvia leucophylla (Purple Sage)- Artemisia californica (California Sagebrush)- Verbena lilacina (Lilac Verbena)- Eriogonum cinereum (Ashy Buckwheat)	<ul style="list-style-type: none">Stabilized DGLow steel edgingSpaced stepping pads
Zone 1B (30–100 ft)	Drift planting of grasses and resilient shrubs with long sightlines.	<ul style="list-style-type: none">- Ceanothus ‘Yankee Point’- Rhus integrifolia (Lemonade Berry)- Isocoma menziesii (Goldenbush)- Elymus condensatus ‘Canyon Prince’	<ul style="list-style-type: none">DG or native soilNatural rock groupingsMulch with wide spacing

Clean lines, soft color, and layered views
(informed by the Coastal Sage Scrub community)

LANDSCAPE: FOOTHILL GARDEN



Architectural Pairing
Split-level house

ZONE

Zone 0
(0–5 ft)

DESIGN STRATEGY

Strong mineral definition. Use linear stonework, low succulents, and fire-resilient form.

PLANTS

- Dudleya lanceolata (Liveforever)
- Eriogonum fasciculatum ‘Theodore Payne’
- Carex divulsa (Berkeley Sedge)

MATERIALS

Warm-toned fractured granite
Linear steel or stone planters
Buff-colored DG or cobble

Structured wildness, sculptural massing, slope-adapted (informed by the Upper Chaparral and Foothill Transition Zone communities)

Zone 1A
(5–30 ft)

Dense but tidy. Use sculptural forms and evergreen foliage with clipped edges.

- Arctostaphylos glauca (Bigberry Manzanita)
- Ceanothus ‘Dark Star’
- Salvia apiana (White Sage)
- Iris douglasiana

Boulders with framed gravel edges
Geometric stepping pads
Mulch with mineral break lines

Zone 1B
(30–100 ft)

Softer, sweeping. Transition to bunchgrasses, lower-maintenance natives, and rock outcroppings.

- Muhlenbergia rigens (Deergrass)
- Ribes indecorum (White-flowering Currant)
- Elymus glaucus (Blue Wild Rye)
- Cercis occidentalis (Western Redbud)

Boulder groupings at slope transitions
Naturalized stone paths
Stabilized soil zones

APPENDIX

LANDSCAPE: RIDGE GARDEN



Architectural Pairing
Patio house

ZONE

Zone 0
(0–5 ft)

DESIGN STRATEGY

Shield the home with mineral massing and sculptural evergreens. Protect patios with clear zones.

PLANTS

- Arctostaphylos ‘John Dourley’ (Dwarf Manzanita)
- Dudleya pulverulenta
- Carex tumulicola (Foothill Sedge)

MATERIALS

Weathered boulders in gravel or DG
Stone or corten planters
Permeable pavers

Zone 1A
(5–30 ft)

Layer dense but pruned shrubs with textural contrast and pollinator support.

- Ceanothus ‘Ray Hartman’
- Rhamnus californica ‘Eve Case’
- Salvia mellifera
- Eriogonum fasciculatum

Native mulch with gravel accents
Stepping stone paths
Boulder framing for outdoor rooms

Zone 1B
(30–100 ft)

Soften with flowing grasses and wild edge plants. Use structure to retain slopes or screen views.

- Muhlenbergia rigens
- Ribes indecorum
- Quercus berberidifolia
- Baccharis pilularis

Swales with stone or gravel
Fire-safe fence offsets
Textural mulch & terracing stones

Earth intimacy, layered protection, seasonal expression (informed by the Chaparral community)

LANDSCAPE: SHELTER GARDEN



Architectural Pairing
Patio house

ZONE

DESIGN STRATEGY

PLANTS

MATERIALS

Shaded sanctuary, layered understory, inward-facing calm (informed by the Oak woodland community)

Zone 0
(0–5 ft)

Mineral surface with tucked-in woodland plants. Create rhythm with stone, shadow, and form.

- Iris douglasiana (Douglas Iris)
- Heuchera maxima (Island Alum Root)
- Carex tumulicola

Basalt or dark granite boulders
DG with fine gravel top layer
Natural stone pavers

Zone 1A
(5–30 ft)

Layered evergreen understory with cool foliage and subtle flowering.

- Ribes indecorum (White-flowering Currant)
- Rhamnus californica ‘Eve Case’
- Salvia spathacea (Hummingbird Sage)
- Iris douglasiana

Woodland mulch with cobble perimeter
Flagstone paths
Built-in seating or low stone walls

Zone 1B
(30–100 ft)

Transition to open edge with dappled sun, birdsong, and habitat value.

- Quercus agrifolia (Coast Live Oak)
- Muhlenbergia rigens (Deergrass)
- Diplacus aurantiacus (Sticky Monkeyflower)
- Asclepias fascicularis (Narrowleaf Milkweed)

Stone-lined swales
Split-rail or wood fences
Organic mulch with open plant groupings

LANDSCAPE: ARROYO GARDEN



Architectural Pairing
Panorama house

ZONE

Zone 0
(0–5 ft)

DESIGN STRATEGY

Open mineral surfaces and dry creek features. Define flow while resisting embers.

PLANTS

- Juncus patens (California Gray Rush)
- Eriogonum fasciculatum ‘Warriner Lytle’
- Festuca ‘Siskiyow Blue’

MATERIALS

- Rounded cobble and DG
- Concrete or stone banding
- Subsurface infiltration trench

Broad transitions, flowing patterns, natural arroyos (informed by the Alluvial scrub community)

Zone 1A
(5–30 ft)

Blend structure and softness. Grasses, low shrubs, and embedded boulders.

- Platanus racemosa (Western Sycamore)
- Muhlenbergia dubia (Pine Muhly)
- Salvia clevelandii (Cleveland Sage)
- Penstemon spectabilis

- Dry-laid stone edging
- Crushed rock mulch
- Swale-lined pathways

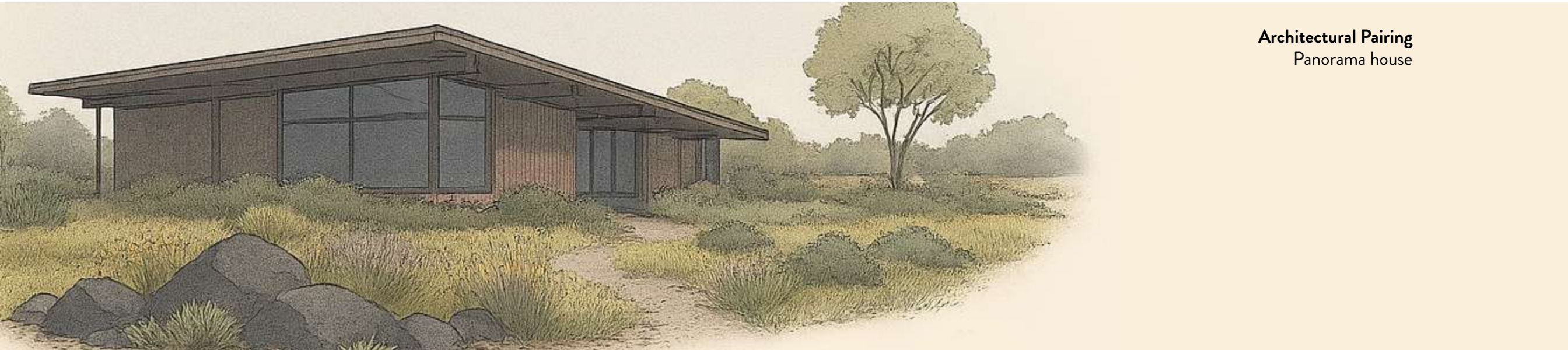
Zone 1B
(30–100 ft)

Naturalize the edge. Plant for erosion control, pollinators, and seasonal shifts.

- Elymus triticoides (Creeping Wild Rye)
- Baccharis pilularis (Coyote Brush)
- Encelia californica (California Brittlebush)
- Artemisia tridentata (Big Sagebrush)

- Rock terraces or check dams
- Infiltration basins
- Natural mulch and seasonal color

LANDSCAPE: SERPENTINE GARDEN



Architectural Pairing
Panorama house

ZONE

Zone 0
(0–5 ft)

DESIGN STRATEGY

Keep low, lean, and mineral.
Punctuate with bold foliage and
architectural forms.

PLANTS

- Dudleya cymosa (Canyon Dudleya)
- Eriogonum nudum (Naked Buckwheat)
- Carex praegracilis

MATERIALS

Clean DG, flagstone pads
Dark boulders or split serpentine rock
Steel edging with gravel

Zone 1A
(5–30 ft)

Textural massings. Use drought-
tolerant perennials and grasses in
sweeping compositions.

- Stipa pulchra (Purple Needlegrass)
- Clarkia unguiculata (Elegant Clarkia)
- Asclepias fascicularis (Narrowleaf Milkweed)
- Salvia apiana

Gravel mulch, open spacing
Crushed serpentine rock
Steel or stone seat walls

Zone 1B
(30–100 ft)

Meadow-like composition with
height variation and habitat
structure.

- Achillea millefolium (Yarrow)
- Elymus glaucus (Blue Wild Rye)
- Zauschneria californica (CA Fuchsia)
- Solidago californica (Goldenrod)

Split rail or wildlife-friendly fencing
Boulder clusters
Organic mulch or native soil topdress

Sculptural grassland, rare textures, seasonal
show (informed by the California Mesic
Serpentine Grassland communities)

LANDSCAPE: CANOPY GARDEN



Architectural Pairing
Corner Lot

ZONE	DESIGN STRATEGY	PLANTS	MATERIALS	
Zone 0 (0–5 ft)	Low-growing herbaceous textures, no mulch, subtle mineral edge near foundation.	<ul style="list-style-type: none">- Heuchera maxima (Island Alum Root)- Iris douglasiana (Douglas Iris)- Carex pansa	<ul style="list-style-type: none">Light-colored DGSplit stone paversOak-leaf-shaped steel edging	Understory refuge, dappled shade, living boundaries (informed by the Southern Oak Woodland community)
Zone 1A (5–30 ft)	Layer cool evergreen massings with seasonal flowers. Shade-tolerant and fire-resilient.	<ul style="list-style-type: none">- Rhamnus californica ‘Eve Case’- Ribes viburnifolium (Evergreen Currant)- Salvia spathacea- Polystichum munitum (Western Sword Fern)	<ul style="list-style-type: none">Natural mulch with gravel bufferWinding flagstone pathsSeatwalls or dry-stack edges	
Zone 1B (30–100 ft)	Loosen structure, allow space for birds and wildlife in layered understory.	<ul style="list-style-type: none">- Quercus agrifolia (Coast Live Oak)- Muhlenbergia rigens (Deergrass)- Lonicera hispidula (CA Honeysuckle)- Monardella villosa (Coyote Mint)	<ul style="list-style-type: none">Organic mulchWildlife-friendly fencingMoss rock groupings at edges	

LANDSCAPE: VEIL GARDEN



Architectural Pairing
Corner Lot

ZONE	DESIGN STRATEGY	PLANTS	MATERIALS	
Zone 0 (0–5 ft)	Clean perimeter with mineral materials and soft herbaceous growth.	<ul style="list-style-type: none">- Juncus patens (California Gray Rush)- Verbena lilacina (Lilac Verbena)- Carex praegracilis	DG or gravel mulch Flagstone ribbons or steel-edged bands Light boulder accents	Soft edges, filtered light, movement & flow (informed by the Riparian community)
Zone 1A (5–30 ft)	Layer tall perennials and grasses to catch the breeze and soften views.	<ul style="list-style-type: none">- Epilobium canum (CA Fuchsia)- Muhlenbergia capillaris (Pink Muhly)- Helenium puberulum (Sneezeweed)- Juncus effusus (Soft Rush)	Crushed rock paths Swale curves Open planting pockets	
Zone 1B (30–100 ft)	Let the garden drift. Use sweeps of grasses and nectar-rich perennials.	<ul style="list-style-type: none">- Solidago californica (Goldenrod)- Monardella villosa (Coyote Mint)- Asclepias fascicularis (Milkweed)- Ribes aureum (Golden Currant)	Boulder-lined swales Split rail fencing Native mulch or unplanted openings	

DISCLAIMER

This presentation is distributed by the Sunset Mesa Collective for informational purposes only and is intended to support Sunset Mesa residents in understanding the vision, design process, and preliminary feasibility of potential home development.

By reviewing this presentation, you acknowledge that investing in real estate projects carries inherent risks. The projections and content included are based on preliminary estimates and assumptions that are subject to change. These should not be considered guarantees or relied upon as the sole basis for any investment or design decision regarding the Project or Property.

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Applicable Standards - LA County

Santa Monica Mountains Coastal Zone

- Subject to the Santa Monica Mountains Local Implementation Program (LIP)
- Pre-Approval Requirements
 - Materials
 - Form
 - Height
 - Parking



Applicable Standards - LA County

Santa Monica Mountains Coastal Zone

- Property Specific LIP Requirements
 - Building Site Area (25%)
 - Structure Siting
 - Yard Setbacks
 - Screening
 - Fences, Gates, and Walls
 - Landscaping
 - Grading

Applicable Standards - LA County

Foothills

- General Site Regulations – 22.110
- Residential Design Standards – 22.140.520
- Altadena Community Standards District (CSD) – 22.306



Applicable Standards - LA County

Foothills

- Pre-Approval Requirements
 - Height
 - Parking
 - Access
 - Ground Floor Treatment
 - Building Articulation
 - Façade Details

Applicable Standards - LA County

Foothills

- Property Specific Requirements
 - Yard Setbacks
 - Height and Step backs
 - Gross Structural Area and Lot Coverage
 - Fence and Walls
 - Landscaping
 - Parking Location
 - Building Separation and Encroachments

Applicable Standards - LA County

Building Code Requirements

- Title 26 – Building Code
 - Residential Code
 - Green Building Standards
- Fire Hazard Severity Zone
 - Chapter 7A – Materials and Construction Methods for Exterior Wildfire Exposure


Applicable Standards - LA County

Building Code Requirements

- Structural design criteria limitations:
 - Hillside Properties (3:1 Slope or Steeper)
 - Very High Fire Hazard Severity Zone (Foothills only)
 - Geologic Hazard Zones
 - Methane Gas Hazard Zone
 - Flood Hazard Zone
 - Restricted Use Areas (including Easements)
 - Septic System Areas

Submittal Process - Pre-Approval

- Submit plans through EPIC-LA or In-Person
- Use a **DRP-Base Application-Permits & Reviews** for online submittal and attach:
 - Plans (Floor Plan and Elevations)
 - Supplemental Form
 - Fact Sheet
- No fee required by LA County Planning for review of standard plan



DRP - Base Application - Permits & Reviews
Category Name:
Regional Planning

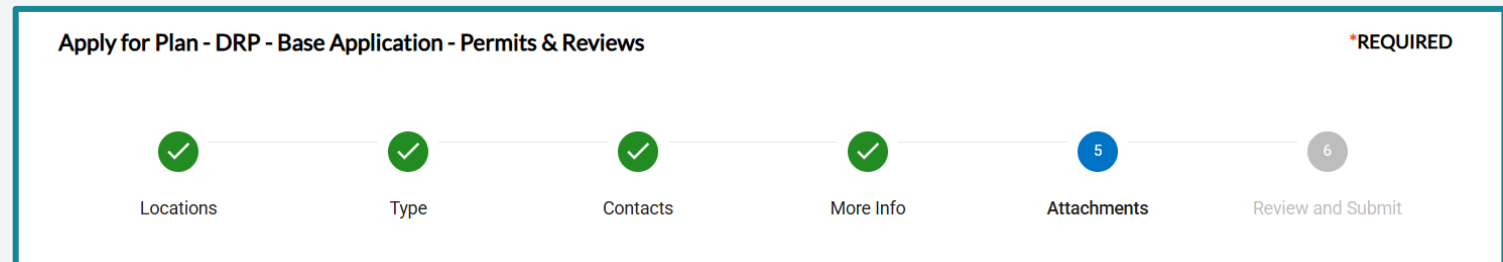
Description:
Regional Planning – Base Application – Permits and Reviews: Use this application to obtain approval for new development or a new land use. Apply for a Site Plan Review, Conditional Use Permit (CUP), Revised Exhibit "A" (REA), Parking Permit, Coastal Development Permit (CDP), Yard Modification, Certificate of Compliance (COC), Pre-Application Counseling, etc. Do NOT use this application for Eaton or Palisades Fire-related Rebuild or Temporary Housing. Instead, please use the respective County Recovery application.

Apply

Submittal Process - Pre-Approval

EPIC-LA

- Address: 320 W Temple Street, Los Angeles
- Project Description: **“Fire Rebuild Master Plan”**
- Property Specific Questions: Enter **“N/A”** or **“0”**
- Attachments: Attach **three (3)** required items in any order




Submittal Process - Pre-Approval

Building and Safety Division (BSD)

- Applicants will be referred to BSD by LA County Planning.
- Required items:
 - Architectural Plans
 - Structural Plans
 - Engineering calculations
- Subject to plan check fees
- After BSD approval, plan will be added to County pre-approved catalog

Submittal Process – Fire Rebuilds

- Submit via EPIC-LA or In-Person
- Use a County Recovery – Rebuild (CREC) Application to submit online and attach:
 - Site Plan
 - Proof of Ownership
 - Acknowledgement Form
- For project Description enter “**Standard Plan Fire Disaster Rebuild Pre-Approved Design (Name and Number)**”
- LA County Planning will attach the selected pre-approved standard plan to site plan
- Application will be charged a review fee based on type of review

	County Recovery - Rebuild	Apply
Category Name:	Countywide	Description:
		This application is for all disaster rebuilds. You can use this application if you are rebuilding a primary residence and proposing a new Accessory Dwelling Unit (ADU).

Submittal Process – Fire Rebuilds

Review Type

- Foothills
 - Like-for-Like/Non-Like-for-Like – Ministerial Site Plan Review
- Coastal
 - Like-for-Like – Ministerial Site Plan Review
 - Non-Like-for-Like – Administrative Coastal Development Permit

Submittal Process - Fire Rebuilds

- After Planning clearance, **CREC** application will be forwarded to BSD
- Additional review fee required by BSD
- Complete BSD package includes:
 - Architectural Plans
 - Structural Plans
 - Engineering calculations
 - Energy Calculations

Like-for-Like Rebuilds

- Pre-approved designs are reviewed as non-like-for-like rebuilds
- Designs may qualify for like-for-like rebuilds in some circumstances:
 - Design must substantially match the square footage, footprint, height, and location of the lost structure
 - Coastal: A 10% increase is allowed
 - Foothills: A 200 sq. ft. or 10% increase, whichever is greater, is allowed.
 - Like-for-like does not apply to architectural style of a residence
 - Like-for-like applies to zoning requirements only

Upcoming workshop

Like-for-Like and Why It Matters
for Unincorporated LA County

VIRTUAL WORKSHOP

Saturday, May 17, 2025
10 a.m. - 12 p.m. Via Zoom



Rebuilding Together

Register Today!



lacounty.pw/rebuilding-wrkshp-3

Join LA County for a workshop on "Like-for-Like" rebuilds for communities in unincorporated LA County recovering from the Eaton and Palisades wildfires.

A Like-for-Like rebuild is the construction of a house that is the same or similar to the house that existed prior to the fires and offers homeowners a streamlined review and shorter approval time. The workshop will include an overview of the zoning and permitting process, making it ideal for design professionals and builders. Homeowners are also welcome to attend. Register now!

LA County Recovers



LA COUNTY
PLANNING

For reasonable ADA and Title VI accommodations, interpreting services, and materials in other languages, please contact Public Works at (626) 940-7998. This service is free.

LA COUNTY
PLANNING

SHAPING TOMORROW

City of Pasadena

CITY OF PASADENA PRE-APPROVED (STANDARD) PLANS PROGRAM

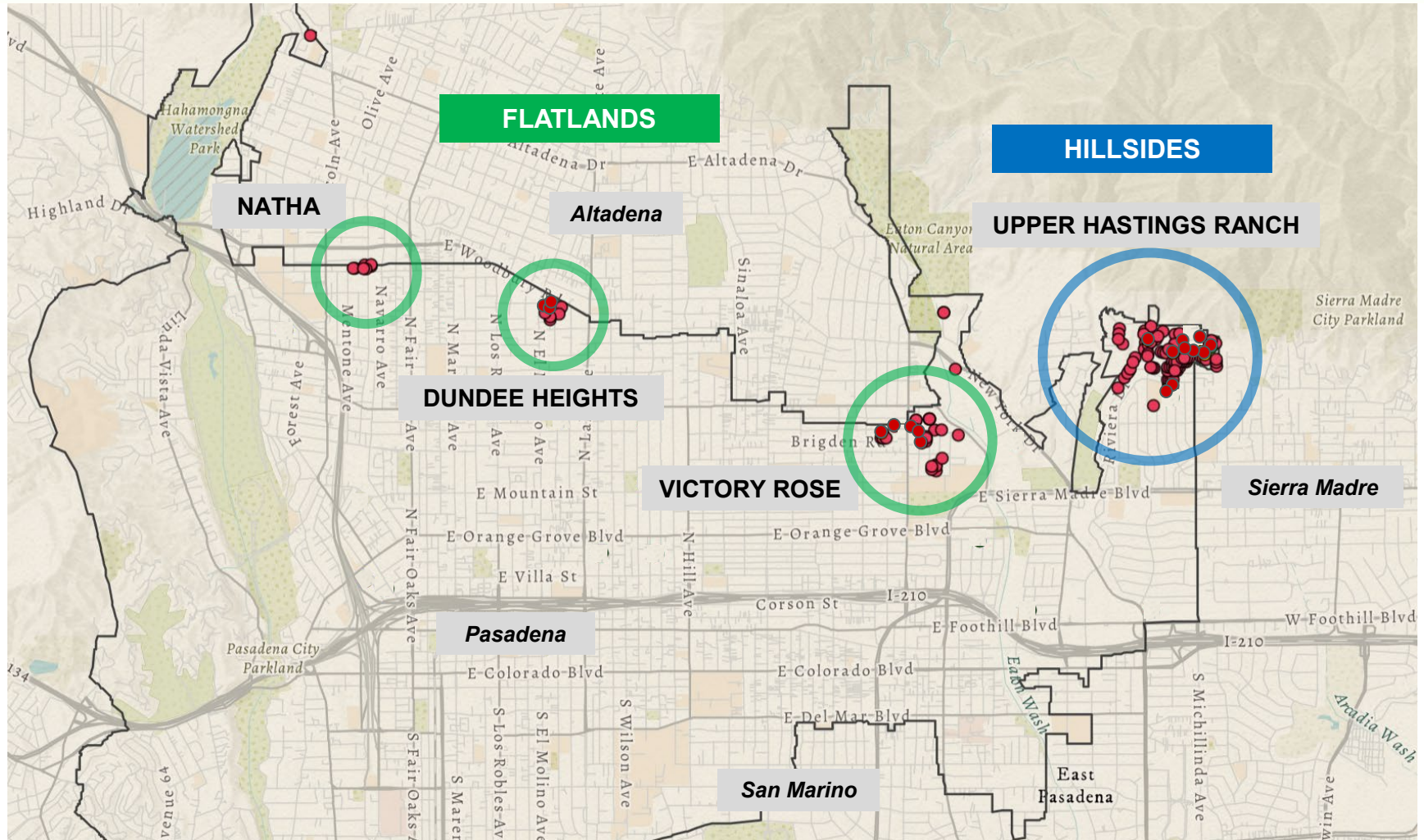
MAY 3, 2025





Neighborhood Characteristics

Planning & Community Development Department





Neighborhood Characteristics

Planning & Community Development Department

- **NATHA and Dundee Heights** (zoned RS):
 - > 1920s & 1930s; average house size of 1,470 SF.
 - > Standard rectangular or narrow/ deep properties; average 8,600 SF.
 - > Mostly 1-story with medium-pitched roofs.
 - > Front porches.
 - > Craftsman & Period Revival Bungalows.
 - > Detached garages at rear.
- **Victory Rose** (zoned RS):
 - > 1940s; average house size of 1,380 SF.
 - > Standard rectangular properties; average 7,400 SF.
 - > Mostly 1-story; mix of medium- & low-pitched roofs.
 - > Mix of front porches & small entryways.
 - > Spanish Colonial, English Cottage Revival & Minimal Traditional.
 - > Mostly detached garages at rear.



Neighborhood Characteristics



**NATHA and
Dundee Heights
Neighborhoods**





Neighborhood Characteristics



**Victory Rose
Neighborhood**





Neighborhood Characteristics

Planning & Community Development Department

Subareas	Ave DU Size	Ave Lot Size	Decade	2-Story	Pool
All Subareas	2,400	11,700	Varies	17%	63%
Subarea 1 (Center) – HD-1	2,040	8,700	1950s	7%	67%
Subarea 2 (North) – HD-1	2,650	13,700	1960s & 70s	25%	52%
Subarea 3 (West) – HD	5,450	31,000	1980s	75%	100%

Upper Hastings Ranch (zoned RS-HD-1 and RS-HD):

- > Mostly 1950s & 1960s; mostly terraced properties.
- > Mostly standard rectangular or larger squared properties.
- > Mostly 1-story with low-pitched roofs in HD-1.
- > Modern Ranch & California Ranch in HD-1.
- > Attached garages at front.
- > Mix of straight and L-shaped driveways.



Neighborhood Characteristics



**Upper
Hasting Ranch
Neighborhood**





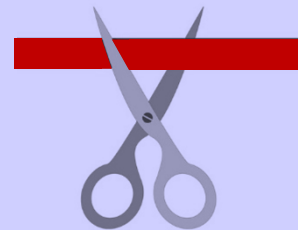
Executive Orders & City's Ordinance

Planning & Community Development Department

- **Governor's Orders (all destroyed properties):**
 - > Structure is substantially in the same location.
 - > Does not exceed the previous footprint or height by more than 10%.
 - > Can build an ADU before the main dwelling.
- **City's Rebuild Ordinance (for single-family):**
 - > Structure can be in a different location.
 - > Can exceed previous footprint or floor area by 10% or 200 SF, whichever is greater.
 - > Can rebuild previous garage dimensions or a standard 2-car garage.
 - > All other additions beyond the above must meet Zoning Code.



Executive Orders &
City Ordinances



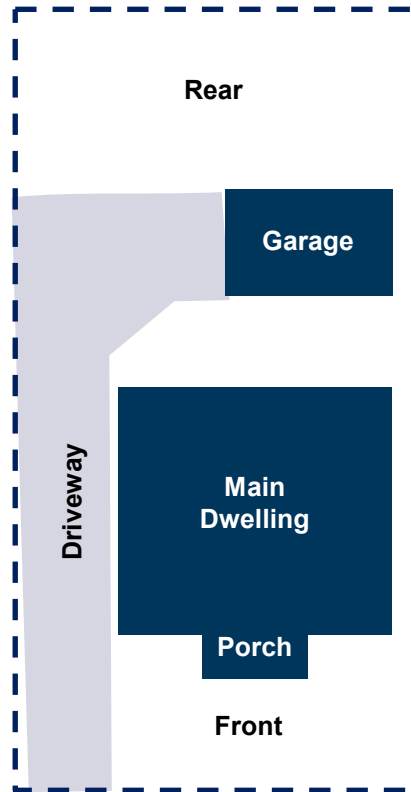
Remove Barriers



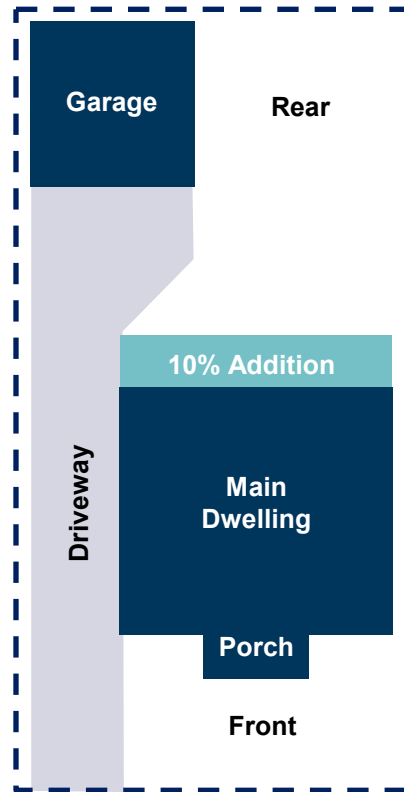
Within the City's Rebuild Ordinance

Planning & Community Development Department

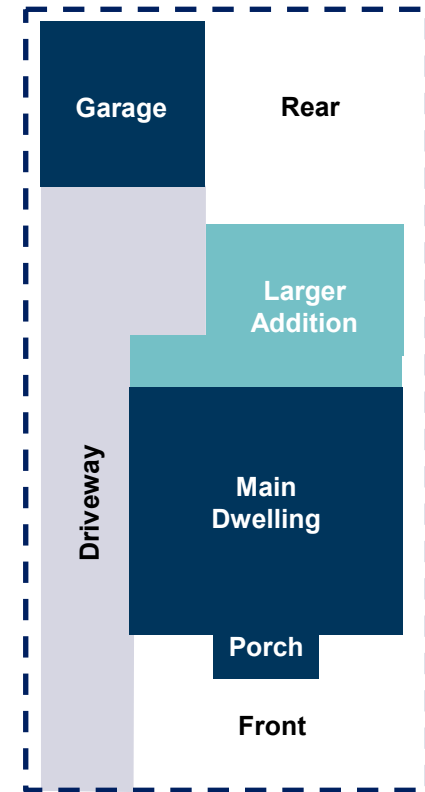
PREVIOUS CONDITION



**ADDITION WITHIN THE
REBUILD ORDINANCE**



**ADDITION BEYOND THE
REBUILD ORDINANCE**



Street

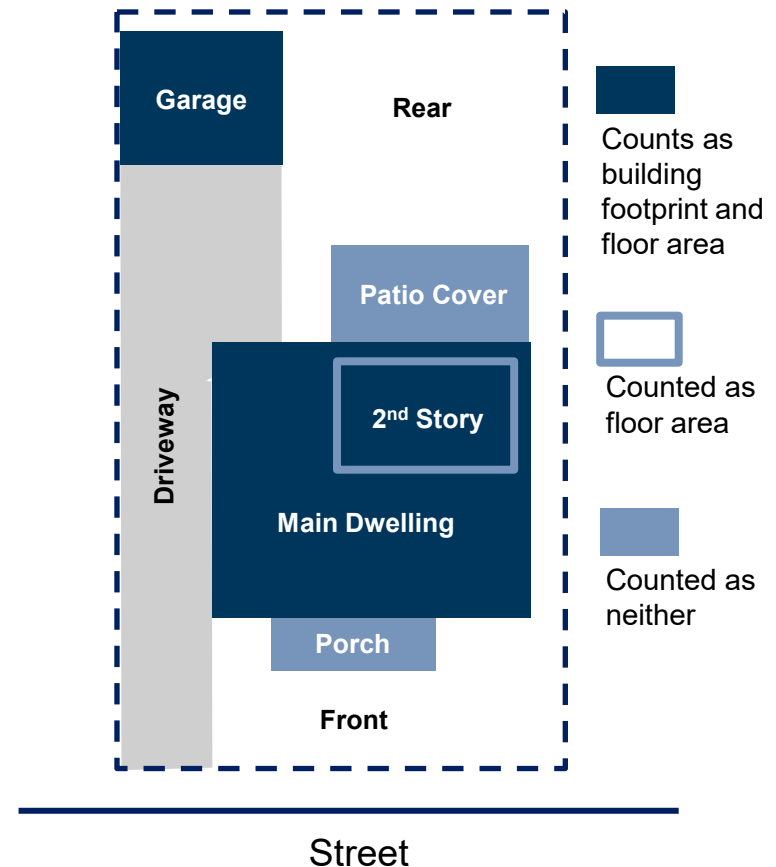


Within the City's Rebuild Ordinance

Planning & Community Development Department

Determining building footprint and floor area:

Definitions	Requirements
Building Footprint	The footprint of all enclosed structures.
Floor Area	Enclosed floor area for all structures. Includes 2 nd stories but does not include basements.
Other	Unenclosed porches may be added, provided they do not exceed overall lot coverage. Open patios (trellis >50%) do not count towards lot coverage.





Applicable Development Standards

Planning & Community Development Department

- **Title 17 – Zoning Code:**
 - > Zoning District (RS, RS-HD-1 and RS-HD).
 - > ADUs are subject to state and local requirements.
 - > MWELO requirements if new/replaced landscaping is >2,500 SF.
 - > Tree Protection Ordinance (based on species, size & location).
- **Title 14 – Building and Construction Code:**
 - > 2022 California Building Code (including Residential, Electrical, Mechanical, Plumbing, Energy, Green Building and Fire Codes).
 - > Hillside Grading Ordinance in HD-1 & HD.
 - > Pasadena Local Amendments to the Building and Fire Codes.
- **Plan Check Submittals:**
 - > Includes application forms and architectural, structural, engineering, energy, landscaping and grading plans.



Applicable Development Standards

Planning & Community Development Department

- **Within the Rebuild Ordinance:**
 - > Information to confirm the project is within the rebuild ordinance:
 - Specifically for the house size, height and location.
 - Tax assessor records, City records, photographs, online, etc.
 - > Setbacks and building separation (if different from the original house).
 - > Garage location and access (if moved from the original location).
 - > Fences, walls, trees, landscaping and paving.
- **Pre-Approved (Standard) Plans:**
 - > Could fall “within” or “beyond” Rebuild Ordinance (dependent on zoning, house size and height).
 - > First applicant: Subject to Zoning Section and Building Division review.
 - > Subsequent applicants: Primarily limited to Zoning Section review.
 - > Additional reviews: Public Works, Water and Power Departments.



Applicable Development Standards

Planning & Community Development Department

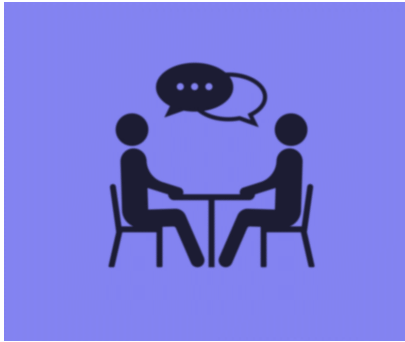
- Beyond the Rebuild Ordinance:**

Development Standard	RS Zone	RS-HD-1	RS-HD
Setbacks	X	X	X
Floor area (all enclosed areas except basements)	X	X	X
Neighborhood Compatibility	X	--	X
Lot Coverage	X	X	X
Overall Height	X	X	X
Top Plate	X	X	--
Encroachment Plane	X	X	X
Roof Pitch	--	X	--
Second Story (additions to previous >10% and new)	Window placements	Special standards; Requires HDP	Special standards; Requires HDP
Garage location and access	X	X	X
Fences, walls, trees, landscaping and paving	X	X	X
Detached structures & building separation	X	X	X



Permitting & Rebuilding Process

Planning & Community Development Department



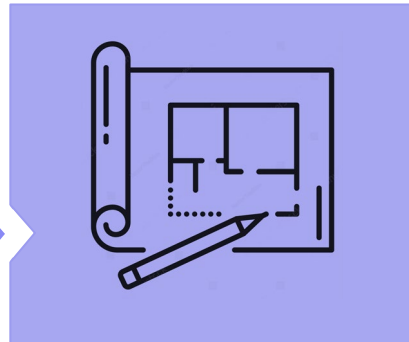
CONSULTATION

Review information on City Codes, other requirements and fees.

Each property is assigned a planner to discuss and guide the rebuild process.

Virtual & in-person meetings.

Review preliminary plans.



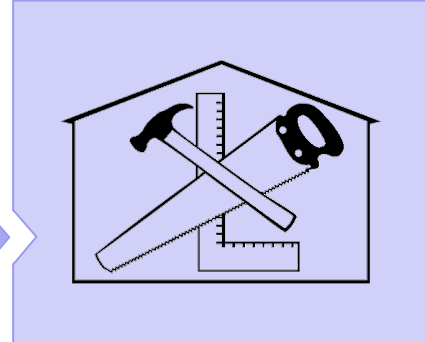
PLAN CHECK

Submittal checklist.
Payment of 1st fees.

Expedited review under the City's Rebuild Ordinance:

1st Submittal:
2-week review

Subsequent Submittals:
1-week review



CONSTRUCTION

Payment of 2nd fees.
Building Permit issued.

Automatic 1-year extension for all Building Permits for a total of 3 years.



INSPECTIONS

Inspections available for next business day.

Receive Final Certificate of Occupancy upon completion.



Permitting & Rebuilding Process

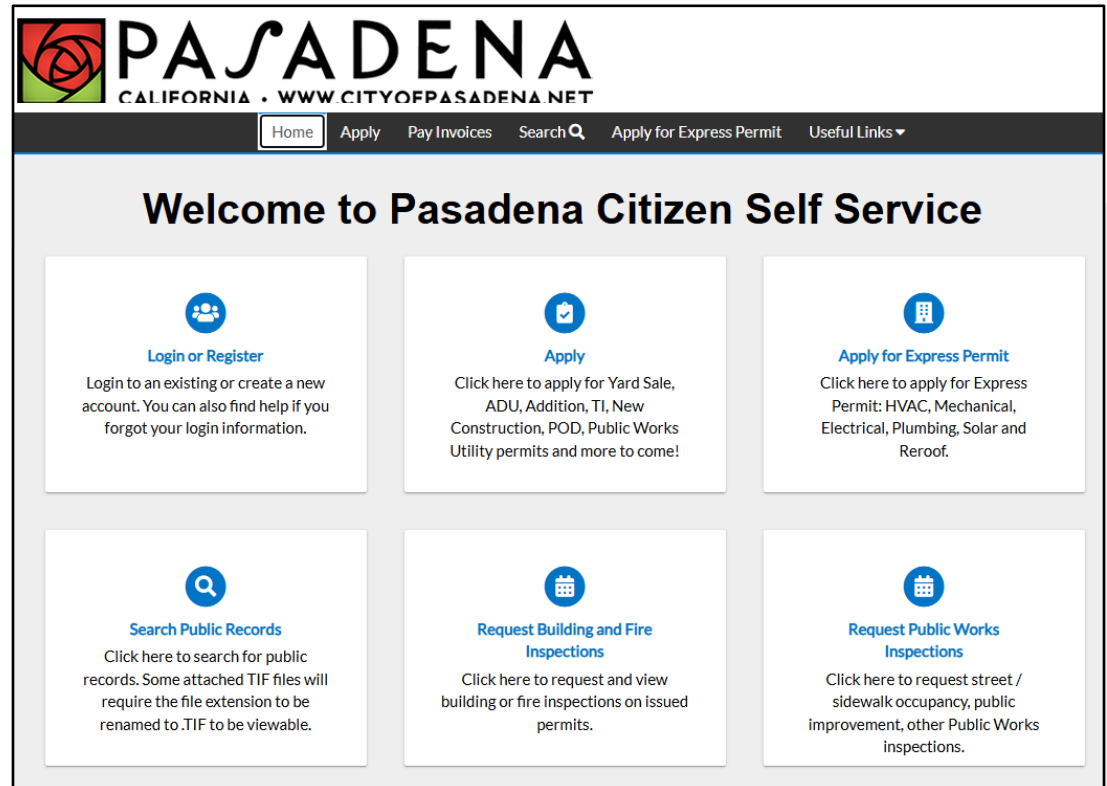
Planning & Community Development Department

Online Submittal:

- > Go to Online Permit Center “eSubmittal & Account Setup.”
- > Click “Apply” or “Login/Register.”
- > Scroll down to “Fire Rebuild” categories (which includes single-family residential).
- > Complete application forms and upload complete set of plans.
- > Identify whether Rebuild, Beyond Rebuild and Standard Plans.

In-person Submittal:

- > Permit Center with flash drive.



CITY OF PASADENA PRE-APPROVED (STANDARD) PLANS PROGRAM

MAY 3, 2025



Manufactured Homes/Mobilehomes

- Construction and design regulated by state (HCD) and federal (HUD) gov.
- Alterations are regulated by state (HCD)
- Installation on private property is regulated by County
- Not subject to building design standards in the Residential Design Standards
- All other zoning regulations apply
- LA County Planning requires review of design plans to obtain pre-approval
- BSD requires review of site plan, foundation plan, and installation manual

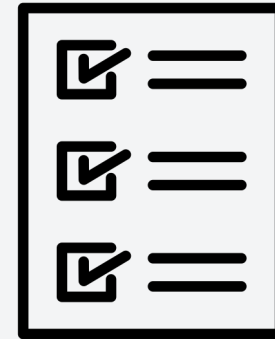
Factory Built

- Construction, design, and factory work regulated by state (HCD)
- Installation and alterations regulated by County
- Subject to Residential Design Standards and all other zoning regulations
- LA County Planning requires review of plans to obtain pre-approval
- BSD requires review of site-built and assembled structures and components for pre-approval

Pre-Approved Standard Plan Website

bit.ly/RecoveryStandardPlans

- Checklists
- Links to Required Forms
- Regulation Summaries
- Pre-Approved Catalog



Questions

Recovery.lacounty.gov

Recovery@planning.lacounty.gov

Feedback: Survey

Please let us know your thoughts!

https://dpwlacounty.qualtrics.com/jfe/form/SV_0I2IHqh2bgYmdqC



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