



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director


Amy M. Caves
Chief Deputy Director

Carol Baker
Deputy Director

AGENDA FOR THE REGULAR MEETING OF THE MARINA DEL REY DESIGN CONTROL BOARD

Wednesday, March 15, 2023, 1:30 p.m.

Burton W. Chace Park
Community Building
13650 Mindanao Way
Marina del Rey, CA 90292

1.  **Call to Order, Land Acknowledgement, and Pledge of Allegiance**
2.  **Approval of the September 21, 2022 and December 13, 2022 Minutes**
3. **Consent Agenda**
The Chair may entertain a motion by a Board member at the beginning of the meeting to approve certain non-controversial agenda items as consent agenda items unless held by a Board member or member(s) of the public for discussion or separate action.
4.  **Old Business**
 - A. Election of Officers
 -  B. Parcel 95 – Gold Coast West, LLC / Coco Beach Bar and Grill – DCB #22-014-B – Consideration of new signage
5. **New Business**
 -  A. 2023 Design Control Board Meeting Schedule
 -  B. Admiralty Way – Crown Castle, LLC – DCB #23-001 – Consideration of pole-mounted wireless telecommunications facility
 -  C. Parcel 44 – Pacific Marina Venture, LLC / 12Twelve Nail Bar – DCB #23-002 – Consideration of new signage
6. **Staff Reports**
 -  A. Ongoing Activities Report
 - Board of Supervisors Actions on Items Relating to Marina del Rey
 - Regional Planning Commission's Calendar
 - Coastal Commission's Calendar
 - Future Major DCB Agenda Items
 - Small Craft Harbor Commission Minutes
 - Redevelopment Project Status Report
 - B. Marina del Rey Special Events
 - C. DCB Annual Reports



7. **Public Comment**

This is the opportunity for members of the public to address the Board on items that are not on the posted agenda, provided that the subject matter is within the jurisdiction of the Board. Speakers are reminded of the three-minute time limitation.

8. **Adjournment**

PLEASE NOTE

1. ADA ACCOMODATIONS: If you require reasonable accommodations or auxiliary aids and services such as material in alternate format or a sign language interpreter, please contact the ADA (Americans with Disabilities Act) Coordinator at (424) 526-7752 (Voice) or (TTY/TDD) users, please call the California Relay Service at 711. The ADA coordinator may be reached by email at rstassi@bh.lacounty.gov.

2. The Los Angeles County Board of Supervisors adopted Chapter 2.160 of the Los Angeles Code (Ord. 93-0031 ~ 2 (part), 1993), relating to lobbyists. Any person who seeks support or endorsement from the Design Control Board on any official action must certify that he/she is familiar with the requirements of this ordinance. A copy of the ordinance can be provided prior to the meeting and certification is to be made before or at the meeting.

3. Si necesita asistencia para interpretar esta información, llame a este numero: 424-526-7777.

4. All materials provided to the Design Control Board Members are available for public review, beginning the Friday prior to the meeting, at the **four Marina del Rey locations listed below**. The Department of Beaches and Harbors website also provides all reports and audio files from current and past meetings. Electronic copies of project submittals for Business Items referred to in this agenda will be available online for a two week period from the date of this agenda.

Please visit the Design Control Board website address at <https://beaches.lacounty.gov/design-control-board/> for more information.

Department of Beaches and Harbors
Administration Building
13837 Fiji Way
Marina del Rey, CA 90292

MdR Visitors & Information Center
4701 Admiralty Way
Marina del Rey, CA 90292

Burton Chace Park Community Room
13650 Mindanao Way
Marina del Rey, CA 90292

Lloyd Taber-Marina del Rey Library
4533 Admiralty Way
Marina del Rey, CA 90292

DESIGN CONTROL BOARD MINUTES

September 21, 2022

Members Present: Meg Rushing Coffee, Member (First District); Genelle Brooks-Petty, Member (Second District); Tony Wong, P.E., Vice Chair (Fifth District)

Members Absent: Steven Cho, Chair (Fourth District)

Department Staff Present: Amy Caves, Chief Deputy Director; Warren Ontiveros, Planning Division Chief; Maral Tashjian, Planning Specialist; Porsche Nauls, Planner; Julie Yom, Planner; Chantal Alatorre, Planner; Lola Reyna, Secretary

County Staff Present: Parjack Ghaderi, County Counsel; Clark Taylor, Department of Regional Planning

Guests Testifying: Jason Setters, PDMS Design Group; Veronica Arcaroli, The Shade Store

1. Call to Order and Pledge of Allegiance

Vice Chair Wong called the meeting to order at 1:34 pm and led the Pledge of Allegiance. Ms. Tashjian read the virtual meeting procedures.

2. Approval of the August 17, 2022 meeting minutes.

Board Member Coffee moved to approve minutes, seconded by Ms. Brooks-Petty.

Ayes: 3 – Vice Chair Wong, Ms. Coffee, Ms. Brooks- Petty

Nays: 0

3. Consent Agenda

None

4. Old Business

A. Parcel 50 – Waterside Shopping Center / The Shade Store – DCB #22-006-B – Consideration of building modifications and new signage

Ms. Yom presented the staff report.

Board Comment

Vice Chair Wong asked if there were any questions from the Board and if there were any Applicants present.

Ms. Tashjian stated that there were two members of the Applicant's project team present.

Mr. Setters introduced himself and awaited questions from the Board.

Ms. Coffee asked if the project was discussed with the neighboring tenant, Bella's Cleaners, and if so, were they in approval with the proposed design.

Mr. Setters responded that to his knowledge, the landlord would discuss the project with the other tenants.

Ms. Arcaroli introduced herself and addressed the board. She confirmed that the landlord approved of the project and after the DCB meeting, the Applicant team would review the project in more detail with the neighboring tenant. She also noted that the Shade Store would install all the proposed work.

Ms. Coffee asked about the existing maintenance door at the site and if an awning would be added above the door.

Ms. Arcaroli confirmed that the existing awning would be replaced for visual consistency.

Public Comment
None

Board Member Brooks-Petty moved to approve DCB #22-006-B, seconded by Vice Chair Wong

Ayes: 3 – Vice Chair Wong, Ms. Coffee, Ms. Brooks- Petty
Nays: 0

5. New Business

A. Parcel 44 – Pacific Marina Venture, LLC / Tesla, Motors Inc. – DCB #22-011 – Consideration of Tesla supercharging stations

Ms. Alatorre presented the staff report.

Board Comment
Vice Chair Wong asked if there were any questions from the Board.

Ms. Coffee asked if the project was the same project reviewed previously for a hotel site.

Ms. Tashjian confirmed that the previously reviewed project was for the Marina del Rey Hotel and the project under review is different.

Ms. Coffee asked if the review of the project included the supercharger equipment itself or the screening only.

Ms. Tashjian confirmed that both the charging equipment and the screening were subject to review by the Board.

Ms. Coffee asked how far away the proposed chargers would be from the previously approved hotel chargers.

Ms. Tashjian responded that the hotel chargers would be located within half a mile of the newly proposed chargers.

Ms. Coffee asked how many charging stations are located at the hotel.

Ms. Tashjian responded that staff would look into this and provide a response shortly.

Ms. Brooks-Petty asked if other electric vehicles would be allowed to use the charging stations or if they would be limited to Tesla vehicles only.

Vice Chair Wong noted that this question was raised during the Tesla charging station review for the hotel project. He asked if the Board had the authority to regulate what type of charging stations should be implemented.

Ms. Coffee noted that Tesla has plans to allow other electric vehicles to use their charging stations, but it has yet to be done in the United States. She asked if the Applicant could elaborate on their plans to allow this in the future and expressed concern that there would be a lot of Tesla superchargers within close proximity to each other.

Ms. Ghaderi noted that the County Code states that the purview of the DCB is to review and approve architectural design and landscaping improvements and advise the Director concerning the implementation of design regulations and policies, and other such duties as may be requested by the Board. She added that it would be unusual for the DCB to review the charging stations themselves, as this would fall under the use of the property.

Vice Chair Wong restated the interpretation that the DCB does not have the authority to review the use.

Ms. Ghaderi confirmed that Vice Chair Wong's statement was true.

Mr. Taylor explained that the County Code allows for a one to one replacement of a normal parking space with an electric vehicle charging space, regardless of brand, with a site plan review from the County of Los Angeles Department of Regional Planning (DRP).

Ms. Coffee asked if the project was reviewed by DRP.

Mr. Taylor explained that the project would first be reviewed by the DCB.

Ms. Coffee asked if there are any limitations on how many chargers of a certain brand can be sited within a specific area or distance.

Mr. Taylor reiterated that the County Code allows an electric charging parking space to replace a regular parking space. He also noted that the zoning code does not prohibit non-electric vehicles from parking in an electric vehicle charging space, if needed.

Ms. Coffee expressed a concern that the charging stations would not be available to everyone, only Tesla owners, as proprietary charging equipment would be used.

Ms. Tashjian confirmed that the hotel site has eight Tesla charging stations and they are located approximately 1/3 mile from the newly proposed charging stations.

Mr. Taylor added that the hotel charging stations are reserved for hotel valet service.

Vice Chair Wong asked if the location under review is also a hotel.

Ms. Alatorre confirmed that the site is a shopping center.

Ms. Brooks-Petty asked if all Tesla supercharging stations are the style presented and if not, could another design be used.

Ms. Tashjian confirmed that the design presented would be standard Tesla branding and would match the design installed at the nearby hotel.

Ms. Coffee asked if the parking lot was pay-only or public parking.

Ms. Alatorre responded that the parking lot is public.

Ms. Brooks-Petty asked if Option 4 is exercised for the screening would there be a review of the imagery that would be used.

Ms. Coffee responded that the DCB has reviewed screening for other projects.

Vice Chair Wong asked for clarification on whether the inclusion of electric vehicle charging stations would eliminate available general parking at the site.

Mr. Taylor confirmed that the existing parking would be maintained as the electric vehicle charging spaces would not be exclusively reserved. He added that signs are often installed to discourage non-electric vehicle parking in the spaces, but the zoning code does not have a penalty if a non-electric vehicle was to park in the space.

Vice Chair Wong expressed that if signage was installed to note that a space would be for electric vehicle charging only, then the restrictive signage would appear to limit general parking available at the site.

Mr. Taylor noted that additional parking spaces to replace any electric vehicle parking spaces are not required by the zoning code because any vehicle can park in the space, if needed.

Ms. Ghaderi noted that the property is leased and the tenant would be required to follow any provisions within the lease. Furthermore, she stated that the DCB's role in the review process would be limited to aesthetic design elements, such as equipment screening.

Vice Chair Wong stated that the DCB would need to approve signage at the site. He also noted that the DCB could include a condition that there would be no restrictions on the parking spaces at the site.

Ms. Ghaderi stated that the DCB could not dictate the content of the sign, but rather the aesthetic design of the signage.

Ms. Tashjian confirmed that when the DCB reviews signage it is for aesthetics, not content.

Vice Chair Wong noted that the DCB could refuse to approve signage for the site.

Ms. Ghaderi responded that the DCB could refuse to approve signage based on the aesthetics, not the content.

Ms. Coffee asked if the DCB was responsible for approving the conversion of regular parking spaces to electric vehicle parking spaces, or just the screening.

Ms. Tashjian stated that the scope of the Board's review was the aesthetics of the project, which included the charging stations, although they follow a certain branding, and screening of the utility equipment. She clarified that the use, including exclusive use of parking, would be under the purview of DRP.

Vice Chair Wong asked if there were any Applicants present.

Ms. Tashjian responded that the Applicant team was not present.

Ms. Coffee expressed her concern that although anyone with a car could use the electric vehicle parking spaces, having charging stations that only Tesla owners can use doesn't seem right. In addition, there are already eight Tesla charging stations less than half a mile away and to her knowledge, there are no other charging stations available nearby for non-Tesla electric vehicles.

Ms. Tashjian noted that a project will come before the Board in the future for forty non-Tesla charging stations at the neighboring public parking lot, Lot 5.

Ms. Coffee expressed that she was happy to hear that.

Vice Chair Wong noted that the Board could deny the Tesla project based on visual impact.

Ms. Brooks-Petty noted that there are still several conditions outstanding and would like to have members of the Applicant team present to address the Board's concerns. In particular, her concerns centered around the screening mechanisms proposed, the colors of certain site features such as bollards, and the style of charging station used, as they look rather garish compared to the standard design for the Marina.

Vice Chair Wong recommended that staff work with Ms. Coffee and Ms. Brooks-Petty to address their concerns with the Applicant.

Public Comment

None

Vice Chair Wong moved to continue DCB #22-011 for further design review by the Board, seconded by Ms. Brooks-Petty.

Ayes: 3 – Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee
Nays: 0

B. Aligning Marina del Rey with Los Angeles County Equity Principles (presentation)

Ms. Caves presented the staff report.

Board Comment

Vice Chair Wong asked if any action was needed by the Board.

Ms. Tashjian confirmed that the item was informational only.

6. Staff Reports

All reports were received and filed.

7. Public Comment

None

8. Adjournment

Moved by Vice Chair Wong, seconded by Ms. Coffee.

Ayes: 3 – Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee

Nays: 0

Vice Chair Wong adjourned the meeting at 2:34 p.m.

Respectfully Submitted,

Lola Reyna
Secretary for the Design Control Board

DESIGN CONTROL BOARD MINUTES

December 13, 2022

Members Present: Meg Rushing Coffee, Member (First District); Genelle Brooks-Petty, Member (Second District); Steven Cho, Chair (Fourth District)

Members Absent: Tony Wong, P.E., Vice Chair (Fifth District)

Department Staff Present: Amy Caves, Chief Deputy Director; Warren Ontiveros, Planning Division Chief; Maral Tashjian, Planning Specialist; Porsche Nauls, Departmental Facilities Planner II; Lola Reyna, Secretary

County Staff Present: Parjack Ghaderi, County Counsel; Clark Taylor, Department of Regional Planning

Guests Testifying: Tony Fracchia, GK Management Co., Inc.; Dianne Shapiro, Abramson Architects; Brandon Hanna, Mission Landscape Architecture; Jonnie Sax, Mission Landscape Architecture; Kirk Lumpkin, Equity Residential; Eric Grossman, Equity Residential; Kimberly Rino, Doheny Partners, LLC; Steven Salm, Planta Restaurant; Victor Corona, VMC Architecture; Mark Wilson, Wilson Sign Art; Monica Solanki, Coco Beach Bar and Grill

1. Call to Order and Pledge of Allegiance

Chair Cho called the meeting to order at 1:30 pm and led the Pledge of Allegiance.
Ms. Tashjian read the virtual meeting procedures.

2. Consent Agenda

None

3. Old Business

A. Parcel 18 - Dolphin Marina Apartments - DCB# 21-002-C - Consideration of exterior improvements and new signage

Ms. Nauls presented the staff report.

Board Comment

Chair Cho asked if there were any questions from the Board.

Ms. Coffee asked for a clarification on the horizontal panels.

Ms. Nauls gave clarification on size and location of panels.

Chair Cho asked if there were any Applicants present. Ms. Tashjian stated that there were two members of the Applicant's project team present.

Mr. Fracchia introduced himself for any questions from the Board.

Ms. Shapiro introduced herself for any questions from the Board.

Chair Cho asked if the pattern on the horizontal slat had any special meaning such as Morse Code.

Mr. Fraccia clarified that the slats are not Morse code but are representative of the company's branding.

Ms. Coffee asked for verification that there is a glass guardrail behind the Dolphin Marina letters.

Mr. Fraccia confirmed it is a glass guardrail.

Ms. Coffee asked for clarification on coloring on the horizontal slats.

The applicant team clarified the color choices.

Public Comment
None

Chair Cho moved to approve DCB #21-002-C, seconded by Board Member Brooks-Petty

Ayes: 3 – Chair Cho, Ms. Coffee, Ms. Brooks- Petty
Nays: 0

5. New Business

A. Parcel 102 - Equity Residential / Marina 41 Apartments - DCB #22-012 - Consideration of exterior improvements

Ms. Nauls presented the staff report.

Board Comment

Chair Cho asked if there were any questions from the Board. Hearing none, Chair Cho asked if there were any Applicants present.

Ms. Tashjian stated that there were four members of the Applicant's project team present.

Mr. Hanna introduced himself to the Board. He stated that the main reason the project was needed was to repair the existing waterproofing system. The moveable planters would allow for easier access to the waterproofing system for future maintenance or repairs.

Mr. Grossman and Mr. Lumpkin introduced themselves to the Board.

Ms. Coffee asked for a confirmation that tree removal would be 1:1.

The Applicants confirmed.

Chair Cho, Ms. Coffee, and Ms. Petty-Brooks asked for clarifications on the tube steel and the separation dividers.

Mr. Sax addressed the Board. Various options were presented to the Board.

Public Comment

None

Chair Cho moved to approve DCB #22-012 with following conditions: (a) The Applicant shall return to the Board for review of final railing designs, including proposed colors, (b) the Applicant shall provide a rendered view of the proposed site paving patterns and colors, (c) the Applicant shall provide final planter pot colors for each proposed planter pot, and (d) the Applicant shall provide specification sheets for the proposed irrigation. The item was seconded by Ms. Coffee.

Ayes: 3 – Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty

Nays: 0

B. Parcel 44 - Pacific Marina Venture, LLC / Planta Cocina - DCB #22-013 - Consideration of exterior improvements and new signage

Ms. Nauls presented the staff report.

Board Comment

Chair Cho asked if there were any questions from the Board. Hearing none, Chair Cho asked if there were any Applicants present.

Ms. Tashjian stated that there were four members of the Applicant's project team present.

Ms. Rino introduced herself to the Board.

Public Comment

None

Board Member Brooks-Petty moved to approve DCB #22-013, seconded by Chair Cho.

Ayes: 3 – Chair Cho, Ms. Brooks-Petty, Ms. Coffee

Nays: 0

C. Parcel 95 - Gold Coast West, LLC / Coco Beach Bar and Grill - DCB #22-014 - Consideration of exterior improvements and new signage

Ms. Nauls presented the staff report.

Chair Cho asked for clarification on the coloring of the monument sign.

Ms. Nauls clarified the coloring and deferred to the Applicant team for additional details.

Board Comment

Chair Cho asked if there were any questions from the Board. Hearing none, Chair Cho asked if there were any Applicants present.

Ms. Tashjian stated that there were four members of the Applicant's project team present. Ms. Solanki introduced herself and additionally clarified coloring on signage.

Chair Cho commented that the monument sign should be redesigned.

Ms. Coffee noted that modifying the font to a serif font may improve the design, in addition to changing the text color from white to black.

Ms. Solanki noted that the Applicant team would propose a new sign design at a later date.

Public Comment

None

Board member Brooks-Petty moved to approve DCB #22-013 with a condition that the Applicant return to the Board with a revised monument sign design. The item was seconded by Chair Cho

**Ayes: 3 – Chair Cho, Ms. Brooks-Petty, Ms. Coffee
Nays: 0**

6. Staff Reports

All reports were received and filed.

7. Public Comment

None

8. Adjournment

Moved by Chair Cho

**Ayes: 3 – Chair Cho, Ms. Brooks-Petty, Ms. Coffee
Nays: 0**

Chair Cho adjourned the meeting at 3:11 p.m.

Respectfully Submitted,

Lola Reyna
Secretary for the Design Control Board



Location of March 15, 2023 DCB Items



Old Business

4B – Parcel 95 – Coco Beach Bar and Grill

New Business

5B – Admiralty Way – Crown Castle, LLC

5C – Parcel 44 – Boardwalk Marina del Rey / 12Twelve Nail Bar



Caring for Our Coast

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Gary Jones
Director

Amy M. Caves
Chief Deputy Director

Carol Baker
Deputy Director

March 15, 2023

TO: Design Control Board

FROM: Gary Jones, Director

SUBJECT: ITEM 4A – ELECTION OF OFFICERS

Item 4A on your agenda is the election of officers pursuant to the Design Control Board's (DCB) Statement of Aims and Policies (Statement) dated February 19, 1987. Specifically, the Statement provides that the DCB annually elects a chair and vice chair each June to preside over subsequent meetings until the next election the following year. This item was previously brought before your Board on July 20, 2022 and was continued to the end of the year.

It is recommended that your Board conduct the elections and elect a chair and vice chair to serve through June 2023.

GJ:WO:pn





Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Chief Deputy Director

Carol Baker
Deputy Director

March 15, 2023

TO: Design Control Board

FROM: Gary Jones, Director

SUBJECT: ITEM 4B – PARCEL 95 – GOLD COAST WEST, LLC / COCO BEACH BAR AND GRILL – DCB # 22-014-B – CONSIDERATION OF NEW SIGNAGE

Item 4B on your agenda is a submittal from Coco Beach Bar and Grill (Applicant), seeking approval for new signage. The project is located at 404 Washington Boulevard, within the Parcel 95 Marina West Shopping Center.

PROJECT OVERVIEW

Background

On December 13, 2022, your Board retroactively approved a series of minor exterior tenant improvements at the site including repainting the façade siding off-white, repainting the building trim, windows, light fixtures, railings, and door frames black, installing a new roof, and the addition of black window awnings. In addition, the Applicant installed a 5'-10" tall by 7'-9" wide artificial landscape panel on the building façade facing the interior of the shopping center, which reads "Marina del Rey". The Applicant also installed a canopy system above the main entry walkway and proposes to install a black waterproof fabric cover over the structure. The signage element of the proposal was not approved, and your Board requested that the Applicant return at a later date with a more refined design. The Applicant has returned with updated sign designs for your review.

Existing Conditions

Parcel 95 is developed with four existing buildings on approximately 1.7 landside acres, and is bordered to the east by Parcel LLS (parking lot), to the west by Via Dolce, to the north by Washington Boulevard, and to the south by Parcel 10, Pearl Apartments. The Coco Beach Bar and Grill occupies a building located near the intersection of Via Dolce and Washington Boulevard.

Proposed Project

The proposed project consists of the installation of four new tenant identification signs.



SIGNAGE

Building Façade

The Applicant proposes to install two identical face and halo lit tenant identification signs on the building façade, one facing Washington Boulevard and one facing Via Dolce. The proposed signs would be approximately 5'-6" tall by 6' wide and would be installed approximately 4' above grade. Each sign would read "Coco Beach Bar & Grill" with a business logo and wave graphics. The signs would be composed of acrylic channel letters and would be installed directly onto the building façade. All letter faces would be either magenta or black, and the sign graphics would include orange and blue color tones.

Monument Sign

The Applicant proposes to add two tenant identification signs to an existing double-sided monument sign. The existing sign panel measures approximately 7'-9" wide by 10' tall and the total sign text area proposed would measure 7'-4" wide by 7'-6" tall. The face and halo lit channel letter sign would read "Coco Beach Bar & Grill" with a channel business logo and wave graphics. All letter faces would be either magenta or black, and the sign graphics would include orange and blue color tones. Each sign would be centered on the existing monument sign panel, which is installed approximately 5' above grade.

Illumination

All signs would be illuminated from 5pm to 12am.

STAFF REVIEW

Staff finds that the proposed improvements do not alter the overall architectural style of the parcel and are generally consistent with the Marina del Rey Design Guidelines. Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.



Staff recommends APPROVAL of DCB #22-014-B, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**



Description of Materials to be use

-  0.40 Alumet white Aluminum for sides & Backs of Channel letters and Logo
-  1/8" #7328 white acrylic faces with vinyl overlay for channel letters and logos
-  3/4" Gemini Trim-cap to match letters face and returns for channel letters and logos
-  3M Orange vinyl for palm tree
-  3M intense blue vinyl for wave
-  3M 7725-103 Magenta faces & letters return.
-  0.63 Alumet white Aluminum pole sign background

-  12V GE Led Modules
-  12V GE Led Power supply

MP Sign Services 149 N Commonwealth Ave. #103 Los Angeles, CA 90004 Tel. (323) 703-4511 Miguel Martinez Email: bcsigns149@gmail.com Contractor Lic. #1029649	Date: 1-26-23	Project Name: Coco Beach Bar & Grill	<div>Approval Signature _____</div> <div>Date _____</div>
		Address: 404 WASHINGTON BLVD	
	Page: 1 Of 6	City / State / Zip: MARINA DEL REY, CA 90292	



Description of Materials to be use









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MP Sign Services 149 N Commonwealth Ave. #103 Los Angeles, CA 90004 Tel. (323) 703-4511 Miguel Martinez Email: bcsigns149@gmail.com Contractor Lic. #1029649	Date: 1-26-23	Project Name: Coco Beach Bar & Grill	<div>Approval Signature _____</div> <div>Date _____</div>
		Address: 404 WASHINGTON BLVD	
	Page: 2 Of 6	City / State / Zip: MARINA DEL REY, CA 90292	

Existing Double Face Pole Sign



Description of Materials to be use

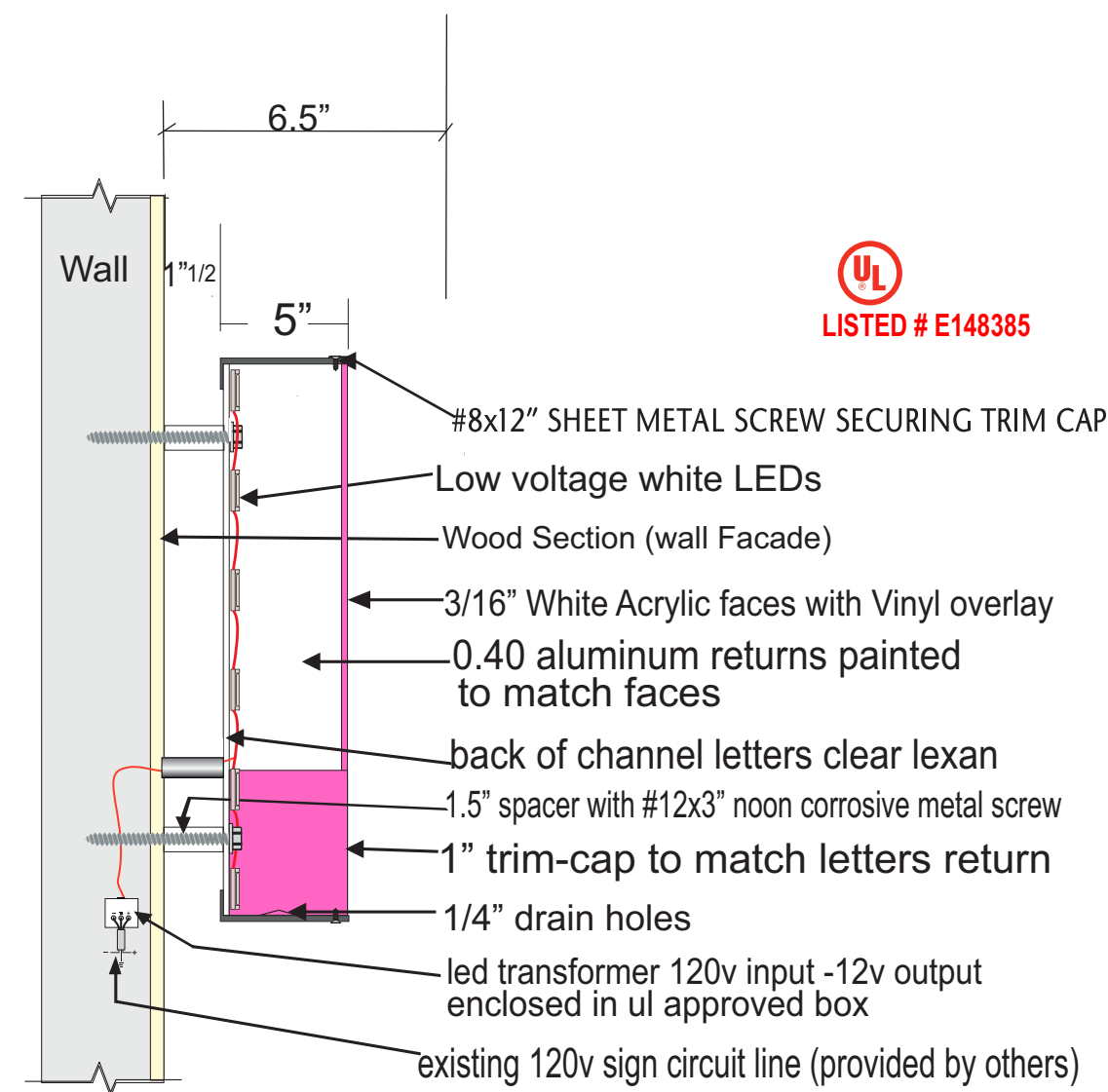
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		Address: 404 WASHINGTON BLVD	
	Page: 3 Of 6	City / State / Zip: MARINA DEL REY, CA 90292	

FACE/HALO LIT CHANNEL LETTERS/LOGO DIRECT WALL MOUNT (Signs A & B)

33.0 SQF Per sign
Total SQF per two signs= 66.0

6-0" 33.0 SQF
Quantity: 2



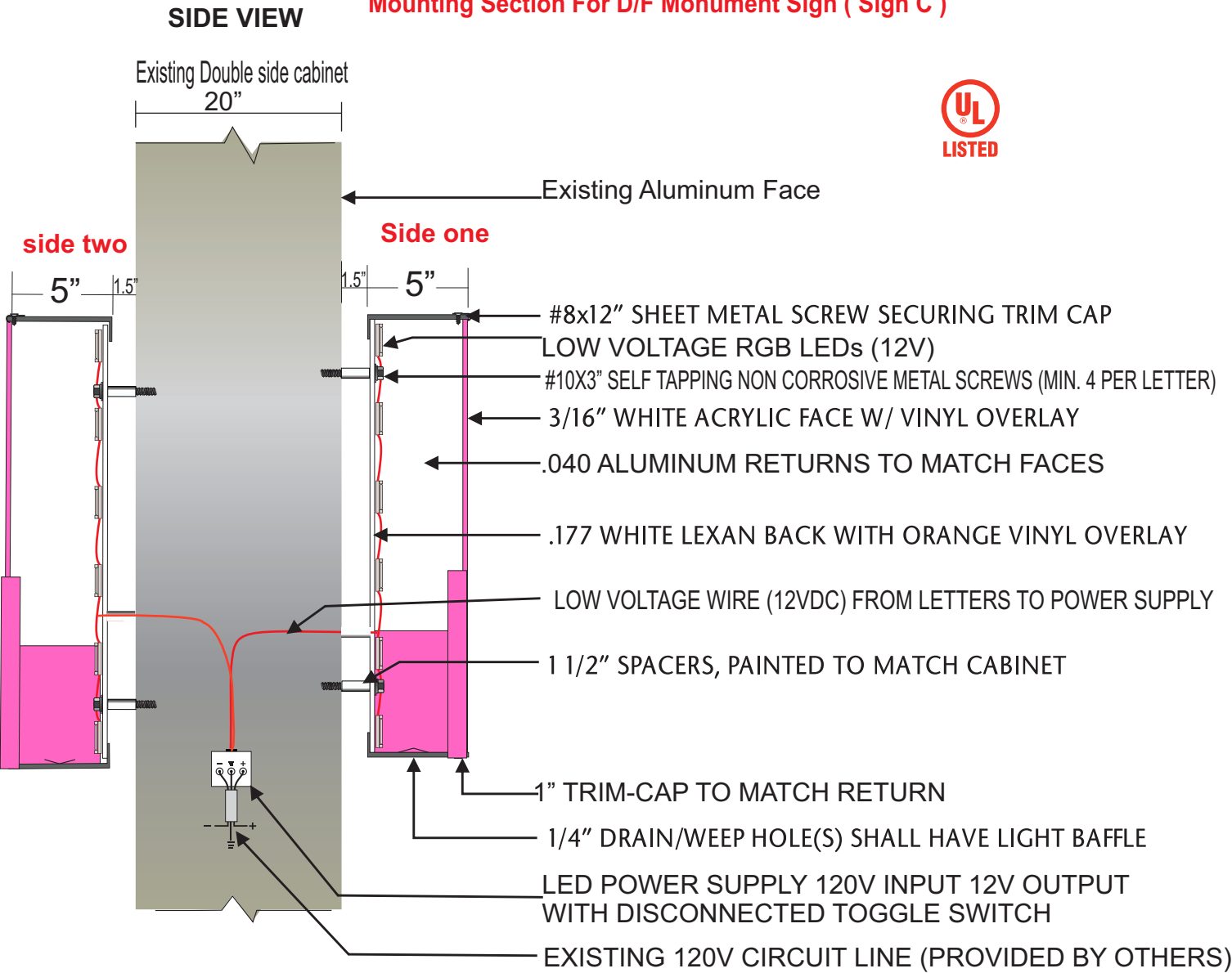
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		Address: 404 WASHINGTON BLVD	
	Page: 5 Of 6	City / State / Zip: MARINA DEL REY, CA 90292	

FACE/HALO LIT CHANNEL LETTERS/LOGO

Mounting Section For D/F Monument Sign (Sign C)



Quantity: 2

6'-0" 33.0 SQF



Description of Materials to be use

- 0.40 Alumet white Aluminum for sides & Backs of Channel letters and Logo
- 1/8" #7328 white acrylic faces with vinyl overlay for channel letters and logos
- 3/4" Gemini Trim-cap to match letters face and returns for channel letters and logos
- 3M Orange vinyl for palm tree
- 3M intense blue vinyl for wave
- 3M 7725-103 Magenta faces & letters return.
- 0.63 Alumet white Aluminum pole sign background
- 12V GE Led Modules
- 12V GE Led Power supply

MP Sign Services
149 N Commonwealth Ave. #103
Los Angeles, CA 90004
Tel. (323) 703-4511
Miguel Martinez
Email: bcsigns149@gmail.com
Contractor Lic. #1029649

Date: 1-26-23	Project Name: Coco Beach Bar & Grill
	Address: 404 WASHINGTON BLVD
Page: 4 Of 6	City / State / Zip: MARINA DEL REY, CA 90292

Approval Signature

Date

VIA DOLCE

WASHINGTON BLVD

SITE ADDRESS: 404 WASHINGTON BLVD
MARINA DEL REY, CA-90292

PROJECT
LOCATION

Sign A

Sign B

Sign C

01

20

67

21

38

37

36

35

39

58

59

1 SITE PLAN
1/16" = 1'-0"

MP Sign Services

149 N Commonwealth Ave. #103
Los Angeles, CA 90004
Tel. (323) 703-4511
Miguel Martinez
Email: bcsigns149@gmail.com
Contractor Lic. #1029649

Date: 1-27-23

Project Name:

Coco Beach Bar & Grill

Address:

404 WASHINGTON BLVD

Page: 6 Of 6

City / State / Zip:

MARINA DEL REY, CA 90292

Approval Signature

Date



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Chief Deputy Director

Carol Baker
Deputy Director

March 15, 2023

TO: Design Control Board

FROM: Gary Jones, Director

SUBJECT: ITEM 5A – 2023 DESIGN CONTROL BOARD MEETING SCHEDULE

The 2023 meeting and submittal filing schedules are provided below for your consideration. The submittal filing deadline for any Design Control Board meeting is noon, four Wednesdays prior to the date of the meeting. All of the Design Control Board meetings are held at 1:30 p.m. on the third Wednesday of each month and are open to the public. Meetings can be attended by visiting the Burton Chace Park Community Building, 13650 Mindanao Way, Marina del Rey.

As has previously been discussed by the Board, evening meetings may be arranged whenever there is an agenda item with broad community interest, such as the first time a development project is presented or policy initiatives by the Department of Beaches and Harbors or Department of Regional Planning are discussed.

2023 MEETING AND SUBMITTAL DEADLINES

<u>Meeting Date</u>	<u>Filing Deadline</u>
January 18, 2023 at 1:30 p.m.	December 21, 2022
February 15, 2023 at 1:30 p.m.	January 18, 2023
March 15, 2023 at 1:30 p.m.	February 15, 2023
April 19, 2023 at 1:30 p.m.	March 22, 2023
May 17, 2023 at 1:30 p.m.	April 19, 2023
June 21, 2023 at 1:30 p.m.	May 24, 2023
July 19, 2023 at 1:30 p.m.	June 21, 2023
August 16, 2023 at 1:30 p.m.	July 19, 2023
September 20, 2023 at 1:30 p.m.	August 23, 2023
October 18, 2023 at 1:30 p.m.	September 20, 2023
November 15, 2023 at 1:30 p.m.	October 18, 2023
December 20, 2023 at 1:30 p.m.	November 15, 2023

GJ:WO:pn





Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Chief Deputy Director

Carol Baker
Deputy Director

March 15, 2023

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 5B – ADMIRALTY WAY – CROWN CASTLE, LLC – DCB # 23-001
– CONSIDERATION OF POLE-MOUNTED WIRELESS
TELECOMMUNICATIONS FACILITY**

Item 5B on your agenda is a submittal from Crown Castle, LLC (Applicant), seeking approval for a pole-mounted Wireless Telecommunications Facility (Facility). The project is located within the right of way on Admiralty Way, adjacent to Parcel 33.

PROJECT OVERVIEW

Existing Conditions

The project site is located along a sidewalk on the west end of the Marina, in the public right-of-way. The site contains a roughly 30' tall Southern California Edison light pole.

Proposed Project

The Applicant proposes to replace the existing light pole with a new steel street light pole that includes a pole-mounted Facility.

SITE DESIGN

Pole Mounted Facility

The proposed Facility would be roughly 35'-2" tall, with a slightly larger pole diameter than the existing street light. Cylindrical antennas and equipment would be located on the top of the pole, extending roughly 5'-2" above the arm and light, and painted grey to match the pole. Small informational caution and notice signs would also be attached to the pole. Two subterranean equipment vaults would be installed adjacent to the light.

STAFF REVIEW

Staff finds that the proposed improvements would not significantly alter the overall appearance of the right-of-way. Staff also finds that the proposed project is consistent with the following Marina del Rey Design Guidelines:

DG.181 – Discourage service areas or utilities visible from the waterfront and promenade.



DG.188 – Encourage the installation of utilities underground.

DG.189 – Locate satellite dishes or wireless telecommunication facilities in unobtrusive locations and/or surrounded by walls to minimize their visual impact.

DG.190 – Screen and buffer antennas and on-site transformers from any public street views.

DG.193 – Treat mechanical equipment as a unique design feature using quality materials or blending with the architecture.

Staff recommends APPROVAL of DCB #23-001, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**

GJ:WO:pn

CROWN CASTLE TITLE SHEET			NODE ID: CA002_LA_MARDELREY_005																																																																													
<div><div></div><div>CROWN CASTLE FIBER LLC CROWN NODE ID: CA002_LA_MARDELREY_005 4219 ADMIRALTY WAY, MARINA DEL REY, CA, 90292 LATITUDE: 33.983753, LONGITUDE: -118.456611 JURISDICTION: LOS ANGELES COUNTY SLID: 11904 VZW 5G 1,500 W TOTAL POWER</div></div>			<div><div></div><div>IF YOU DIG IN ANY STATE DIAL 811 FOR THE LOCAL "ONE CALL CENTER" - IT'S THE LAW</div></div> <div>THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E) UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</div>			<div>NODE INFORMATION</div> <div>CROWN NODE ID: CA002_LA_MARDELREY_005 POLE ID: 11904 POLE OWNER: LA COUNTY HUB ID: 123936 (PENMAR) CLUSTER/AREA: 60648853 AZIMUTH: 0°, 120°, 240° LATITUDE: 33.983753°N LONGITUDE: -118.456611°W NEAREST ADDRESS: 4219 ADMIRALTY WAY POWER PROVIDER: SCE</div>																																																																										
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						<div>CROWN CASTLE PROJECT DELIVERY MANAGER: CONTACT: CHARLES STEWART PHONE: (626) 536-6247 200 SPECTRUM CENTER DR. STE. 1700 IRVINE, CA 92618</div> <div>CROWN CASTLE PROJECT CONSTRUCTION MANAGER: CONTACT: JOHN HENRY LAMP PHONE: (949) 910-1989 200 SPECTRUM CENTER DR. STE. 1700 IRVINE, CA 92618</div> <div>CROWN CASTLE CONSTRUCTION MANAGER: CONTACT: PAUL GALANTE PHONE: (714) 931-4908 200 SPECTRUM CENTER DR. STE. 1700 IRVINE, CA 92618</div> <div>CROWN CASTLE SUPERVISOR UTILITY RELATIONS: CONTACT: MICHAEL BONAS PHONE: (949) 813-6905 200 SPECTRUM CENTER DR. STE. 1700 IRVINE, CA 92618</div>			<div>REGISTERED PROFESSIONAL ENGINEER ROBERT A. KITSTEINER Exp 03/31/23 C86713 CIVIL STATE OF CALIFORNIA 10/13/2022</div> <div>ENGINEER: INFINIGY ENGINEERING, LLP 26455 RANCHO PARKWAY SOUTH LAKE FOREST, CALIFORNIA 92630 JOB NUMBER XXX</div>																																																																							
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CROWN CASTLE
GENERAL NOTES

NODE ID:
CA002_LA_MARDELREY_005

EROSION AND SEDIMENT CONTROL NOTES:

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF LOS ANGELES COUNTY LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS* MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED PUBLIC IMPROVEMENTS CONSISTENT WITH THE EROSION CONTROL PLAN AND/OR WATER POLLUTION CONTROL PLAN (WPCP), IF APPLICABLE.
- FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAIN SEASON.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED IMPROVEMENT PLAN SHALL BE INCORPORATED HERON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR WILL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

NOTES:

- CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS.
- CONTRACTOR TO PLACE SANDBAGS AROUND ANY/ALL STORM DRAIN INLETS TO PREVENT CONTAMINATED WATER.
- SPOILS PILE WILL BE COVERED AND CONTAINED AND STREET WILL BE SWEEPED AND CLEANED AS NEEDED.
- CONTRACTOR REPAIR DAMAGED PUBLIC IMPROVEMENTS TO THE SATISFACTION OF THE CITY ENGINEER.
- CURB & GUTTER TO BE PROTECTED IN PLACE. SIDEWALK TO BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
- THE CONTRACTION SHALL RESTORE THE ROADWAY BACK TO ITS ORIGINAL CONDITION SATISFACTORY TO THE CITY ENGINEER INCLUDING, BUT NOT LIMITED TO PAVING, STRIPING, BIKE LANES, PAVEMENT LEGENDS, SIGNS, AND TRAFFIC LOOP DETECTORS.
- SIDEWALK SHALL BE RESTORED/REPLACED PER CITY OF LOS ANGELES COUNTY STANDARD DRAWINGS.
- PEDESTRIAN RAMP WILL NOT BE DISTURBED.
- SEPARATE PERMIT WILL BE REQUIRED FROM DEPARTMENT OF ENGINEERING FOR EXCAVATION AND TRAFFIC CONTROL.
- REPAIR OR REPLACE ANY DISTURBED OR DAMAGED LANDSCAPE IN PARKWAY AREAS DUE TO MAINTENANCE AND/OR POLE REPLACEMENT.
- PROTECT EXISTING TREES IN PLACE.
- IN THE EVENT OF A RECORDED RULE 20 INITIATIVE, CROWN CASTLE WILL TAKE PROMPT ACTION TO UNDERGROUND OUR EXISTING AERIAL CABLING AND RELOCATE OR REDESIGN EXISTING SMALL CELLS TO ALIGN WITH THE RULE 20 PLAN.

ROW GROUND CONSTRUCTION NOTES:

- GROUND CONSTRUCTION TO REMOVE/CLEAN ALL DEBRIS, NAILS, STAPLES, OR NON-USED VERTICALS OFF THE POLE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, FEDERAL, G095 AND G0128 STANDARDS AND REGULATIONS.
- CALL USA 48 HOURS PRIOR TO EXCAVATING AT (800) 277-2600 OR 811.
- ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
- ALL EQUIPMENT TO BE BONDED.
- METERING CABINET REQUIRES 36" CLEARANCE AT DOOR OPENING.
- CAULK CABINET BASE AT PAD.

NORMAL LOCATION OF UNDERGROUND UTILITIES NOTES:

- LOCATION AND DEPTH OF EXISTING AND PROPOSED UTILITIES MUST BE PROVIDED BY THE SUBDIVIDER AND SHOWN ON ANY PLANS SUBMITTED TO THE CITY OF LOS ANGELES COUNTY DEPARTMENT OF ENGINEERING, FOR APPROVAL.
- CHANGES MAY BE PERMITTED BY THE CITY OF LOS ANGELES COUNTY DEPARTMENT OF ENGINEERING, IN CASES OF CONFLICTING FACILITIES.
- CONFLICTS BETWEEN UTILITY OF COMPANIES FACILITIES, EXISTING AND PROPOSED, MUST BE MUTUALLY RESOLVED BY THE UTILITY COMPANIES.
- FOR COMMERCIAL SIDEWALKS, THE FIRE HYDRANT SHALL BE PLACED WITHIN THE SIDEWALK 1'-6" BEHIND FACE OF CURB.
- MAXIMUM 2" DIAMETER GAS MAINS MAY BE PLACED IN JOINT UTILITIES TRENCH SUBJECT TO APPROVAL OF CITY ENGINEER (IN TRACTS).

CALIFORNIA STATE CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2019 CALIFORNIA ADMINISTRATIVE CODE (INCLUDING TITLES 24 & 25) 2010
- 2019 CALIFORNIA BUILDING CODES WHICH ADOPTS THE 2014 UBC, 2015 UMC, 2015 UPC AND THE 2014 NEC.
- BUILDING OFFICIALS & CODE ADMINISTRATORS (BOCA)
- 2019 CALIFORNIA MECHANICAL CODE
- ANSI/EIA-222-F LIFE SAFETY CODE NFPA-101
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- CURRENT LOCAL BUILDING CODE
- CURRENT CITY/COUNTY ORDINANCES

ACCESSIBILITY REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS DO NOT APPLY IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE.

FCC NOTE:
THIS WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE LATEST BOARD OF PUBLIC WORKS OF THE CITY OF LOS ANGELES COUNTY ADOPTED EDITION AND SUPPLEMENTS TO THE "GREENBOOK STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS MODIFIED BY THE CORRESPONDING ISSUE OF THE BROWN BOOK, THE LATEST EDITION OF THE BUREAU OF STREET LIGHTING "SPECIAL SPECIFICATIONS", AND THE SPECIAL PROVISIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING THE CONDITION OF ALL EXISTING EQUIPMENT TO BE REUSED, MODIFIED OR RETURNED TO THE BUREAU OF STREET LIGHTING YARD.

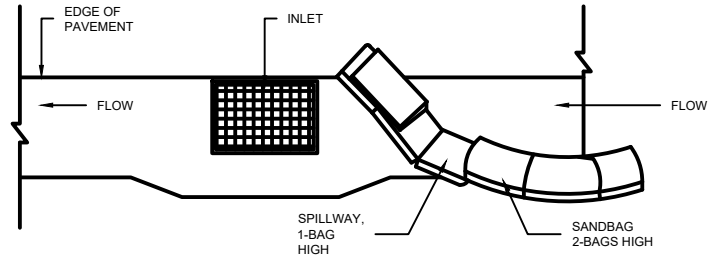
MULTIPLE CIRCUIT NOTES

- WIRE CONNECTORS - WIRE CONNECTORS SHALL BEAR THE UNDERWRITERS LABORATORY SEAL OF APPROVAL. THE INSTALLATION PROCEDURE, INCLUDING CONNECTOR SIZE AND CRIMPING TOOLS SHALL CONFORM TO THE MANUFACTURER'S RECOMMENDATIONS. GENERALLY, BULKY OR ODD SHAPE CONNECTORS, NARROW CONNECTORS WHICH MAY DAMAGE THE WIRE, OR TWIST-ON AND SPLIT-BOLT TYPE CONNECTORS WILL NOT BE ALLOWED. THE MECHANICAL PERFORMANCE OF THE CONNECTOR SHALL BE SUCH THAT NO FREE PLAY CAN BE OBSERVED AFTER THE CONNECTOR IS SUBJECTED TO A COMBINATION OF HAND-APPLIED TWISTS AND PULLS. A SOLID CROSS SECTION WILL ALSO BE REQUIRED WHEN THE CONNECTOR IS SUBJECT TO SAW CUTTING. ALL WIRE CONNECTORS SHALL HAVE A NOMINAL CROSS SECTION ARE EQUIVALENT TO THE AREA OF THE LARGEST CONDUCTOR CONNECTED

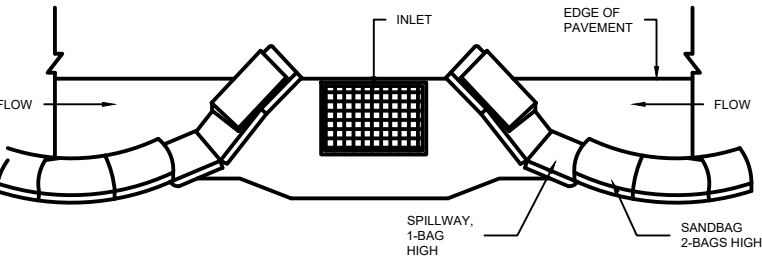
GENERAL REQUIREMENT - UNDERGROUND UTILITY AVOIDANCE

- GENERAL CONTRACTOR RESPONSIBLE TO FOLLOW ALL FEDERAL & STATE STATUTES AND REGULATIONS; INDUSTRY BEST PRACTICES; BUILDING AND FIRE CODES; GENERAL CONTRACTOR LICENSES; AND LOCAL LAWS, REGULATIONS & ORDINANCES. IN THE EVENT A CONFLICT EXISTS BETWEEN THESE REGULATIONS AND THIS DOCUMENT, THE REGULATIONS SHALL CONTROL THE GENERAL CONTRACTOR'S ACTIONS.
- AT THE MINIMUM, WHEN NOT IN CONFLICT WITH FEDERAL, STATE, AND LOCAL STATUTES, THE GENERAL CONTRACTOR SHALL FOLLOW THE "COMMON GROUND ALLIANCE (CGA) BEST PRACTICES VERSION 17.0 MANUAL OR LATEST - THE DEFINITIVE GUIDE FOR UNDERGROUND SAFETY & DAMAGE PREVENTION RECOMMENDATIONS.
- GENERAL CONTRACTOR SHALL PREPARE AN EMERGENCY RESPONSE PLAN, INCLUDING APPROPRIATE CONTACT INFORMATION, ONE CALL TICKET DETAILS, AND IMMEDIATE CONTACTING DETAILS, IN EVENT OF UNDERGROUND UTILITY DAMAGE, IS AVAILABLE AT THE INSTALLATION SITE.
- GENERAL CONTRACTOR SHALL TAKE NECESSARY MEASURES TO ENSURE ALL ELECTRICAL STRIKE SYSTEMS ARE IN PLACE, IF APPLICABLE, AND HAS BRIEFED THE INSTALLATION CREW ON THE GENERAL CONTRACTORS ELECTRICAL AND GAS LINE STRIKE PROCEDURES EACH DAY PRIOR TO WORK COMMENCING.
- GENERAL CONTRACTOR SHALL WHITE LINE THE PROPOSED CONSTRUCTION ROUTE PRIOR TO CONTACTING THE UTILITY ONE-CALL SYSTEM.
- GENERAL CONTRACTOR SHALL IDENTIFY PRIOR TO WORK COMMENCEMENT, A COMPETENT PERSON ON THE WORK CREW WHO IS CAPABLE OF IDENTIFYING HAZARDS AND HAS THE AUTHORIZATION TO TAKE PROMPT CORRECTIVE MEASURES, INCLUDING STOP WORK AUTHORITY, TO ELIMINATE THEM, AND SHALL BE ON SITE AT ALL TIMES.
- GENERAL CONTRACTOR SHALL CONTACT THE ONE CALL FACILITY FOR EXISTING UTILITY LOCATES AS REQUIRED BY LAW AND PRESERVE ALL MARKS UNTIL THE PROJECT IS COMPLETED AND REFRESH THE ONE CALL IF REQUIRED BY STATE OR JURISDICTIONAL REQUIREMENTS.
- FOR PROJECTS WITH HIGH PRIORITY UTILITIES, OR ANY UNUSUAL OR COMPLEX CONSTRUCTION, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRE-EXCAVATION MEETING WITH THE AFFECTED UTILITIES AND/OR THEIR DESIGNATED LOCATING COMPANY TO DISCUSS THE PROJECT. HIGH PRIORITY UTILITIES SHALL INCLUDE, BUT NOT LIMITED TO, HIGH-PRESSURE GAS LINES, HIGH-VOLTAGE ELECTRIC LINES, MAJOR PIPELINES, MAJOR WATER LINES, AND HIGH-CAPACITY FIBER OPTIC LINES.
- THE GENERAL CONTRACTOR SHALL ENSURE ANY UTILITIES IDENTIFIED FOR LOCATING WHICH ARE NOT MARKED ON THE GROUND HAVE PROVIDED POSITIVE CONFIRMATION NO CONFLICT EXISTS. IF THERE IS A LACK OF POSITIVE CONFIRMATION, THE GENERAL CONTRACTOR MUST RE-CALL THE ONE-CALL CENTER OR RELEVANT UTILITY DIRECTLY FOR CONFIRMATION.
- IN THE EVENT A UTILITY CANNOT BE RELOCATED, WHERE POSITIVE CONFIRMATION IS NOT RECEIVED, OR WHERE THERE IS A LIKE LIKELIHOOD OF UNDOCUMENTED UTILITIES, SUCH AS PRIVATE INFRASTRUCTURE, THE GENERAL CONTRACTOR SHALL TAKE THE STEP OF SYSTEMATICALLY UTILIZING A GROUND PENETRATING RADAR (GPR) SYSTEM OR SIMILAR ADVANCED LOCATING TECHNOLOGY WITHIN THE TOLERANCE ZONE TO IDENTIFY AND DOCUMENT ANY UTILITIES WITHIN THE CONSTRUCTION ZONE. ANY UTILITY LOCATED USING GPR SHALL BE PROPERLY LOCATED AND EXPOSED AS OUTLINED WITHIN THIS STANDARD PRIOR TO DIGGING.
- THE GENERAL CONTRACTOR SHALL INSPECT THE AREA, PRIOR TO INSTALLATION FOR ANY UNDERGROUND UTILITY INFRASTRUCTURE WHICH MAY HAVE BEEN MISSED BY SURVEYING THE CONSTRUCTION AREA AND SURROUNDING ENVIRONMENT FOR CLEANOUTS, SUNKEN AREAS, RISERS, OUTBUILDINGS, LIGHT POLES, METERS, UTILITY BOXES, PEDESTALS, MANHOLE COVERS, MARKERS, ETC. PARTICULAR ATTENTION SHOULD BE MADE TO IDENTIFY SERVICE FEEDS FROM BUILDINGS AND HOMES ARE MARKED.
- THE GENERAL CONTRACTOR SHALL CONTACT ANY UTILITY WHERE LOCATES ARE IN QUESTION AND/OR UNVERIFIED. NO ASSUMPTIONS SHOULD BE MADE ON LOCATION OR DEPTH OF EXISTING UTILITIES.
- THE GENERAL CONTRACTOR AT MINIMUM SHALL TAKE AND STORE A PHOTO SERIES TO BE SUBMITTED WITH THE CLOSE OUT PACKAGE OF ALL EXCAVATION AREAS ONCE LOCATES ARE COMPLETE AND PRIOR TO EXCAVATION.
- GENERAL CONTRACTOR SHALL MEET ALL FEDERAL, STATE, AND LOCAL REGULATIONS REGARDING WORKER SAFETY AND TRAINING WHEN WORKING AROUND UNDERGROUND FACILITIES.
- GENERAL CONTRACTOR SHALL VISUALLY EXPOSE (POT-HOLE) ALL EXISTING UTILITIES CROSSING THE TOLERANCE ZONE AND SHALL POSITIVELY IDENTIFY THEIR LOCATION AND DEPTH USING APPROPRIATE TECHNIQUES WITHIN THE TOLERANCE ZONE.
- GENERAL CONTRACTOR SHALL VISUALLY EXPOSE (POT-HOLE) ALL EXISTING UTILITIES RUNNING PARALLEL WITH THE PROPOSED PATH AT THE APPROPRIATE INTERVALS WITHIN THE TOLERANCE ZONE AND APPROPRIATE BUFFER ZONE. UNLESS MORE STRINGENT REGULATIONS EXIST, THE GENERAL CONTRACTOR SHALL EXPOSE (POT-HOLE) AT MINIMUM ANY PARALLEL UTILITY WITHIN 3' OF THE TOLERANCE ZONE EVERY 25', AND ANY PARALLEL UTILITY BETWEEN 3' TO 5' OF THE TOLERANCE ZONE EVERY 100'.
- THE TOLERANCE ZONE SHALL BE A MINIMUM OF 30' BEYOND EACH SIDE OF THE INSTALLED PIPE, OR GREATER IF CODE REQUIRES.
- GENERAL CONTRACTOR SHALL USE A DRILL HEAD TRACKING DEVICE WHEN BORING AND TRACK THE DRILL HEAD AT MINIMUM OF EVERY 5' OR AS REQUIRED BY CODE. A LOG SHALL BE CREATED RECORDING THE LOCATION AND DEPTH AND SUBMITTED WITH THE GENERAL CONTRACTOR AS-BUILT PACKAGE.
- GENERAL CONTRACTOR SHALL ENSURE THESE REQUIREMENTS ARE ENFORCED WITH ALL SUB-CONTRACTORS RETAINED BY THE GENERAL CONTRACTOR.

STORM DRAIN INLET PROTECTION



TYPICAL PROTECTION FOR INLET WITH SINGLE FLOW DIRECTION



TYPICAL PROTECTION FOR INLET WITH OPPOSING FLOW DIRECTIONS

NOTES:

- INTENDED FOR SHORT-TERM USE.
- USE TO INHIBIT NON-STORM WATER FLOW.
- ALLOW FOR PROPER MAINTENANCE AND CLEANUP.
- BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETED.
- NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.

LEGEND

SYMBOL	DESCRIPTION
PROPOSED	
	2' X 3' VAULT
	NEW STREET LIGHT
	NEW PEDESTAL
	TRENCH AND FIBER CONDUIT (PVT)
EXISTING	
	EXISTING STREET LIGHT
	EXISTING VAULT/HANDHOLE
	EXISTING PEDESTAL
	EXISTING TRANSFORMER
	STATION POINT (100' INCREMENTS)
	EXISTING CURB RAMP
	EXISTING CURB FACE
	EXISTING RIGHT OF WAY
	EXISTING CENTER LINE
	EXISTING PROPERTY LINE

ABBREVIATIONS

A/C	ASPHALT
B.O.C.	BACK OF CURB
B/EOP	BACK OF EDGE OF PAVEMENT
C&G	CURB & GUTTER
C/F	CURB FACE
C/L	CENTER LINE
EX.	EXISTING
EOP	EDGE OF PAVEMENT
F.O.C.	FACE OF CURB
F/EOP	FACE OF EDGE OF PAVEMENT
PL	PROPERTY LINE
R/W	RIGHT OF WAY
S/B	SUBDIVISION BOUNDARY

NODE INFORMATION

CROWN NODE ID: **CA002_LA_MARDELREY_005**
POLE ID: **11904**
POLE OWNER: **LA COUNTY**
HUB ID: **123936 (PENMAR)**
CLUSTER/AREA: **60648853**
AZIMUTH: **0°, 120°, 240°**
LATITUDE: **33.983753°N**
LONGITUDE: **-118.456611°W**
NEAREST ADDRESS: **4219 ADMIRALTY WAY**
POWER PROVIDER: **SCE**

STAMP:



ENGINEER:

INFINIGY
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB NUMBER XXX

OWNER/DEVELOPER:

CROWN CASTLE
200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

**CROWN CASTLE
POLE #: 11904**

REVISIONS

REV	DATE	DESCRIPTION	BY
00	10/7/2022	90% CDS FOR REVIEW	D.H.
01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:	CHECKED BY:	APPROVED BY:
D.H.	G.A.	G.A.

PROJECT NUMBER:	
SHEET NAME:	GENERAL NOTES
DATE DRAWN:	06/28/2022
SCALE:	AS SHOWN

C-02

CROWN CASTLE
SUE FORM

Subsurface Utility Engineering (SUE) Utility Rating Impact Form

Project Name: CA002_LA_MARDELREY_005

Date of Analysis: 09/08/2022

Project Location: 4219 ADMIRALTY WAY, MARINA DEL REY, CA, 90292

Analysis Done By: GA

Project Scope:

·PROPOSED STEEL STREET LIGHT POLE W/ LUMINAIRE

·PROPOSED (3) INTEGRATED 5G ANTENNAS

·PROPOSED ANTENNA SHROUD

·PROPOSED RF CAUTION SIGNAGE

·PROPOSED RF NOTICE SIGNAGE

·PROPOSED 5/8"Ø X 8' GROUND ROD

·PROPOSED 30"X48" HANDHOLE

·PROPOSED FIBER TAP PLACED INSIDE PROPOSED 30"X48" HANDHOLE

·PROPOSED 24"X36" HANDHOLE

·PROPOSED WTR BOX PLACED INSIDE PROPOSED 24"X36" HANDHOLE

·PROPOSED RAYCAP LOAD CENTER PLACED INSIDE PROPOSED 24"X36" HANDHOLE

ID	Complexity Factor		Low Complexity		Medium Complexity		High Complexity
1	Utility Density	<input type="checkbox"/>	Dense	<input type="checkbox"/>	Denser	<input checked="" type="checkbox"/>	Densest
2	Utility Type	<input type="checkbox"/>	Less-Critical	<input type="checkbox"/>	Sub-Critical	<input checked="" type="checkbox"/>	Critical
3	Utility Pattern - Parallel Utilities	<input type="checkbox"/>	Simple	<input type="checkbox"/>	Medium	<input checked="" type="checkbox"/>	Complex
4	Utility Pattern - Perpendicular Utilities	<input checked="" type="checkbox"/>	Simple	<input type="checkbox"/>	Medium	<input type="checkbox"/>	Complex
5	Utility Material	<input type="checkbox"/>	Rigid	<input type="checkbox"/>	Flexible	<input checked="" type="checkbox"/>	Brittle
6	Utility Access	<input type="checkbox"/>	Easy	<input checked="" type="checkbox"/>	Medium	<input type="checkbox"/>	Restricted
7	Utility Age	<input type="checkbox"/>	New	<input type="checkbox"/>	Medium	<input checked="" type="checkbox"/>	Old
8	Utility Record Quality	<input checked="" type="checkbox"/>	Good	<input type="checkbox"/>	Fair	<input type="checkbox"/>	Poor
9	Excavation Depth (inches)	<input type="checkbox"/>	Low	<input checked="" type="checkbox"/>	Medium	<input type="checkbox"/>	High
10	Excavation Method	<input type="checkbox"/>	Method A	<input checked="" type="checkbox"/>	Method B	<input type="checkbox"/>	Method C
Total			2		3		5

SUE Impact Score

2.3

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

CROWN NODE ID: CA002_LA_MARDELREY_005

POLE ID: 11904

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CLUSTER/AREA: 60648853

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LATITUDE: 33.983753°N

LONGITUDE: -118.456611°W

NEAREST ADDRESS: 4219 ADMIRALTY WAY

POWER PROVIDER: SCE

STAMP:

REGISTERED PROFESSIONAL ENGINEER

ROBERT A. KITSTEINER

Exp 03/31/23

C86713

CIVIL

STATE OF CALIFORNIA

10/13/2022

ENGINEER:

INFINIGY

ENGINEERING, LLP

26455 RANCHO PARKWAY SOUTH

LAKE FOREST, CALIFORNIA 92630

JOB NUMBER XXX

OWNER/DEVELOPER:

CROWN CASTLE

200 SPECTRUM CENTER DRIVE, 19TH FLOOR

IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS

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01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY: D.H.

CHECKED BY: G.A.

APPROVED BY: G.A.

PROJECT NUMBER:

SHEET NAME: SUE FORM

DATE DRAWN: 06/28/2022



SCALE: AS SHOWN

C-03

SUE FORM

11"x17" SCALE: N.T.S.
24"x36" SCALE: N.T.S.

1

CROWN CASTLE PROW CHECKLIST		NODE ID: CA002_LA_MARDELREY_005																	
		NODE INFORMATION																	
		CROWN NODE ID: CA002_LA_MARDELREY_005 POLE ID: 11904 POLE OWNER: LA COUNTY HUB ID: 123936 (PENMAR) CLUSTER/AREA: 60648853 AZIMUTH: 0°, 120°, 240° LATITUDE: 33.983753°N LONGITUDE: -118.456611°W NEAREST ADDRESS: 4219 ADMIRALTY WAY POWER PROVIDER: SCE																	
		STAMP:  10/13/2022																	
		ENGINEER: INFINIGY ENGINEERING, LLP 26455 RANCHO PARKWAY SOUTH LAKE FOREST, CALIFORNIA 92630 JOB NUMBER XXX																	
		OWNER/DEVELOPER:  200 SPECTRUM CENTER DRIVE, 19TH FLOOR IRVINE, CA 92618																	
		TITLE: CROWN CASTLE POLE #: 11904																	
		REVISIONS																	
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DRAWN BY:	CHECKED BY:	APPROVED BY:																	
D.H.	G.A.	G.A.																	
		<table><tr><td>PROJECT NUMBER:</td><td></td></tr><tr><td>SHEET NAME:</td><td>PROW CHECKLIST</td></tr><tr><td>DATE DRAWN:</td><td>06/28/2022</td></tr><tr><td>SCALE:</td><td>AS SHOWN</td></tr></table>		PROJECT NUMBER:		SHEET NAME:	PROW CHECKLIST	DATE DRAWN:	06/28/2022	SCALE:	AS SHOWN								
PROJECT NUMBER:																			
SHEET NAME:	PROW CHECKLIST																		
DATE DRAWN:	06/28/2022																		
SCALE:	AS SHOWN																		
		C-04																	

PROW CHECKLIST	
STRUCTURE MOUNTED INSTALLATION IN PROW A ROAD ENCROACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS ("DPW") IS REQUIRED*	INDICATE HOW REQUIREMENT IS MET WITH EITHER A STATEMENT OR WHERE SHOWS
1(A) 1. (A) THE PROPOSED SCF WILL BE LOCATED ON AN EXISTING OR REPLACEMENT SUPPORT STRUCTURE, SUCH AS A UTILITY POLE, LOCATED WITHIN PROW; OR	SEE SHEET C-05 SITE PLAN, C-06 AND C-07 ELEVATION
1(B) 1. (B) THE PROPOSED SCF WILL BE LOCATED WITHIN A NEW SUPPORT STRUCTURE, SUCH AS A SIGN OR STREETLIGHT, WHICH IS CONCEALED AS EXISTING INFRASTRUCTURE.	N/A
2 2. NO VISIBLE GROUND EQUIPMENT ASSOCIATED WITH SCF, INCLUDING AN ELECTRIC METER, IS PROPOSED WITHIN THE PROW; FLAT RATE POWER, AN UNDERGROUND VAULT, OR OTHER FORM OF CONCEALMENT IS UTILIZED TO MINIMIZE THE PRESENCE OF EQUIPMENT WITHIN OR VISIBLE FROM PROW.	SEE SHEET C-05 SITE PLAN, C-06 AND C-07 ELEVATION
3 3. THE SUPPORT STRUCTURE WITH THE SCF DOES NOT EXTEND EXISTING STRUCTURE ON WHICH THEY ARE LOCATED TO A HEIGHT OF MORE THAN 50 FEET OR BY MORE THAN 10 PERCENT, WHICHEVER IS GREATER. (DEPICT ON SITE PLAN WITH THIS CORRESPONDING NUMBER AND HEIGHT LABLES.)	SEE SHEET C-06 AND C-07 ELEVATION
4 4. ALL EQUIPMENT ASSOCIATED WITH THE SCF, INCLUDING THE WIRELESS EQUIPMENT ASSOCIATED WITH THE ANTENNA, AND ANY PRE-EXISTING ASSOCIATED EQUIPMENT ON THE STRUCTURE, DOES NOT EXCEED A TOTAL VOLUME OF 28 CUBIC FEET. (DEPICT ON SITE PLAN WITH THIS CORRESPONDING NUMBERED STANDARD)	SEE SHEET C-06 AND C-07 ELEVATION TOTAL VOLUME ~ 5.04 CU.FT. < 28 CU.FT.
5 5. ALL CONDUIT AND WIRING IS CONCEALED WITHIN THE POLE OR FLUSH MOUNTED AGAINST THE POLE AND THERE ARE NO EXPOSED LOOSE WIRING HOOPS. (DEPICT ON SITE PLAN WITH THIS CORRESPONDING NUMBERED STANDARD)	SEE SHEET C-06 AND C-07 ELEVATION
6 6. THE SCF INCLUDING THE WIRELESS EQUIPMENT IS PAINTED OR OTHERWISE FINISHED IN A NON-REFLECTIVE NEUTRAL COLOR FINISH CONSISTENT WITH THE PREDOMINANT COLOR OF THE SUPPORT STRUCTURE.	SEE SHEET C-06 AND C-07 ELEVATION
7 7. UNLESS OTHERWISE REQUIRED BY APPLICABLE COUNTY, STATE, OR FEDERAL REGULATIONS, THE SCF DOES NOT HAVE ANY ARTIFICIAL LIGHTING ; IF ARTIFICIAL LIGHTING IS REQUIRED AND THE SCF IS LOCATED WITHIN THE RURAL OUTDOOR LIGHTING DISTRICT, THE ARTIFICIAL LIGHTING COMPLIES WITH THE RELEVANT STANDARDS .	N/A
8 8. THE SCF IS NOT PLACED WITHIN 20 FEET OF ANY RESIDENTIAL WINDOW. THIS WILL BE MEASURED HORIZONTALLY FROM THE UTILITY POLE, OR ARM MOUNT, WHICHEVER IS CLOSER TO THE RESIDENTIAL WINDOW. (DEPICT ON SITE PLAN WITH THIS CORRESPONDING NUMBERED STANDARD, INCLUDE EXACT DISTANCE IN FEET BETWEEN POLE LOCATION AND NEAREST RESIDENTIAL WINDOW.)	SEE SHEET C-05 SITE PLAN
9 9. THE SCF CONSTRUCTION DOES NOT INCLUDE MAJOR STREET TRENCHING, AS DETERMINED BY DPW (APPLICANTS ARE ENCOURAGED TO CONSULT WITH DPW BEFORE APPLICATION SUBMITTAL); ONLY MINOR TRENCHING OR EXCAVATION IS PERMITTED.	SEE SHEET C-05 SITE PLAN, C-06 AND C-07 ELEVATION
10 10. ANTENNAS OR OTHER EQUIPMENT AMY BE PLACED BELOW A STREETLIGHT FIXTURE SO LONG AS IT DOES NOT LOOK BLOCK OR OTHERWISE IMPEDE THE LIGHT ILLUMINATION. (DEPICT ON SITE PLAN WITH THIS CORRESPONDING NUMBERED STANDARD)	N/A
11 11. IF A CROSS-ARM IS UTILIZED THEN EACH SIDE-ARM ASSEMBLY MUST NOT EXTEND FURTHER THAN FOUR (4) FOOT FROM CENTER OF SUPPORT STRUCTURE AND ANY ASSOCIATED EQUIPMENT IS MOUNTED OR AFFIXED DIRECTLY ON THE SIDE ARM OR SUPPORT STRUCTURE WITHOUT THE USE OF EXTENSIONS OR OTHER ADDITIONAL MOUNTING EQUIPMENT BETWEEN THE SIDE-ARM AND SUPPORT STRUCTURE (E.G. NO CLUSTERING OR DANGLING ACCESSORY EQUIPMENT). A CROSS-ARM CANNOT EXCEED A TOTAL LENGTH OF EIGHT (8) FEET. (DEPICT ON SITE PLAN WITH THIS CORRESPONDING NUMBERED STANDARD)	SEE SHEET C-05 SITE PLAN, C-06 AND C-07 ELEVATION
12 12. EQUIPMENT MOUNTED ON AN EXISTING STREET LIGHT POLE DOES NOT IMPACT THE STRUCTURE INTEGRITY OF THE POLE; DRILLING OF CONCRETE POLE IS NOT ALLOWED (A STREET LIGHT PLAN SUBMITTAL IS REQUIRED FOR DPW APPROVAL PRIOR TO ISSUANCE OF THE ROAD ENCROACHMENT PERMIT)	N/A

CROWN CASTLE
STREET LIGHTING PLAN

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

CROWN NODE ID: CA002_LA_MARDELREY_005
POLE ID: 11904
POLE OWNER: LA COUNTY
HUB ID: 123936 (PENMAR)
CLUSTER/AREA: 60648853
AZIMUTH: 0°, 120°, 240°
LATITUDE: 33.983753°N
LONGITUDE: -118.456611°W
NEAREST ADDRESS: 4219 ADMIRALTY WAY
POWER PROVIDER: SCE

STAMP:



10/13/2022

ENGINEER:

INFINIGY
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB NUMBER XXX

OWNER/DEVELOPER:



200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS

REV	DATE	DESCRIPTION	BY
00	10/7/2022	90% CDS FOR REVIEW	D.H.
01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:

D.H.

CHECKED BY:

G.A.

APPROVED BY:

G.A.

PROJECT NUMBER:

SHEET NAME:

STREET LIGHTING PLAN

DATE DRAWN:

06/28/2022

SCALE:

AS SHOWN

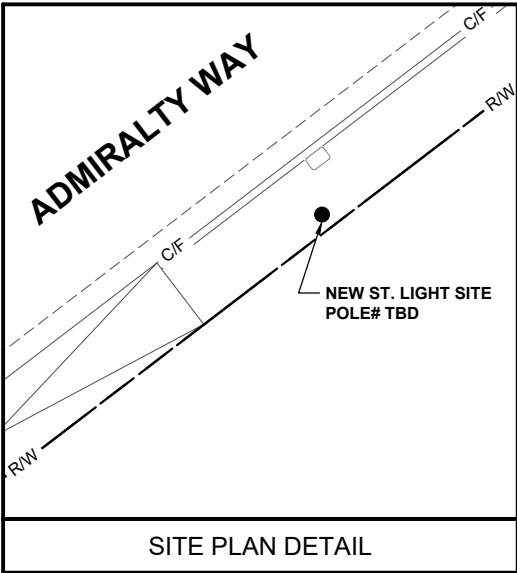
SLP-01

GENERAL NOTES FOR LS-1 STREET LIGHT PLANS

- THE LOCATION OF A STREETLIGHT MAY ONLY BE ADJUSTED IN THE FIELD UP TO TEN (10) FEET, ONLY TO AVOID AN OBSTRUCTION SUCH AS A CATCH BASIN, DRIVEWAY, ETC. ANY DEVIATION EXCEEDING TEN (10) FEET MUST HAVE THE APPROVAL OF THE LOS ANGELES COUNTY PUBLIC WORKS, STREET LIGHTING SECTION. IF SUCH APPROVAL IS NOT OBTAINED, THE STREETLIGHTS PROPOSED BY THIS PLAN WILL NOT BE ACCEPTED BY COUNTY LIGHTING MAINTENANCE DISTRICT.
- ALL STREETLIGHT WIRING SHALL BE UNDERGROUND.
- ON STREETS WHERE THE SIDEWALK AND CURB ARE GREATER THAN SIX AND ONE HALF (6 1/2) FEET IN WIDTH, THE MAST ARMS AND BRACKETS SHALL BE PERPENDICULAR TO THE CURB FACE. THE STREETLIGHT ELECTROLIERS SHALL BE PLACED TWENTY-FOUR (24) INCHES FROM THE CURB FACE TO THE CENTER OF THE POLE. USE A FOUR (4) FOOT LONG MAST ARM FOR 39-WA TT STREETLIGHT AND SIX (6) FOOT LONG MAST ARM FOR ALL OTHER WATTAGE, UNLESS OTHERWISE SPECIFIED.
- ON STREETS WHERE THE SIDEWALK AND CURB ARE LESS THAN OR EQUAL TO SIX AND ONE HALF (6 1/2) FEET IN WIDTH, THE STREETLIGHT ELECTOLIERS AND PULL BOXES SHALL BE PLACED OUTSIDE OF THE SIDEWALK AREA UNLESS OTHERWISE SPECIFIED. USE AN EIGHT (8) FOOT LONG MAST ARM FOR ALL WATTAGE, UNLESS OTHERWISE SPECIFIED.
- ALL LIGHTS SHOWN ON THE PLANS SHALL BE ENERGIZED PRIOR TO ACCEPTANCE OF THE LIGHTING SYSTEM TO A COUNTY LIGHTING MAINTENANCE DISTRICT.
- EXISTING STREET LIGHTING SYSTEMS SHALL REMAIN IN OPERATION DURING ANY MODIFICATION. ANY PROPOSED TEMPORARY STREET LIGHTING SYSTEM MUST BE APPROVED BY THE LOS ANGES COUNTY PUBLIC WORKS.
- FIVE (5) FOOT CLEARANCE TO BE MAINTAINED FROM FIRE HYDRANT.
- FOUR (4) FOOT CLEARANCE TO BE MAINTAINED FROM TOP OF SLOPE AT COMMERCIAL DRIVEWAY, AND TWO (2) FOOT CLEARANCE FROM RESIDENTIAL DRIVEWAY.
- ALL LUMINAIRIES SHALL BE LIGHT-EMITTED DIODE (LED).

ILLUMINATION DESIGN GUIDELINES FOR LS-1 STREETLIGHTS

LED EQUIVALENT FOR (250 WATT HPSV STREETLIGHTS, THE POLE SPACING IS BASED ON 1.4 FOOTCANDLES, FOR "HIGHWAY INTERMEDIATE" STREET. THE LUMINAIRE SHALL HAVE A THIRTY (30) FOOT MOUNTING HEIGHT, SHALL BE (ANSI-IES) MEDIUM, TYPE II OR TYPE III.



ST. LT. #4238295
STEEL. ST. LT.
TOP: 28'-8"
ARM ATTACH: 28'-3"
ARM LENGTH: 7'
LUM: 31'-11"
DIA: 8"
HPS
150 WATTS

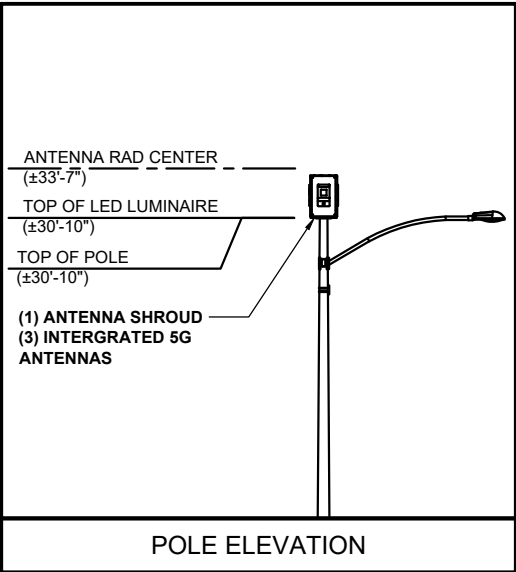
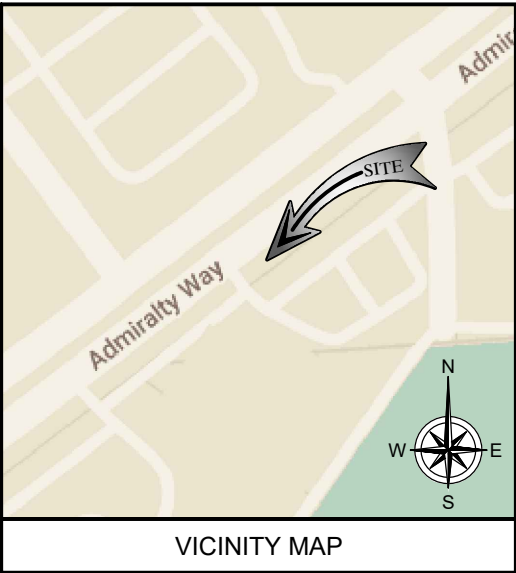
ST. LT. #4316279E (19863)
CONCRETE ST. LT.
TOP: 27'-10"
ARM ATTACH: 28'-6"
ARM LENGTH: 5'
LUM: 31'-5"
DIA: 8"
LED
118 WATTS

NEW ST. LIGHT SITE
POLE# TBD
(E) SITE POLE # 4192774E
SEE SITE
PLAN DETAIL

ST. LT. #4389090E (11903)
CONCRETE ST. LT.
TOP: 27'-10"
ARM ATTACH: 28'-6"
ARM LENGTH: 5'
LUM: 31'-3"
DIA: 8"
LED
118 WATTS

ST. LT. #4238297E
CONCRETE ST. LT.
TOP: 27'-10"
ARM ATTACH: 28'-6"
ARM LENGTH: 5'
LUM: 31'-8"
DIA: 8"
LED
118 WATTS

- C 27 EXISTING 250 WATT (HPSV) STREETLIGHT
ON CONCRETE POLE TO BE REMOVED
- L 25 PROPOSED 136 WATT LED STREETLIGHT
ON CONCRETE POLE (3000K)
- EXISTING STREETLIGHT, TYPE OF POLE
AND LAMP SIZE AS INDICATED.
- C = CONCRETE POLE
- EXISTING HIGHWAY SAFETY LIGHT



PROJECT#: XXXX-XXXXXX

WTF XXX-XXXX

EIMPXXXXXXXXXX

ZONING CONFORMANCE REVIEW
RPPLXXXXXXXXXX

LOS ANGELES COUNTY PUBLIC WORKS
APPROVAL FOR STREET LIGHT REPLACEMENT

BY:

DATE:

STREET LIGHTING PLAN

11"x17" SCALE: N.T.S.
24"x36" SCALE: N.T.S.

1

CROWN CASTLE
SITE PLAN

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

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10/13/2022

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INFINIGY
ENGINEERING, LLP

26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630

JOB NUMBER XXX

OWNER/DEVELOPER:

**CROWN
CASTLE**

200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

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PROJECT NUMBER:

SHEET NAME:

SITE PLAN

DATE DRAWN:

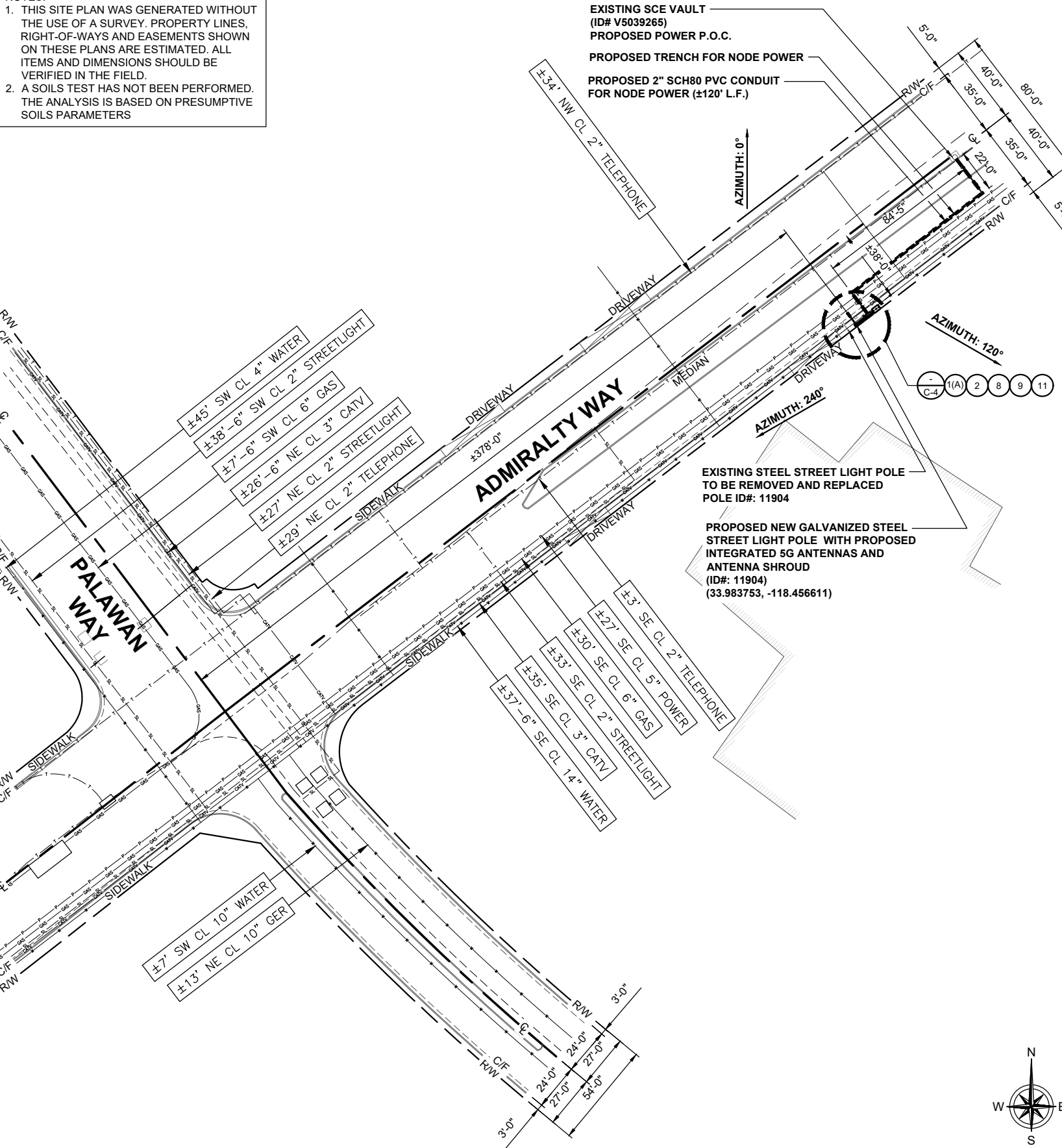
06/28/2022

SCALE:

AS SHOWN

C-05

- NOTES:
- THIS SITE PLAN WAS GENERATED WITHOUT THE USE OF A SURVEY. PROPERTY LINES, RIGHT-OF-WAYS AND EASEMENTS SHOWN ON THESE PLANS ARE ESTIMATED. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.
 - A SOILS TEST HAS NOT BEEN PERFORMED. THE ANALYSIS IS BASED ON PRESUMPTIVE SOILS PARAMETERS



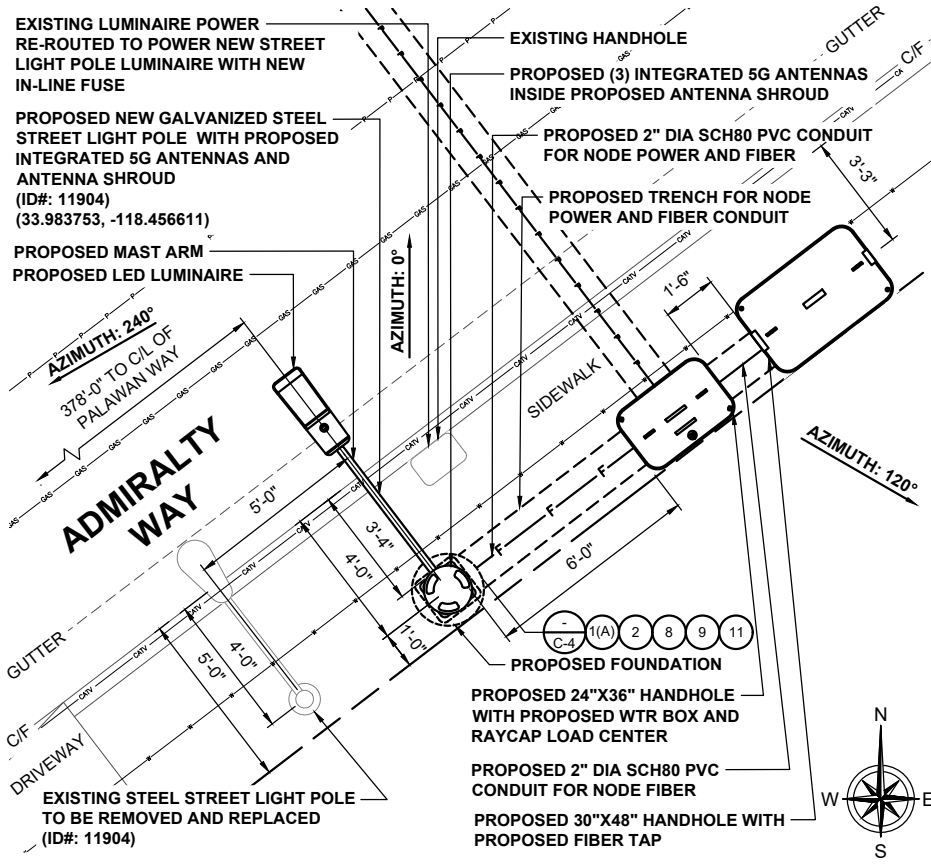
SITE PLAN

11"x17" SCALE: 1" = 40'-0"
24"x36" SCALE: 1" = 20'-0"



1

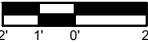
SATELLITE AERIAL MAP



ENLARGED SITE PLAN

11"x17" SCALE: 3/16" = 1'-0"

24"x36" SCALE: 3/8" = 1'-0"



2



11"x17" SCALE: N.T.S.
24"x36" SCALE: N.T.S.

3

CROWN CASTLE
ELEVATIONS

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

CROWN NODE ID: CA002_LA_MARDELREY_005
POLE ID: 11904
POLE OWNER: LA COUNTY
HUB ID: 123936 (PENMAR)
CLUSTER/AREA: 60648853
AZIMUTH: 0°, 120°, 240°
LATITUDE: 33.983753°N
LONGITUDE: -118.456611°W
NEAREST ADDRESS: 4219 ADMIRALTY WAY
POWER PROVIDER: SCE

STAMP:



10/13/2022

ENGINEER:

INFINIGY
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB NUMBER XXX

OWNER/DEVELOPER:

CROWN CASTLE
200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS

REV	DATE	DESCRIPTION	BY
00	10/7/2022	90% CDS FOR REVIEW	D.H.
01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:

D.H.

CHECKED BY:

G.A.

APPROVED BY:

G.A.

PROJECT NUMBER:

SHEET NAME:

ELEVATIONS

DATE DRAWN:

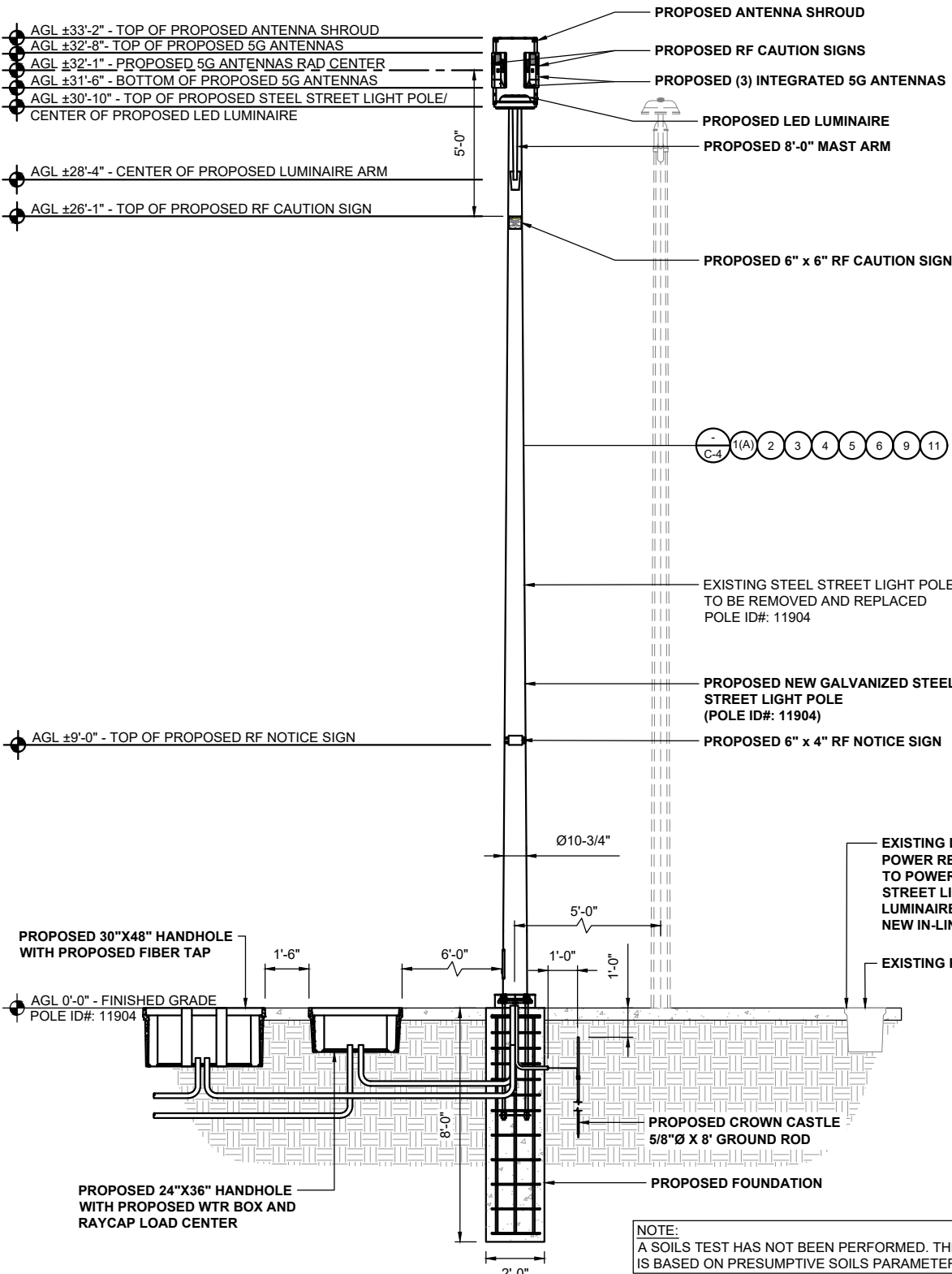
06/28/2022

SCALE:

AS SHOWN

C-06

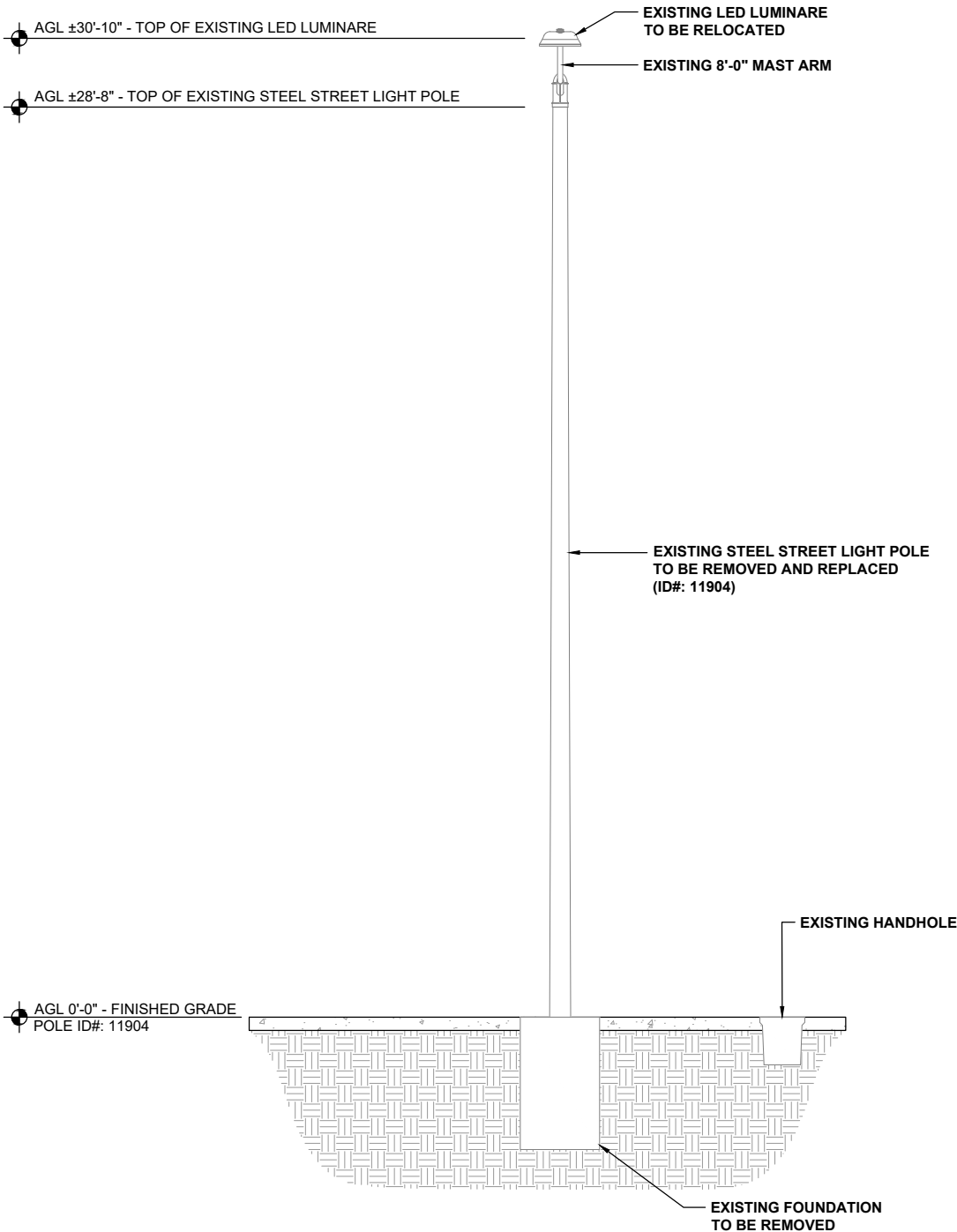
NOTE: "CROWN CASTLE CLASS C CIRCUIT COMPLIES WITH NEC ARTICLE 830, SECTION 830.15 (2), G.O. 95 SECTION 20.6 A (1) AND G.O. 128 SECTION 20.4".



PROPOSED ELEVATION LOOKING SOUTHEAST

11"x17" SCALE: 3/16" = 1'-0"
24"x36" SCALE: 3/8" = 1'-0"

2



EXISTING ELEVATION LOOKING SOUTHEAST

11"x17" SCALE: 3/16" = 1'-0"
24"x36" SCALE: 3/8" = 1'-0"

1

CROWN CASTLE
ELEVATIONS

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

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STAMP:



10/13/2022

ENGINEER:

INFINIGY
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB NUMBER XXX

OWNER/DEVELOPER:



200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS

REV	DATE	DESCRIPTION	BY
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DRAWN BY:

D.H.

CHECKED BY:

G.A.

APPROVED BY:

G.A.

PROJECT NUMBER:

SHEET NAME:

ELEVATIONS

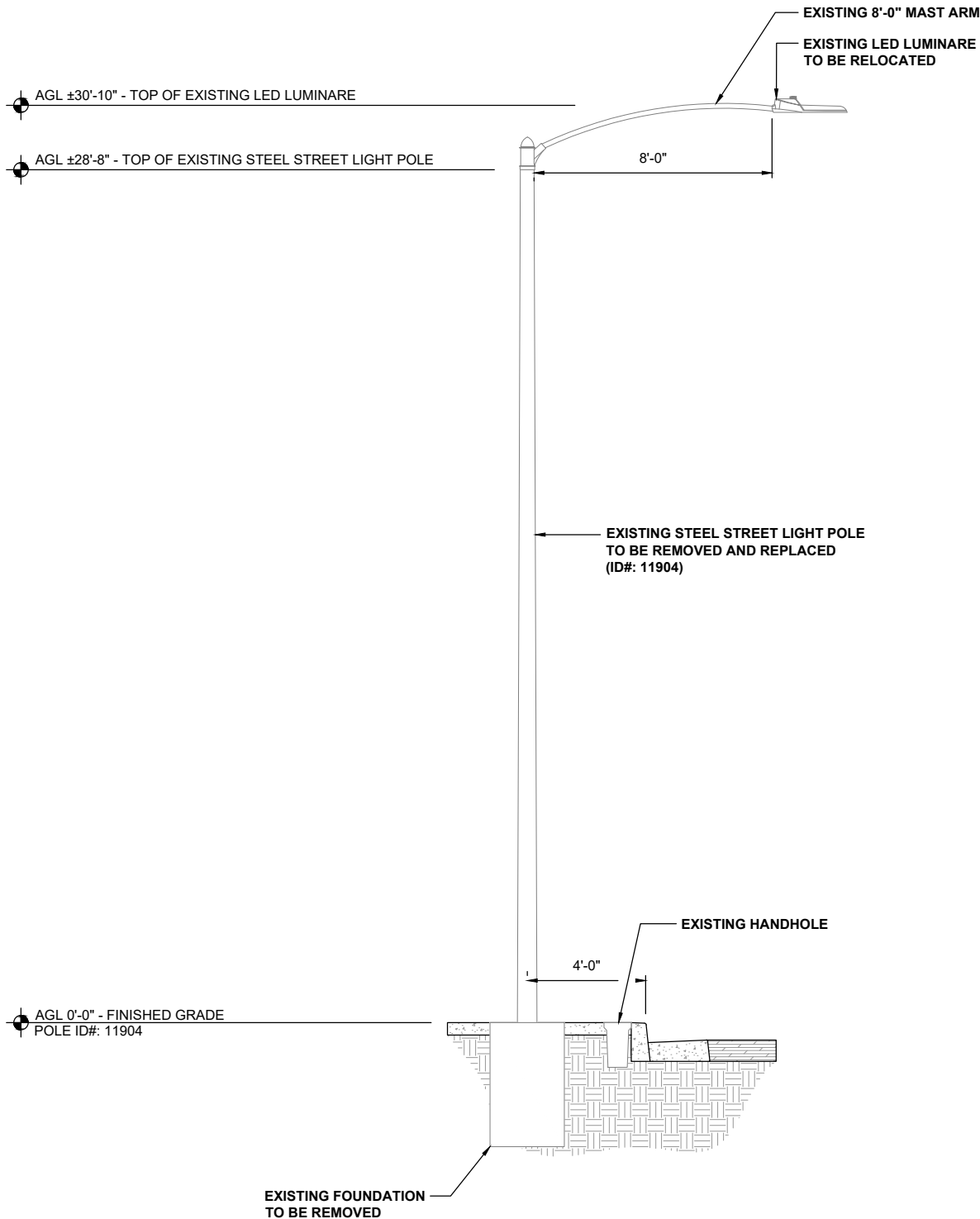
DATE DRAWN:

06/28/2022

SCALE:

AS SHOWN

C-07

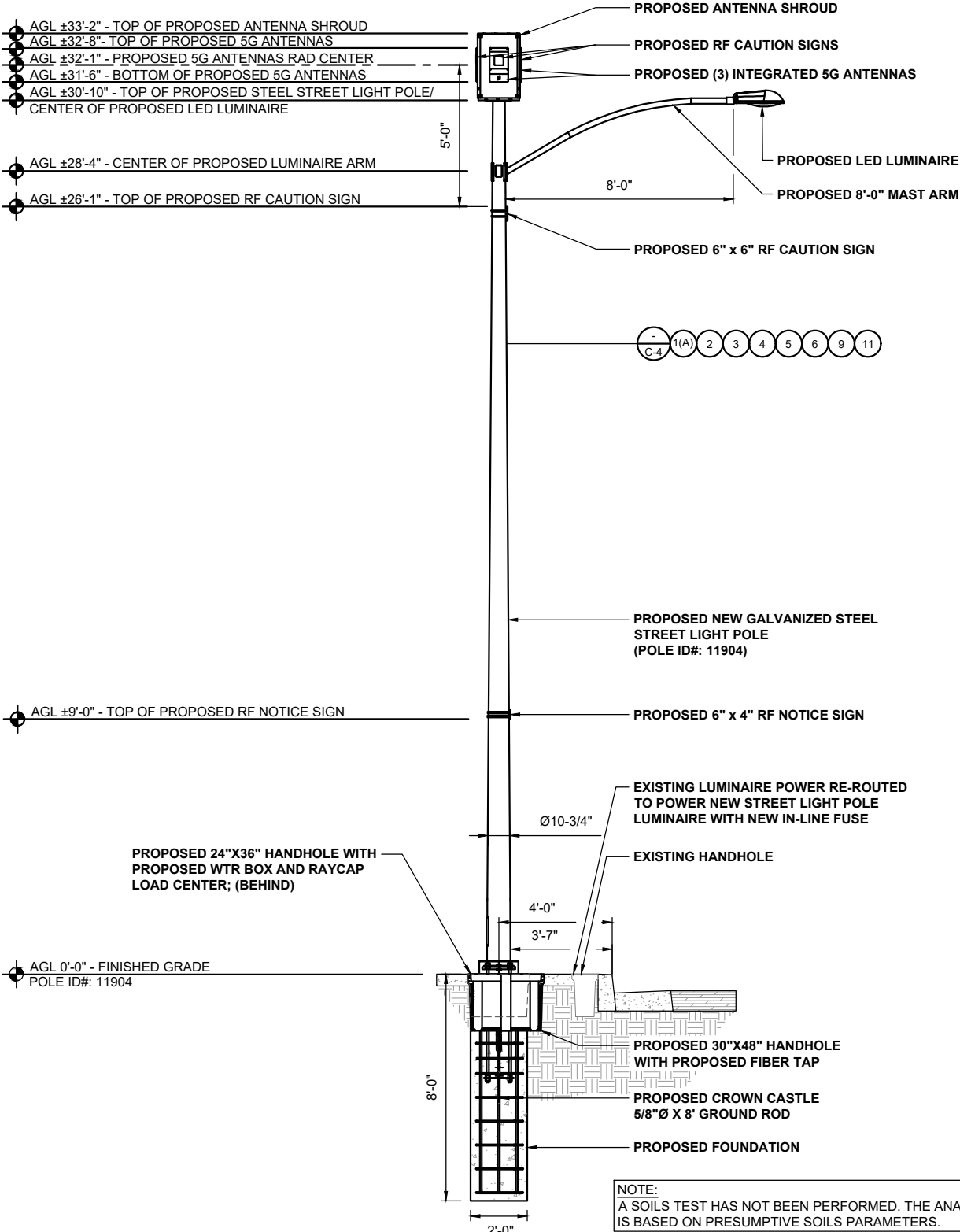


EXISTING ELEVATION LOOKING SOUTHWEST

11"x17" SCALE: 3/16" = 1'-0"
24"x36" SCALE: 3/8" = 1'-0"



1

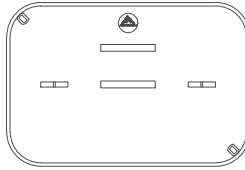
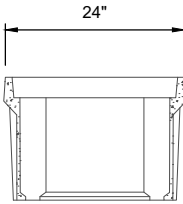
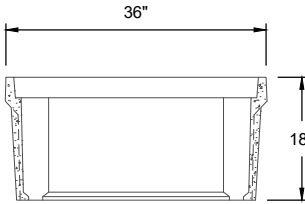

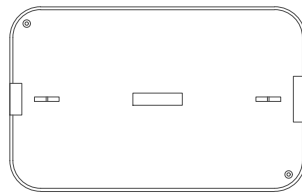
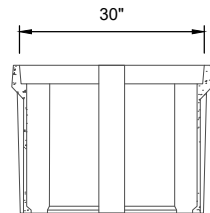
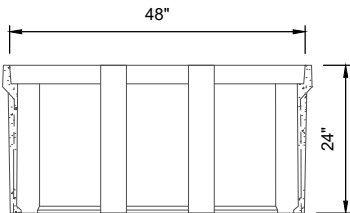


PROPOSED ELEVATION LOOKING SOUTHWEST

11"x17" SCALE: 3/16" = 1'-0"
24"x36" SCALE: 3/8" = 1'-0"



2

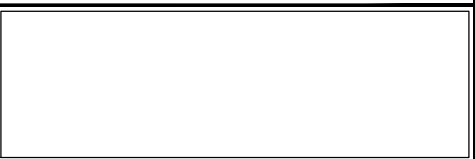
CROWN CASTLE EQUIPMENT DETAILS										NODE ID: CA002_LA_MARDELREY_005											
<table><tr><th colspan="2">SPECIFICATIONS</th></tr><tr><td>DIMENSIONS (HXWXD)</td><td>(24" x 36" x 18")</td></tr><tr><td>WEIGHT</td><td>293 LBS</td></tr><tr><td>MANUFACTURER</td><td>ARMORCAST</td></tr><tr><td>MODEL</td><td>A6001974TAPCX18</td></tr></table> <div></div> <p>PLAN</p> <div></div> <p>FRONT SIDE</p>										SPECIFICATIONS		DIMENSIONS (HXWXD)	(24" x 36" x 18")	WEIGHT	293 LBS	MANUFACTURER	ARMORCAST	MODEL	A6001974TAPCX18	NODE INFORMATION	
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										DIMENSIONS (HXWXD)	(24" x 36" x 18")										
										WEIGHT	293 LBS										
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LONGITUDE: -118.456611°W																					
NEAREST ADDRESS: 4219 ADMIRALTY WAY																					
POWER PROVIDER: SCE																					
<div></div> <p>10/13/2022</p>																					
												ENGINEER: INFINIGY ENGINEERING, LLP 26455 RANCHO PARKWAY SOUTH LAKE FOREST, CALIFORNIA 92630 JOB NUMBER XXX									
<table><tr><th colspan="2">SPECIFICATIONS</th></tr><tr><td>DIMENSIONS (WXHXD)</td><td>(30" X 48" X 24")</td></tr><tr><td>WEIGHT</td><td>377 LBS</td></tr><tr><td>MANUFACTURER</td><td>NEWBASIS</td></tr><tr><td>MODEL NO.</td><td>PCA304824-00000</td></tr></table> <div></div> <p>PLAN</p> <div></div> <p>FRONT SIDE</p>										SPECIFICATIONS		DIMENSIONS (WXHXD)	(30" X 48" X 24")	WEIGHT	377 LBS	MANUFACTURER	NEWBASIS	MODEL NO.	PCA304824-00000	OWNER/DEVELOPER: CROWN CASTLE 200 SPECTRUM CENTER DRIVE, 19TH FLOOR IRVINE, CA 92618	
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										WEIGHT	377 LBS										
MANUFACTURER	NEWBASIS																				
MODEL NO.	PCA304824-00000																				
TITLE: CROWN CASTLE POLE #: 11904																					
REVISIONS																					
REV	DATE	DESCRIPTION	BY																		
00	10/7/2022	90% CDS FOR REVIEW	D.H.																		
01	02/14/2022	95% CDS FOR REVIEW	D.H.																		
DRAWN BY: D.H.		CHECKED BY: G.A.	APPROVED BY: G.A.																		
PROJECT NUMBER:																					
SHEET NAME:		EQUIPMENT DETAILS																			
DATE DRAWN:		06/28/2022																			
SCALE:		AS SHOWN																			
30" X 48" HANDHOLE										C-09											

CROWN CASTLE
PHOTO SIM

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

CROWN NODE ID: CA002_LA_MARDELREY_005
POLE ID: 11904
POLE OWNER: LA COUNTY
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NEAREST ADDRESS: 4219 ADMIRALTY WAY
POWER PROVIDER: SCE



STAMP:

10/13/2022

ENGINEER:

INFINIGY
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB NUMBER XXX

OWNER/DEVELOPER:

200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS			
REV	DATE	DESCRIPTION	BY
00	10/7/2022	90% CDS FOR REVIEW	D.H.
01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:	CHECKED BY:	APPROVED BY:
D.H.	G.A.	G.A.

PROJECT NUMBER:	
SHEET NAME:	PHOTO SIM
DATE DRAWN:	06/28/2022
SCALE:	AS SHOWN

C-10



EXISTING SOUTH PHOTO

11"x17" SCALE: N.T.S.
24"x36" SCALE: N.T.S.

1



PROPOSED SOUTH PHOTO SIM

11"x17" SCALE: N.T.S.
24"x36" SCALE: N.T.S.

2

CROWN CASTLE
PHOTO SIM

NODE ID:
CA002_LA_MARDELREY_005



EXISTING WEST PHOTO

11"x17" SCALE: N.T.S.
24"x36" SCALE: N.T.S.

1



PROPOSED WEST PHOTO SIM


11"x17" SCALE: N.T.S.
24"x36" SCALE: N.T.S.

2

NODE INFORMATION	
CROWN NODE ID:	CA002_LA_MARDELREY_005
POLE ID:	11904
POLE OWNER:	LA COUNTY
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CLUSTER/AREA:	60648853
AZIMUTH:	0°, 120°, 240°
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LONGITUDE:	-118.456611°W
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POWER PROVIDER:	SCE



STAMP:



10/13/2022

ENGINEER:

INFINIGY

ENGINEERING, LLP

26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630

JOB NUMBER XXX

OWNER/DEVELOPER:

CC

CROWN
CASTLE

200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS			
REV	DATE	DESCRIPTION	BY
00	10/7/2022	90% CDS FOR REVIEW	D.H.
01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:	CHECKED BY:	APPROVED BY:
D.H.	G.A.	G.A.

PROJECT NUMBER:	
SHEET NAME:	PHOTO SIM
DATE DRAWN:	06/28/2022
SCALE:	AS SHOWN

C-11

CROWN CASTLE
STREET LIGHT POLE DETAILS

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

CROWN NODE ID: CA002_LA_MARDELREY_005
POLE ID: 11904
POLE OWNER: LA COUNTY
HUB ID: 123936 (PENMAR)
CLUSTER/AREA: 60648853
AZIMUTH: 0°, 120°, 240°
LATITUDE: 33.983753°N
LONGITUDE: -118.456611°W
NEAREST ADDRESS: 4219 ADMIRALTY WAY
POWER PROVIDER: SCE

STAMP:



10/13/2022

ENGINEER:

INFINIGY
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB NUMBER XXX

OWNER/DEVELOPER:

CROWN CASTLE
200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS

REV	DATE	DESCRIPTION	BY
00	10/7/2022	90% CDS FOR REVIEW	D.H.
01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:	CHECKED BY:	APPROVED BY:
D.H.	G.A.	G.A.

PROJECT NUMBER:	
SHEET NAME:	STREET LIGHT POLE DETAILS
DATE DRAWN:	06/28/2022
SCALE:	AS SHOWN

P-1

GENERAL DESIGN NOTES:

DESIGN NOTES AND MATERIAL REQUIREMENTS:

1) THE DESIGN CRITERIA FOR THIS STRUCTURE IS AS FOLLOWS:

A) STANDARDS AND DESIGN CODES:
INDUSTRY STANDARD: ANSI/TIA-222-H, 2019 CBC 1609.1.1 EXCEPTION 5
STEEL MANUAL: AISC 15TH EDITION
CONCRETE CODE: ACI 318-14
WELDING CODE: ANSIAWS D1.1.15

B) DESIGN:
BWS (V): 94 MPH (3-SECOND GUST) PER ANSI/TIA-222-H
RISK CATEGORY: II
EXPOSURE CATEGORY: C
TOPOGRAPHIC CATEGORY: 1
ICE: NOT REQD FOR THIS STRUCTURE PER ANNEX B
SOIL: PER 2019 CBC, TABLE 1806.2, CLASS 5 MATL
SEISMIC: PER 2019 CBC SECTION 1613, ASCE 7-16, SECTIONS 15.1.3 & 12.8

C) LOADINGS:
(1) - 18" Ø X 84" TALL ANTENNA/SHROUD ASSY, WT. = 850 LBS., C.L. @ 38.5' ± AGL
(2) - LED LUMINAIRE W/PHOTOCELL, WT. = 20 LBS., C.L. @ 35' ± AGL
(3) - 8' LONG (MAX.) LUMINAIRE ARM, WT. = 45 LBS., C.L. @ 32.5' ± AGL
(1) - STREET SIGN, WT. = 30 LBS., C.L. @ 11' ± AGL
(1) - CCI RF NOTICE SIGN, WT. = 6 LBS., C.L. @ 9' ± AGL

D) FACTORED BASE REACTIONS:
OVERTURNING MOMENT = 27.8 FT-KIPS
BASE SHEAR = 0.94 KIPS
BASE WEIGHT = 2.40 KIPS

2) GENERAL STRUCTURAL NOTES:

A) ALL MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS:

POLE SHAFT: ASTM A595 GR. A OR A1011 HSLA GR.55
BASE PLATE: ASTM A36
PORTS: ASTM A500 GR. B
PLATES: ASTM A36
WELDS: E70XX ELECTRODES
STRUCTURAL BOLTS: ASTM F3125 GR. A325
ANCHOR BOLTS: ASTM F1554 GR. 55
REBAR: ASTM A615 GR. 60

B) ALL WELDING TO BE PERFORMED BY WELDERS CERTIFIED IN ACCORDANCE WITH AWS D1.1. FIELD WELDING IS PROHIBITED.

C) ALL STRUCTURAL STEEL SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A123.
D) ALL STRUCTURAL BOLTS SHALL BE TIGHTENED TO SNUG-TIGHT AS DEFINED BY AISC 15TH EDITION, PG. 16.2-51 PARAGRAPH 8.1

GENERAL NOTES:

1) CONTRACTOR SHALL FIELD VERIFY SITE OR LAYOUT RESTRICTIONS, SITE CONDITIONS, DIMENSIONS, AND ELEVATIONS BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF WESTERN UT, INC. PRIOR TO BEGINNING PROJECT. ALL WORK SHALL BE PERFORMED USING ACCEPTED CONSTRUCTION PRACTICES.

2) NO FIELD MODIFICATIONS MAY BE MADE TO MONOPOLE WITHOUT THE EXPRESS WRITTEN CONSENT FROM THE ENGINEER OF RECORD. WESTERN UT, INC. AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THE STRUCTURE IF ALTERATIONS AND/OR ADDITIONS ARE MADE TO THE DESIGN AS SHOWN IN THESE DRAWINGS.

3) THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH ALL LOCAL CODES, REGULATIONS, AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.

4) THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK TO THE BEST OF HIS/HER ABILITY AND SKILL. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, AND SEQUENCES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

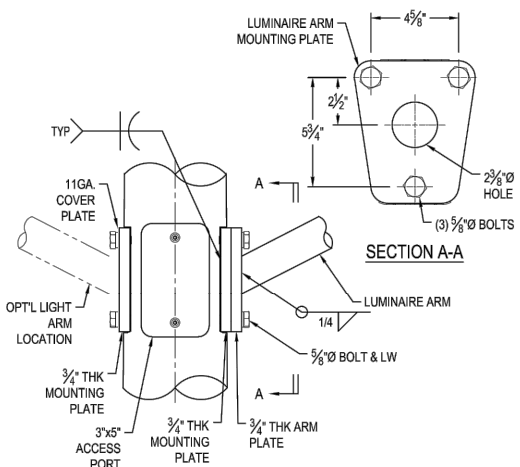
5) THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING SAME, WHETHER SHOWN OR NOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, FORMWORK, ETC., AND SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL ORDINANCES AND CODES, IN ORDER TO SAFELY EXECUTE ALL STAGES OF WORK TO COMPLETE THIS PROJECT.

6) IT IS THE INTENT OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION OF THE STRUCTURE SHOWN.

7) CONTRACTOR ASSUMES RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

8) CONTRACTOR TO HOLD ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

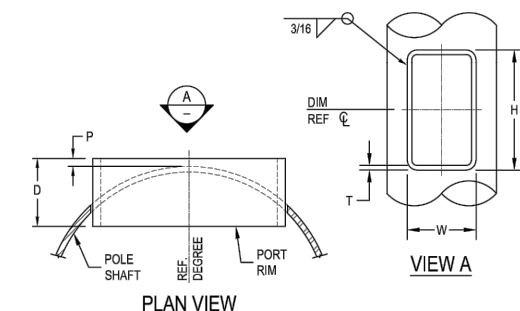
9) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN. THE CONTRACTOR IS FINANCIALLY RESPONSIBLE FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK ON THIS PROJECT.



LIGHT ARM CONNECTION

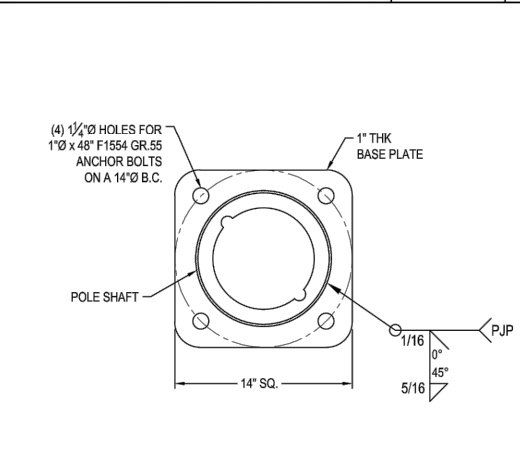
SCALE: NONE 2

PORT SCHEDULE							
DIM REF	W	H	D	T	P	QTY.	DEGREE
32'-6"	3"	5"	1"	1/4"	3/8"	1	90°
1'-6"	6"	12"	1 3/4"	1/4"	1/4"	1	180°



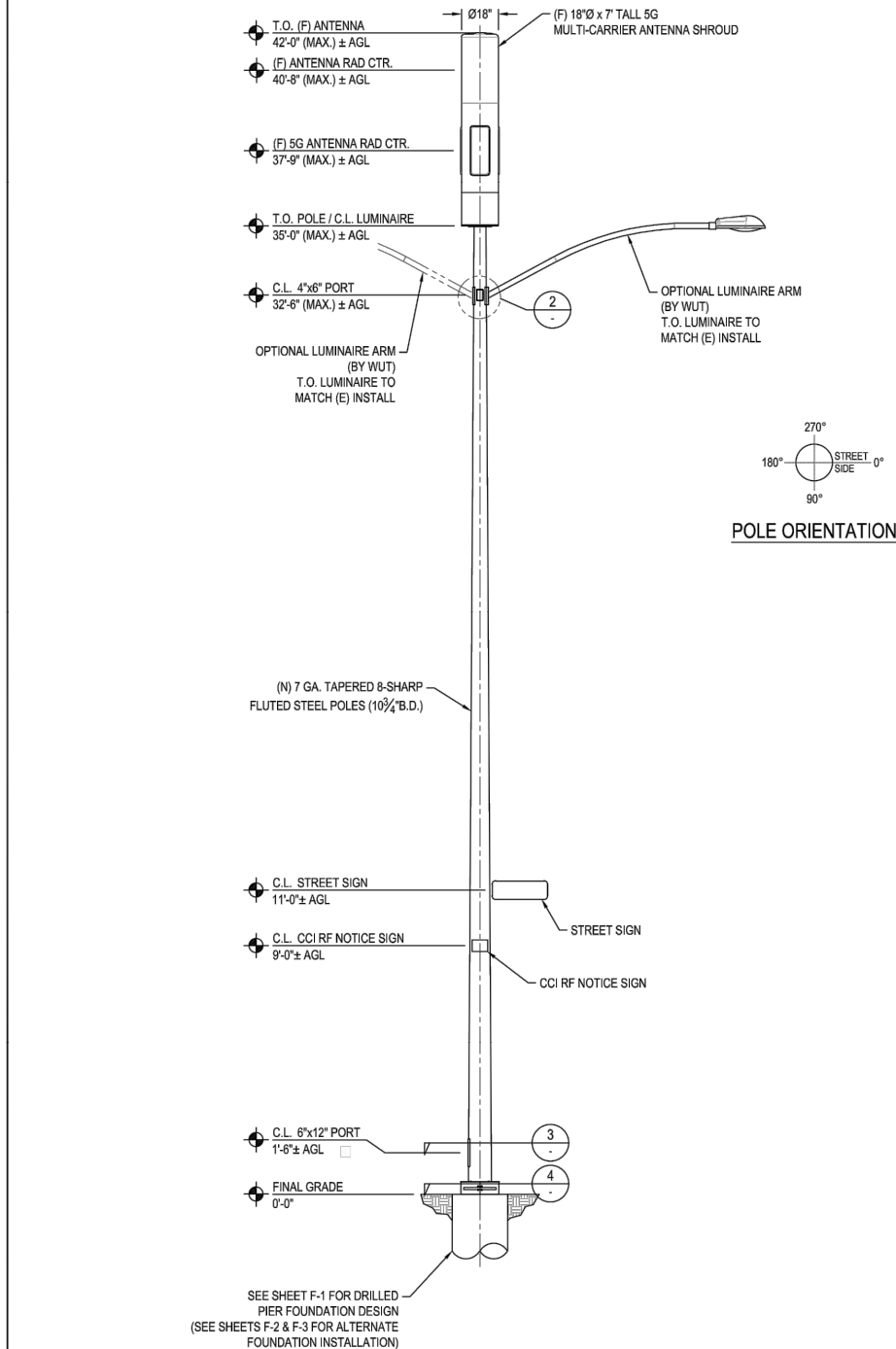
PORT DETAIL

SCALE: NONE 3



BASE PLATE DETAIL

SCALE: 1" = 1'-0" 4



ELEVATION VIEW (35' MAX. POLE HT.)

SCALE: 3/16" = 1'-0"

1

CROWN CASTLE
FOUNDATION DETAILS

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

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POWER PROVIDER: SCE

STAMP:



10/13/2022

ENGINEER:

INFINIGY
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB NUMBER XXX

OWNER/DEVELOPER:

CROWN CASTLE
200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS

REV	DATE	DESCRIPTION	BY
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01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:	CHECKED BY:	APPROVED BY:
D.H.	G.A.	G.A.

PROJECT NUMBER:
SHEET NAME: FOUNDATION DETAILS
DATE DRAWN: 06/28/2022
SCALE: AS SHOWN

F-1

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AREA FOR UNDERGROUND FACILITIES PRIOR TO EXCAVATING ANY MATERIALS.
- CONTRACTOR SHALL REFER TO SOILS REPORT (IF APPLICABLE) FOR SITE CONDITIONS AND FURTHER CONSTRUCTION INFORMATION.
- CONTRACTOR SHALL INSPECT AND REMOVE ALL DEBRIS FROM BOTTOM OF EXCAVATION.
- CONTRACTOR SHALL VERIFY ANCHOR BOLT LAYOUT PRIOR TO, AND IMMEDIATELY AFTER PLACING CONCRETE. ANCHOR BOLT LAYOUT IS CRITICAL FOR MONOPOLE INSTALLATION.
- CONTRACTOR SHALL USE AND PROVIDE DEFORMED REINFORCING BARS CONFORMING TO A615 GR.60 (80,000 PSI MIN. YIELD). CONTRACTOR SHALL USE STEEL WIRE TO HOLD REINFORCING BARS TOGETHER. IF WELDING REBAR IS PREFERRED, SUBSTITUTE USING A706 GR. 60 DEFORMED BARS.
- CONTRACTOR SHALL USE AND PROVIDE CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI. CONCRETE SHALL USE 1" MAXIMUM STONE AGGREGATE. MIX DESIGN: 6% SACKS OF CEMENT MINIMUM PER CUBIC YARD. 6" MINIMUM AND 7" MAXIMUM CONCRETE SLUMP.
- CONCRETE SHALL BE CONSOLIDATED USING VIBRATORY METHODS THROUGHOUT DEPTH OF FOUNDATION. VIBRATING LOWER DEPTHS MAY BE ACCOMPLISHED BY TOUCHING REBAR CAGE WITH VIBRATOR.
- CONTRACTOR SHOULD ANTICIPATE THE USE OF A FULL-LENGTH TEMPORARY CASING TO STABILIZE THE EXCAVATION. THE CASING SHALL BE WITHDRAWN DURING THE PLACEMENT OF CONCRETE IN THE EXCAVATED HOLE. CONCRETE SHALL BE PLACED USING CONVENTIONAL METHODS TO MINIMIZE SEGREGATION OF CONCRETE AND AGGREGATE. CONCRETE SHALL NOT FREE FALL MORE THAN 5 FT. CONCRETE MAY BE PLACED BELOW WATER USING TREMIE METHODS.
- CONCRETE SHALL BE PLACED TO THE DEPTH INDICATED, AND THE ABOVE GRADE PORTION SHALL BE FORMED. THE REBAR CAGE, ANCHOR BOLTS, AND CONCRETE SHALL BE PLACED WITHIN 24 HOURS OF COMPLETING THE EXCAVATION. COLD JOINTS ARE NOT ALLOWED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ADEQUATE CONCRETE COVERAGE OVER REINFORCING BARS TO MINIMIZE CORROSION POTENTIAL. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL USE 3" CONCRETE COVER OVER REBAR. TOP OF FOOTING SHALL BE TOWELED LEVEL AND SMOOTH.
- DRILLED PIER FOUNDATION DESIGN PER 2019 CBC, TABLE 1806.2, CLASS 5 MATERIAL.
- TOTAL VOLUME OF CONCRETE REQUIRED FOR THIS FOUNDATION IS APPROXIMATELY 0.9 CU. YDS.

FACTORED BASE REACTIONS

MOMENT = 27.8 FT-KIPS
SHEAR = 0.94 KIPS
VERTICAL = 2.40 KIPS

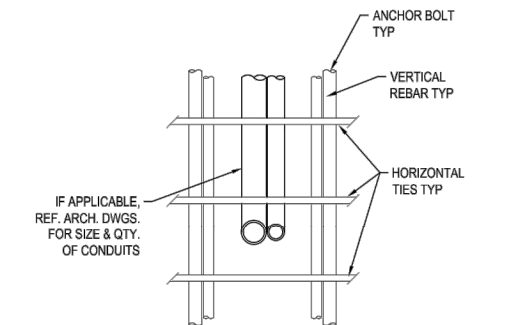
SPECIAL INSPECTIONS

SPECIAL INSPECTION:
THE FOLLOWING ELEMENTS OF CONSTRUCTION SHALL REQUIRE SPECIAL INSPECTION PER 2019 CBC, SECTION 17.

ITEM	DESCRIPTION	INSPECTION BY	MATERIAL
1	ALLOWABLE PIER EXCAVATION LATERAL BEARING CAPACITY	SOILS ENGINEER	100 PSF/FT LATERAL
2	PIER CONSTRUCTION REINFORCING STEEL BAR SIZES AND INSTALLATION	SPECIAL INSPECTOR	ASTM A615 GR.60
3	ANCHOR BOLTS BOLT SIZE AND LENGTHS INSTALLATION	SPECIAL INSPECTOR	ASTM F1554 GR.55
4	CONCRETE TEST SPECIMENS	SPECIAL INSPECTOR	f _c = 4,000 PSI TYPE II CEMENT

GROUNDING KIT DETAIL

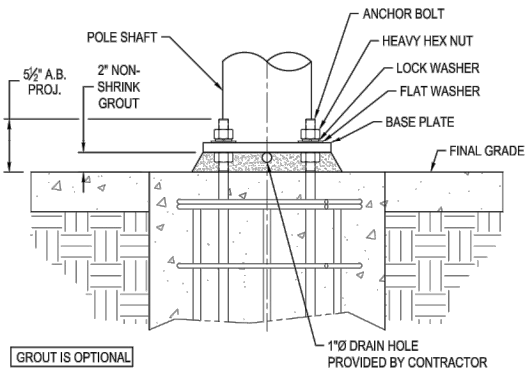
SCALE: NONE 2



* ADJUST REBAR AS NEEDED TO ACCOMMODATE CONDUIT. SEE REINFORCEMENT SUMMARY FOR SIZE, QUANTITY AND LOCATION OF VERTICAL BARS AND HORIZONTAL TIES.

CONDUIT DETAIL @ PIER FACE

SCALE: 1" = 1'-0" 3

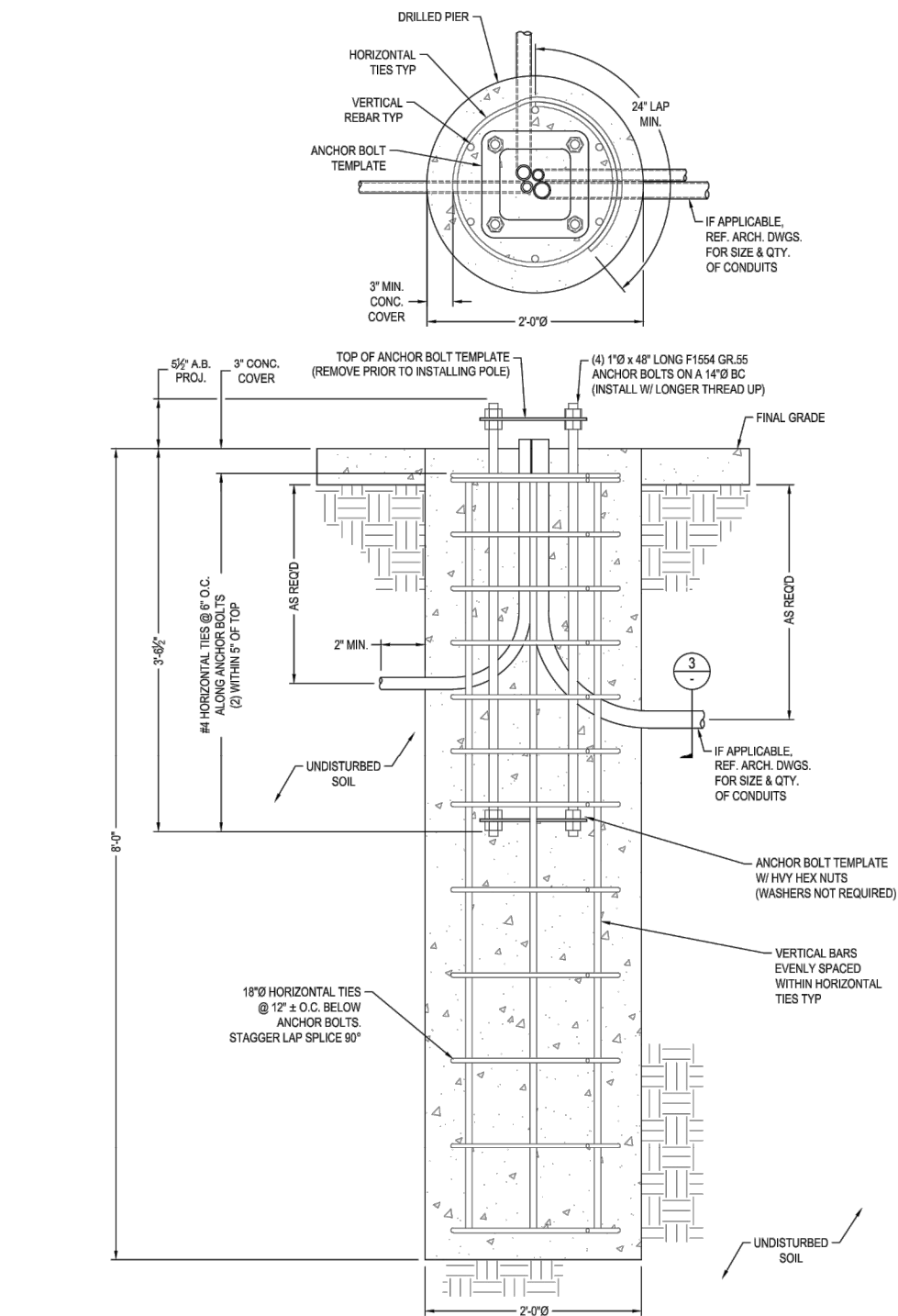
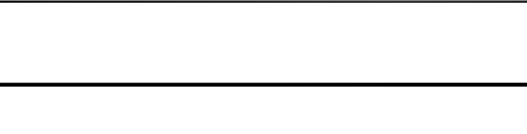


* NON-SHRINK GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 6,000 PSI.

BASE PLATE SHALL NOT BE GROUTED UNTIL AFTER THE STRUCTURE HAS BEEN INSTALLED AND PLUMBED.

BASE GROUTING DETAIL

SCALE: 3/4" = 1'-0" 4



REBAR SCHEDULE					
DESCRIPTION	SIZE	QTY.	LENGTH	WEIGHT	OVERLAP
VERTICAL BARS	#6	6	7'-6"	68 LBS	N/A
HORIZONTAL TIES	#4	13	6'-10"	59 LBS	2'-0"

PIER FOUNDATION DETAIL

SCALE: 3/4" = 1'-0" 1

CROWN CASTLE ELECTRICAL SHEET

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

CROWN NODE ID:	CA002_LA_MARDELREY_005
POLE ID:	11904
POLE OWNER:	LA COUNTY
HUB ID:	123936 (PENMAR)
CLUSTER/AREA:	60648853
AZIMUTH:	0°, 120°, 240°
LATITUDE:	33.983753°N
LONGITUDE:	-118.456611°W
NEAREST ADDRESS:	4219 ADMIRALTY WAY
POWER PROVIDER:	SCE

STAMP: _____



ENGINEER:

INFINIGY 
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630

JOB NUMBER XXX

OWNER/DEVELOPER:

 **CROWN
CASTLE**

200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:	CROWN CASTLE POLE #: 11904
--------	-------------------------------

REVISIONS

REV	DATE	DESCRIPTION	BY
00	10/7/2022	90% CDS FOR REVIEW	D.H.
01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:	CHECKED BY:	APPROVED BY:
D.H.	G.A.	G.A.

--	--

PROJECT NUMBER:	
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SHEET NAME:	ELECTRICAL SHEET
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DATE DRAWN:	06/28/2022
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SCALE:	AS SHOWN
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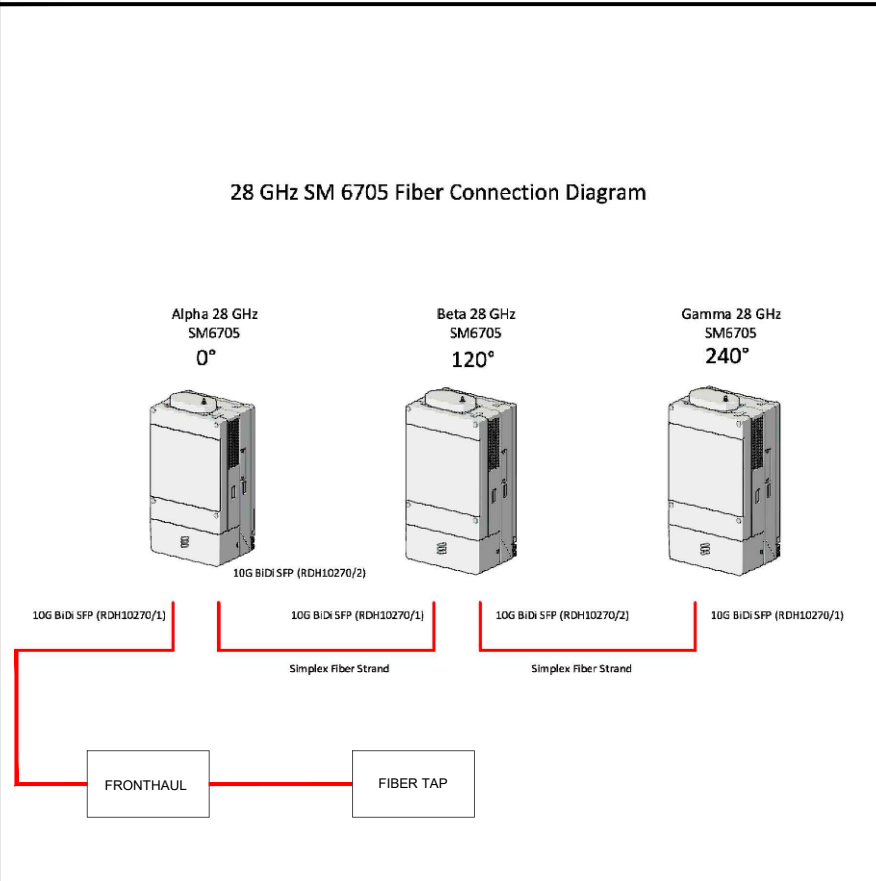
E-1

28 GHz SM 6705 Fiber Connection Diagram

The diagram illustrates the fiber connection setup for three 28 GHz SM 6705 units, labeled Alpha (0°), Beta (120°), and Gamma (240°). Each unit is connected to a common FRONTHAUL line via a FIBER TAP. The connections are as follows:

- Alpha 28 GHz SM6705 0°:** Connected to the FRONTHAUL line via a 10G BiDi SFP (RDH10270/1).
- Beta 28 GHz SM6705 120°:** Connected to the FRONTHAUL line via a 10G BiDi SFP (RDH10270/1).
- Gamma 28 GHz SM6705 240°:** Connected to the FRONTHAUL line via a 10G BiDi SFP (RDH10270/1).

Each unit also has a 10G BiDi SFP (RDH10270/2) port, which is connected to a Simplex Fiber Strand. The FRONTHAUL line is connected to the FIBER TAP, which then connects to the 10G BiDi SFP (RDH10270/1) ports of the units.

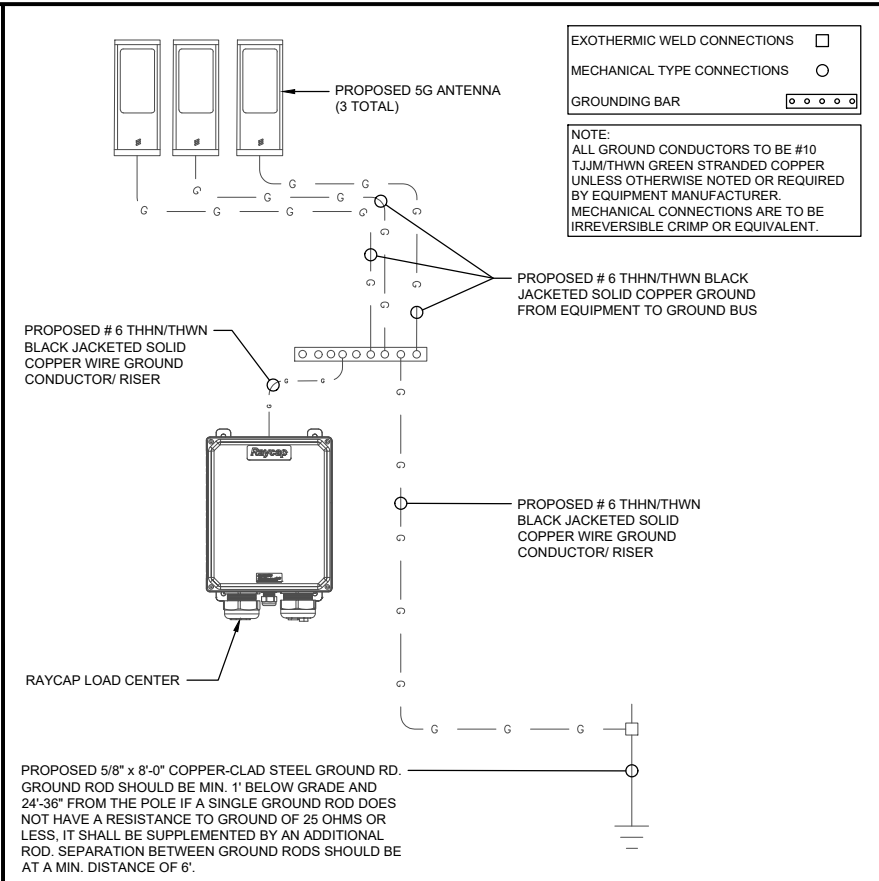


RF PLUMBING DIAGRAM	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	1
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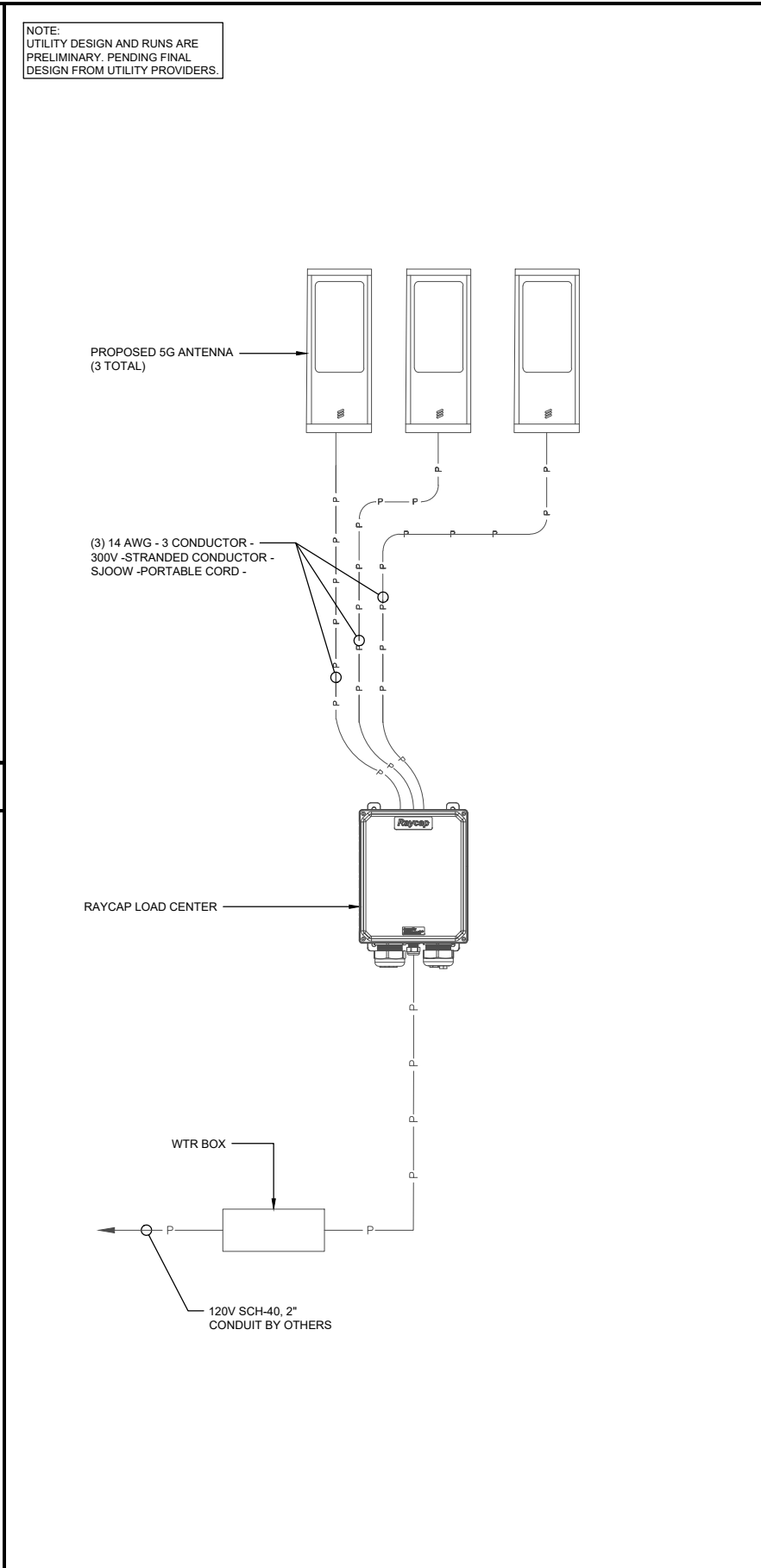
RF PLUMBING DIAGRAM	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	1
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RF PLUMBING DIAGRAM	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	1
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GROUNDING SCHEMATIC	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	2
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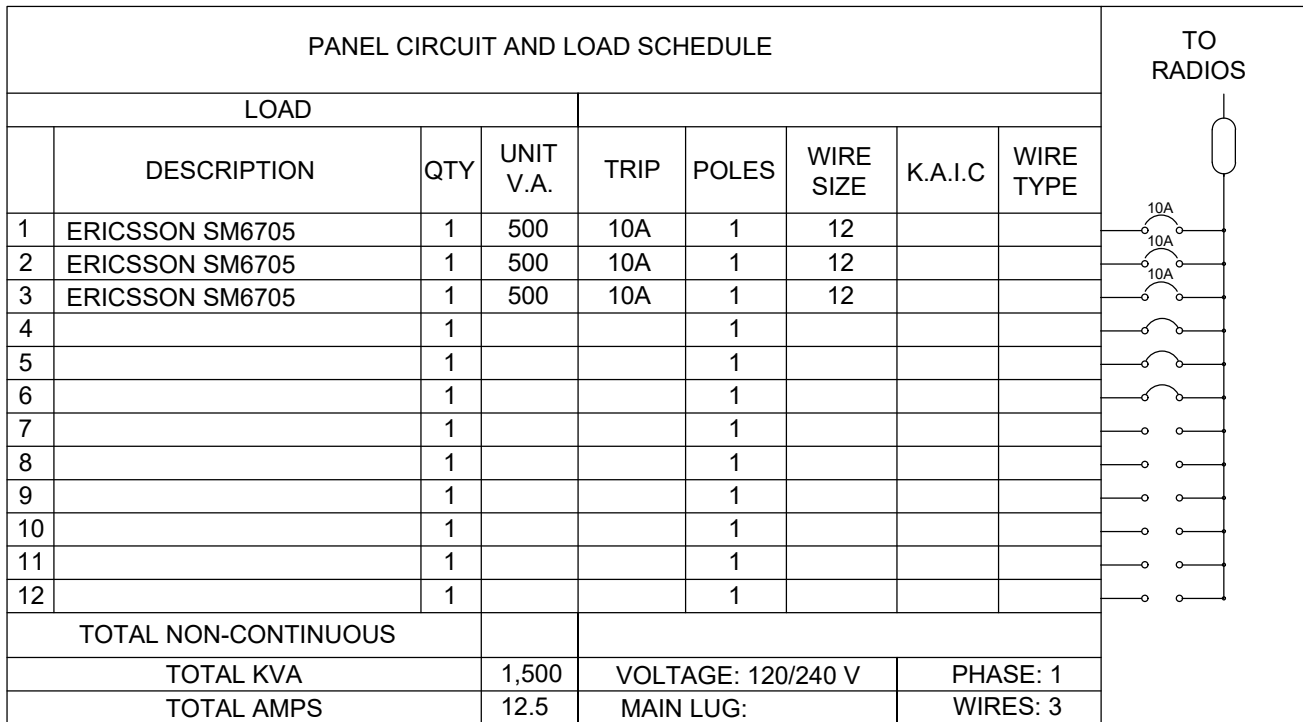


NOTE:
UTILITY DESIGN AND RUNS ARE
PRELIMINARY. PENDING FINAL
DESIGN FROM UTILITY PROVIDERS.



RF PLUMBING DIAGRAM	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	1
---------------------	--	---

PANEL CIRCUIT AND LOAD SCHEDULE								TO RADIOS
LOAD								
	DESCRIPTION	QTY	UNIT V.A.	TRIP	POLES	WIRE SIZE	K.A.I.C	WIRE TYPE
1	ERICSSON SM6705	1	500	10A	1	12		
2	ERICSSON SM6705	1	500	10A	1	12		
3	ERICSSON SM6705	1	500	10A	1	12		
4		1			1			
5		1			1			
6		1			1			
7		1			1			
8		1			1			
9		1			1			
10		1			1			
11		1			1			
12		1			1			
TOTAL NON-CONTINUOUS								
TOTAL KVA			1,500	VOLTAGE: 120/240 V			PHASE: 1	
TOTAL AMPS			12.5	MAIN LUG:			WIRES: 3	



LOAD SCHEDULE	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	3
---------------	--	---

LOAD SCHEDULE	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	3
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LOAD SCHEDULE	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	3
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ONE-LINE DIAGRAM	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	4
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ONE-LINE DIAGRAM	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	4
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ONE-LINE DIAGRAM	11"x17" SCALE: N.T.S. 24"x36" SCALE: N.T.S.	4
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CROWN CASTLE
GROUNDING DETAILS

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

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HUB ID: 123936 (PENMAR)
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STAMP:



10/13/2022

ENGINEER:

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IRVINE, CA 92618

TITLE:

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POLE #: 11904

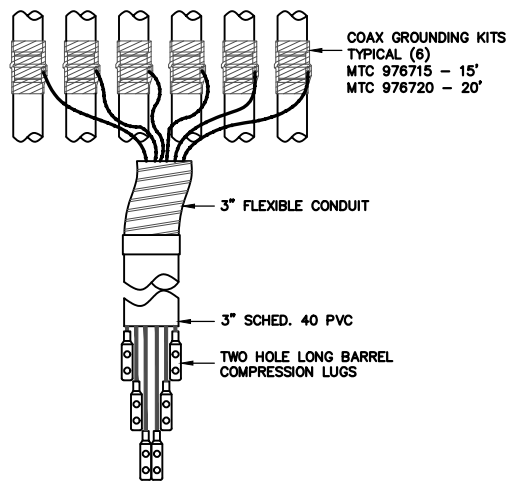
REVISIONS

REV	DATE	DESCRIPTION	BY
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01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:	CHECKED BY:	APPROVED BY:
D.H.	G.A.	G.A.

PROJECT NUMBER:	
SHEET NAME:	GROUNDING DETAILS
DATE DRAWN:	06/28/2022
SCALE:	AS SHOWN

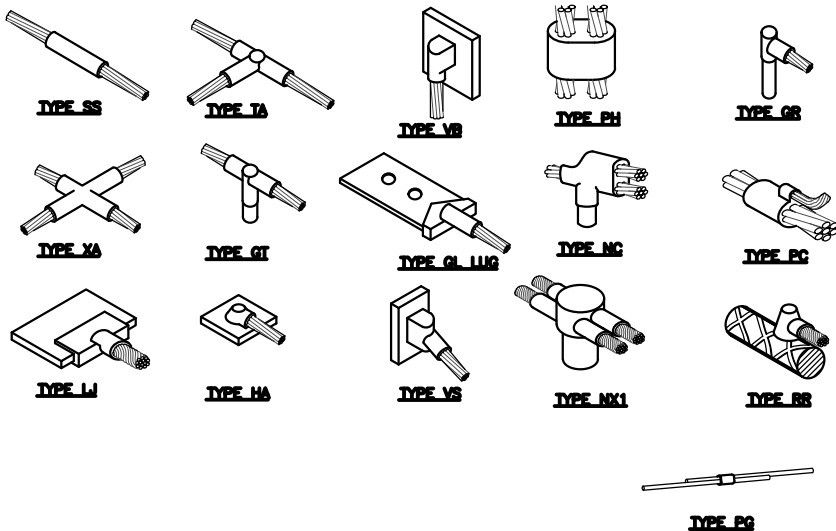
G-01



COAX GROUND KIT

1

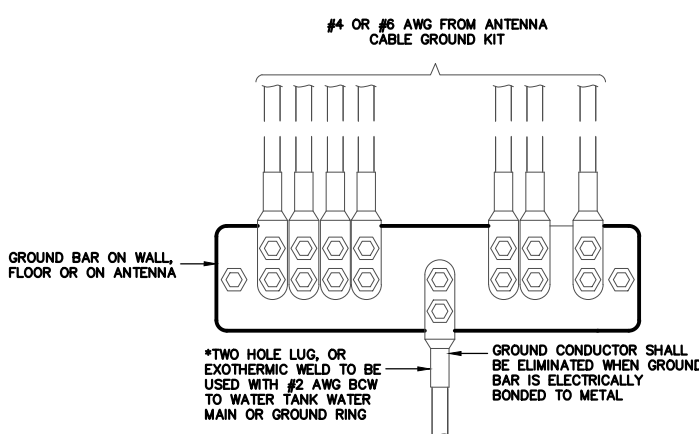
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N.T.S.



TYPICAL CADWELD TYPES

2

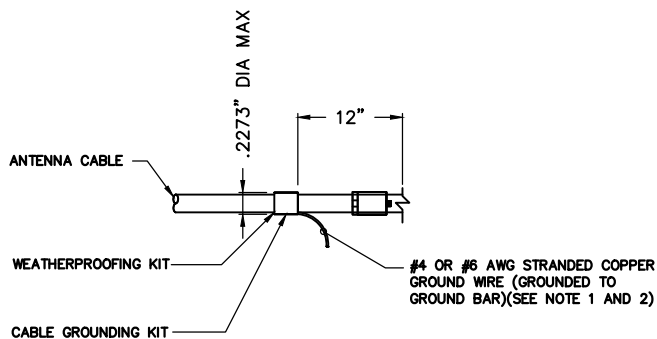
SCALE:
N.T.S.



WIRE TO GROUND BAR CONNECTION

3

SCALE:
N.T.S.



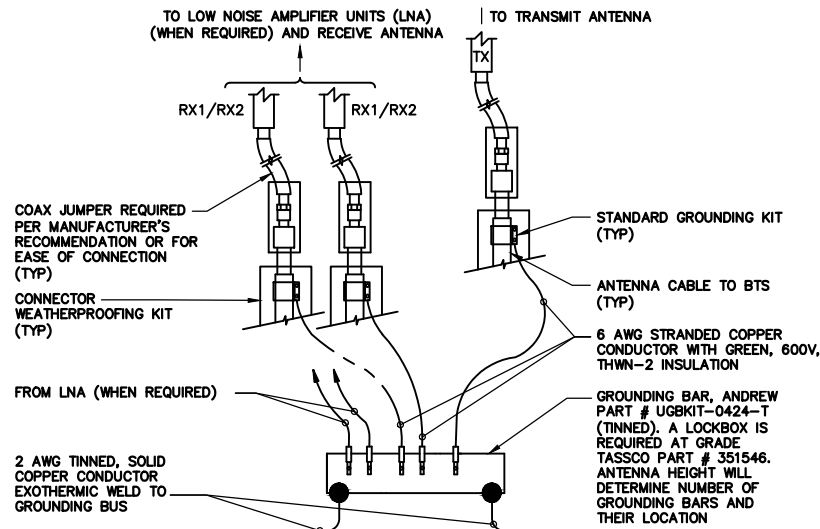
NOTE

- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
- GROUNDING KIT SHALL BE ANDREW SUREGROUND TYPE KIT WITH TWO-HOLE LUG
- WEATHER PROOFING SHALL BE ANDREW TWO-PART TAPE SUPPLIED WITH KIT. COLD SHRINK SHALL NOT BE USED

CABLE GROUND KIT DETAIL

4

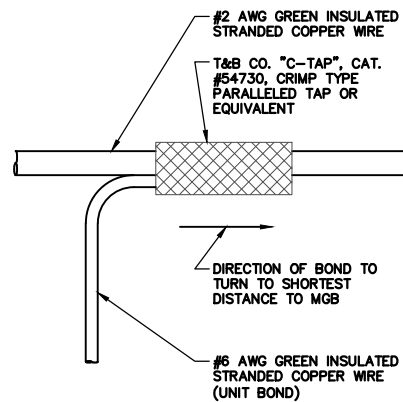
SCALE:
N.T.S.



GROUNDING BAR CONNECTION

5

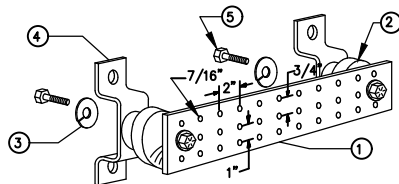
SCALE:
N.T.S.



GROUNDING WIRE CONNECTION

6

SCALE:
N.T.S.



LEGEND

- TINNED COPPER GROUND BAR, 1/4"x4"x20", NEWTON INSTRUMENT CO. CAT. NO. B-8142 OR EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTIONS)
- INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4 OR EQUAL
- 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-8 OR EQUAL WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT NO. A-6056 OR EQUAL
- 5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO. CAT NO. 3012-1 OR EQUAL
- INSULATORS SHALL BE ELIMINATED WHEN BONDING DIRECTLY TO STRUCTURE. CONNECTION TO STRUCTURE SHALL BE PER MANUFACTURERS RECOMMENDATIONS

GROUND BAR DETAIL

7

SCALE:
N.T.S.

NOT USED

8

SCALE:
N.T.S.

NOT USED

9

SCALE:
N.T.S.

CROWN CASTLE
TRAFFIC CONTROL PLAN

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

CROWN NODE ID: CA002_LA_MARDELREY_005
POLE ID: 11904
POLE OWNER: LA COUNTY
HUB ID: 123936 (PENMAR)
CLUSTER/AREA: 60648853
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10/13/2022

ENGINEER:

INFINIGY
ENGINEERING, LLP
26455 RANCHO PARKWAY SOUTH
LAKE FOREST, CALIFORNIA 92630
JOB NUMBER XXX

OWNER/DEVELOPER:

CROWN CASTLE

200 SPECTRUM CENTER DRIVE, 19TH FLOOR
IRVINE, CA 92618

TITLE:

CROWN CASTLE
POLE #: 11904

REVISIONS

REV	DATE	DESCRIPTION	BY
00	10/7/2022	90% CDS FOR REVIEW	D.H.
01	02/14/2022	95% CDS FOR REVIEW	D.H.

DRAWN BY:

CHECKED BY:

G.A.

APPROVED BY:

G.A.

PROJECT NUMBER:

SHEET NAME:

TRAFFIC CONTROL PLAN

DATE DRAWN:

06/28/2022

SCALE:

AS SHOWN

TC-1.1

TRAFFIC CONTROL GENERAL NOTES

1. TRAFFIC CONTROL PERMITS SHALL BE OBTAINED FROM THE CITY OF FONTANA DEPARTMENT OF ENGINEERING PRIOR TO THE START OF ANY WORK. INSPECTION COORDINATION SHALL BE REQUESTED AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY WORK IN PUBLIC RIGHT-OF-WAY WITH IN THE CITY LIMITS. CALL (909) 350-7610.

2. ALL WORK, MATERIALS, EQUIPMENT AND TEMPORARY TRAFFIC CONTROL SHALL CONFORM TO THESE PLANS, THE CITY OF FONTANA DESIGN STANDARDS, THE CITY'S SPECIAL PROVISIONS, SECTION E, CALTRANS STANDARD PLANS AND SPECIFICATIONS, LATEST EDITIONS, AND THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, DATED 2014.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EMERGENCY SERVICES, TRANSPORTATION SERVICES, IMPACTED BUSINESSES, AND AFFECTED RESIDENTS OF THE CONSTRUCTION AND/OR CLOSURE/DETOUR ROUTE AT LEAST SEVEN DAYS PRIOR TO START OF WORK. IF REQUIRED, CHANGEABLE MESSAGE SIGNS SHALL BE PLACED ONE WEEK PRIOR TO START OF WORK.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ANY AND ALL RESIDENTIAL AND COMMERCIAL PROPERTIES LOCATED WITHIN THE CONSTRUCTION ZONE AND/OR ROAD CLOSURE DURING THE PROJECT 24-HOURS A DAY 7 DAYS A WEEK.

5. THE CONSTRUCTION SHALL NOT DISRUPT ANY PUBLIC SERVICES INCLUDING MAIL DELIVERY, TRASH PICKUP, AND BUS SERVICES. CONSTRUCTION ZONES/ROAD CLOSURES SHALL REMAIN OPEN FOR EMERGENCY SERVICES.

6. ON MAJOR ROADWAYS AND WITHIN THE VICINITY OF SCHOOLS, WORK HOURS WILL BE RESTRICTED TO MINIMIZE TRAFFIC IMPACT AND PUBLIC INCONVENIENCE. NIGHT WORK MAY BE REQUIRED.

7. THE CITY ENGINEER RESERVES THE RIGHT TO MAKE ANY CHANGES TO THE TRAFFIC CONTROLS AT ANY TIME. ANY DIRECTED CHANGES SHALL SUPERCEDE THESE PLANS AND SHALL BE IMPLEMENTED AT THE SOLE EXPENSE OF THE CONTRACTOR.

8. DURING CONSTRUCTION, ALL CONFLICTING TRAFFIC CONTROL DEVICES SHALL BE COVERED OR REMOVED. AT THE END OF EACH WORK SHIFT, ALL TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE REMOVED AND THE ROADWAY RESTORED TO ORIGINAL CONDITION.

9. IF (WITH PRIOR CITY APPROVAL) TRAFFIC CONTROL IS TO REMAIN IN PLACE OVERNIGHT, GLUE DOWN DELINEATORS WITH REFLECTIVE TAPE (WHITE FOR RIGHT EDGE LINE DELINEATION AND YELLOW FOR LEFT OR CENTERLINE DELINEATION) ARE REQUIRED. ALL TRAFFIC CONTROL DEVICES IN PLACE OVERNIGHT SHALL BE RETRO-REFLECTIVE AND IN GOOD OPERATING CONDITION. NIGHT TIME FLAGGING STATIONS SHALL BE ILLUMINATED.

10. STOP SIGNS ON BARRICADES SHALL BE EQUIPPED WITH NIGHTTIME OPERATIONAL RED FLASHERS. STOP AHEAD SIGNS ON BARRICADES SHALL BE EQUIPPED WITH NIGHTTIME OPERATIONAL YELLOW FLASHERS.

11. CONTRACTOR SHALL POST WARNING SIGNS FOR PAVEMENT SURFACE DISRUPTIONS OF 1/2" OR GREATER. PAVEMENT DISRUPTIONS OF 1" OR GREATER SHALL HAVE A BEVELED EDGE OF FOUR (4) UNITS HORIZONTAL TO ONE UNIT VERTICAL.

12. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN DISABILITY ACT ACCESSIBILITY GUIDELINES AND WITH THE CALIFORNIA ACCESSIBILITY GUIDELINES AS RELATED TO PEDESTRIAN ACCESS AND SHALL MAINTAIN PEDESTRIAN ACCESS AT ALL TIMES PER ADA REQUIREMENTS.

13. A DEDICATED INDIVIDUAL SHALL BE ASSIGNED THE RESPONSIBILITY OF ESCORTING PEDESTRIANS AROUND THE WORK AREA. PEDESTRIANS SHALL NOT BE LED INTO DIRECT CONFLICT WITH WORK SITE VEHICLES, EQUIPMENT, OPERATIONS OR TRAFFIC WITHIN THE VICINITY OF THE WORK ZONE.

14. ALL OPEN EXCAVATIONS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE BACK-FILLED PER CITY STD. 1008 OR STEEL PLATED PER CITY STD. 1009 DURING NON-WORKING HOURS. "STEEL PLATES AHEAD" WARNING SIGNS SHALL BE POSTED IN ADVANCE OF STEEL PLATE BRIDGING. PERMANENT TRENCH REPAIR SHALL BE PER CITY STD. 1008.

15. ALL TRAFFIC LANES SHALL BE A MINIMUM OF 11' IN WIDTH AND HAVE A MINIMUM OF 2 FEET OF CLEARANCE FROM VERTICAL OBSTRUCTIONS SUCH AS CURBS OR GUARDRAIL.

16. TRAFFIC LANES SHALL HAVE A 5' MINIMUM CLEARANCE FROM ANY EXCAVATION OR DROP OFF GREATER THAN 2" AND A 10' MINIMUM CLEARANCE FROM ANY FIXED OBJECT UNPROTECTED BY BARRIERS. IF THESE CLEARANCES CANNOT BE MAINTAINED, TEMPORARY BARRIERS SHALL BE PLACED IN FRONT OF DROP OFFS AND FIXED OBJECTS. ALL OPEN ENDED K-RAIL SHALL REQUIRE CRASH CUSHIONS.

17. WHEN NECESSARY TO RESTRICT PARKING, CONTRACTOR SHALL POST SIGNS A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK. SIGNS SHALL INCLUDE NAME OF COMPANY AND CONTACT INFORMATION.

18. CONTRACTOR SHALL COORDINATE WITH CITY FOR ANY TRAFFIC SIGNAL OPERATION MODIFICATIONS. CONTRACTOR SHALL COORDINATE WITH THE SCHOOL WHEN WORKING IN THE VICINITY OF A SCHOOL ZONE.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL WORK ZONE TRAFFIC CONTROL DEVICES 24-HOURS PER DAY AND 7 DAYS A WEEK AND SHALL DESIGNATE A SINGLE POINT OF CONTACT RESPONSIBLE FOR THIS EFFORT.

LEGEND:

WORK AREA

TRAFFIC CONE

HIGH LEVEL WARNING DEVICE

PORTABLE SIGN

EXISTING SIGN

TYPE III BARRICADES

TYPE III BARRICADES W/SIGN

FLASHING ARROW BOARD

FLAGGER

DIRECTION OF TRAFFIC FLOW

P.T.T.A.N.S.A.T.S. = POST TEMPORARY TOW AWAY NO STOPPING ANY TIME SIGNS

EXISTING DRIVEWAY

TYPE II BARRICADE

EXISTING RED CURB

DOUBLE YELLOW LANE LINES

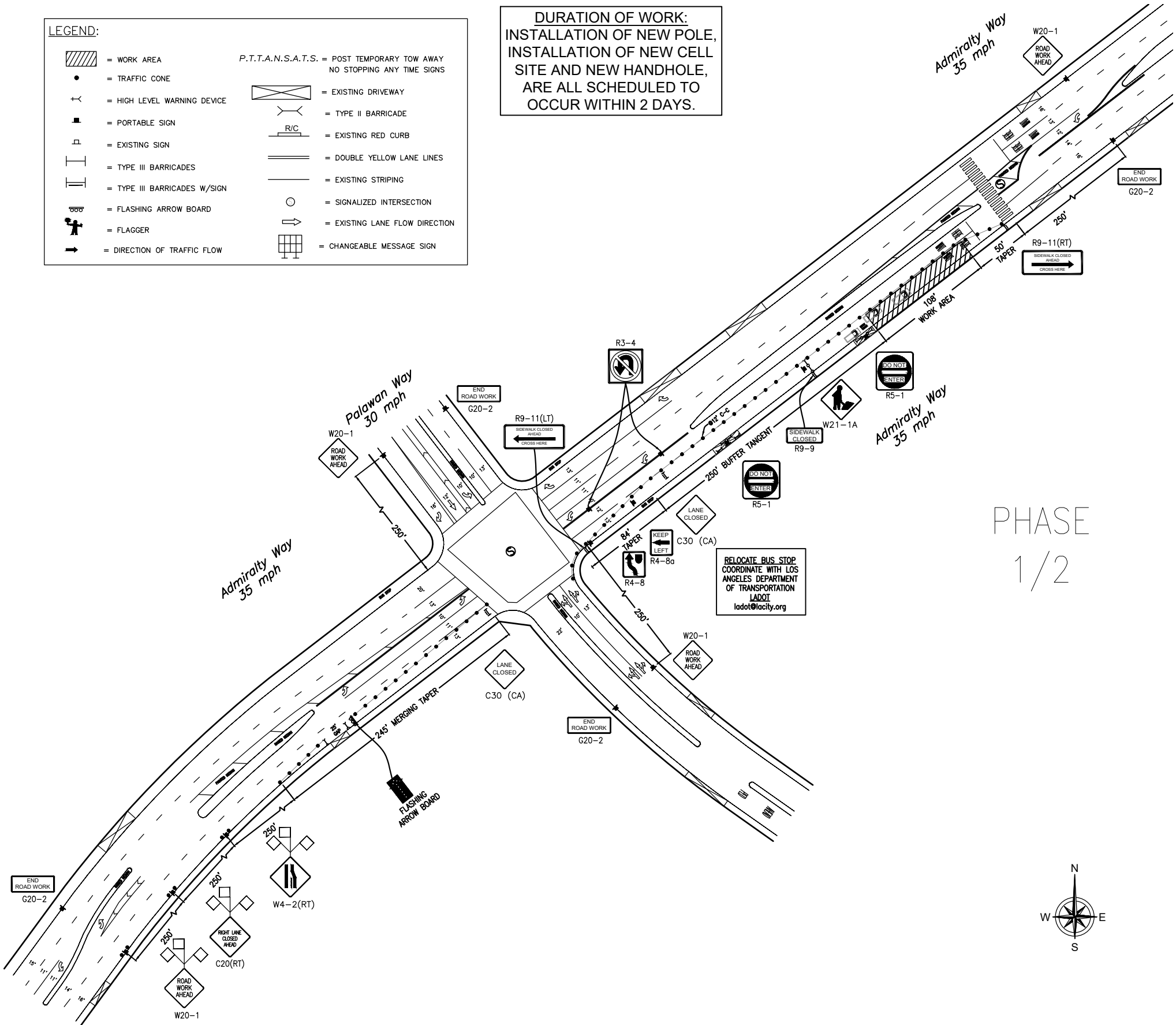
EXISTING STRIPING

SIGNALIZED INTERSECTION

EXISTING LANE FLOW DIRECTION

CHANGEABLE MESSAGE SIGN

DURATION OF WORK:
INSTALLATION OF NEW POLE,
INSTALLATION OF NEW CELL
SITE AND NEW HANDHOLE,
ARE ALL SCHEDULED TO
OCCUR WITHIN 2 DAYS.



PHASE
1/2

CROWN CASTLE
TRAFFIC CONTROL PLAN

NODE ID:
CA002_LA_MARDELREY_005

NODE INFORMATION

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TITLE:

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G.A.

G.A.

PROJECT NUMBER:

SHEET NAME:

TRAFFIC CONTROL PLAN

DATE DRAWN:

06/28/2022

SCALE:

AS SHOWN

TC-1.2

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6. ON MAJOR ROADWAYS AND WITHIN THE VICINITY OF SCHOOLS, WORK HOURS WILL BE RESTRICTED TO MINIMIZE TRAFFIC IMPACT AND PUBLIC INCONVENIENCE. NIGHT WORK MAY BE REQUIRED.

7. THE CITY ENGINEER RESERVES THE RIGHT TO MAKE ANY CHANGES TO THE TRAFFIC CONTROLS AT ANY TIME. ANY DIRECTED CHANGES SHALL SUPERCEDE THESE PLANS AND SHALL BE IMPLEMENTED AT THE SOLE EXPENSE OF THE CONTRACTOR.

8. DURING CONSTRUCTION, ALL CONFLICTING TRAFFIC CONTROL DEVICES SHALL BE COVERED OR REMOVED. AT THE END OF EACH WORK SHIFT, ALL TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE REMOVED AND THE ROADWAY RESTORED TO ORIGINAL CONDITION.

9. IF (WITH PRIOR CITY APPROVAL) TRAFFIC CONTROL IS TO REMAIN IN PLACE OVERNIGHT, GLUE DOWN DELINEATORS WITH REFLECTIVE TAPE (WHITE FOR RIGHT EDGELINE DELINEATION AND YELLOW FOR LEFT OR CENTERLINE DELINEATION) ARE REQUIRED. ALL TRAFFIC CONTROL DEVICES IN PLACE OVERNIGHT SHALL BE RETRO-REFLECTIVE AND IN GOOD OPERATING CONDITION. NIGHT TIME FLAGGING STATIONS SHALL BE ILLUMINATED.

10. STOP SIGNS ON BARRICADES SHALL BE EQUIPPED WITH NIGHTTIME OPERATIONAL RED FLASHERS. STOP AHEAD SIGNS ON BARRICADES SHALL BE EQUIPPED WITH NIGHTTIME OPERATIONAL YELLOW FLASHERS.

11. CONTRACTOR SHALL POST WARNING SIGNS FOR PAVEMENT SURFACE DISRUPTIONS OF 1/2" OR GREATER. PAVEMENT DISRUPTIONS OF 1" OR GREATER SHALL HAVE A BEVELED EDGE OF FOUR (4) UNITS HORIZONTAL TO ONE UNIT VERTICAL.

12. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN DISABILITY ACT ACCESSIBILITY GUIDELINES AND WITH THE CALIFORNIA ACCESSIBILITY GUIDELINES AS RELATED TO PEDESTRIAN ACCESS AND SHALL MAINTAIN PEDESTRIAN ACCESS AT ALL TIMES PER ADA REQUIREMENTS.

13. A DEDICATED INDIVIDUAL SHALL BE ASSIGNED THE RESPONSIBILITY OF ESCORTING PEDESTRIANS AROUND THE WORK AREA. PEDESTRIANS SHALL NOT BE LED INTO DIRECT CONFLICT WITH WORK SITE VEHICLES, EQUIPMENT, OPERATIONS OR TRAFFIC WITHIN THE VICINITY OF THE WORK ZONE.

14. ALL OPEN EXCAVATIONS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE BACK-FILLED PER CITY STD. 1008 OR STEEL PLATED PER CITY STD. 1009 DURING NON-WORKING HOURS. "STEEL PLATES AHEAD" WARNING SIGNS SHALL BE POSTED IN ADVANCE OF STEEL PLATE BRIDGING. PERMANENT TRENCH REPAIR SHALL BE PER CITY STD. 1008.

15. ALL TRAFFIC LANES SHALL BE A MINIMUM OF 11' IN WIDTH AND HAVE A MINIMUM OF 2 FEET OF CLEARANCE FROM VERTICAL OBSTRUCTIONS SUCH AS CURBS OR GUARDRAIL.

16. TRAFFIC LANES SHALL HAVE A 5' MINIMUM CLEARANCE FROM ANY EXCAVATION OR DROP OFF GREATER THAN 2" AND A 10' MINIMUM CLEARANCE FROM ANY FIXED OBJECT UNPROTECTED BY BARRIERS. IF THESE CLEARANCES CANNOT BE MAINTAINED, TEMPORARY BARRIERS SHALL BE PLACED IN FRONT OF DROP OFFS AND FIXED OBJECTS. ALL OPEN ENDED K-RAIL SHALL REQUIRE CRASH CUSHIONS.

17. WHEN NECESSARY TO RESTRICT PARKING, CONTRACTOR SHALL POST SIGNS A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK. SIGNS SHALL INCLUDE NAME OF COMPANY AND CONTACT INFORMATION.

18. CONTRACTOR SHALL COORDINATE WITH CITY FOR ANY TRAFFIC SIGNAL OPERATION MODIFICATIONS. CONTRACTOR SHALL COORDINATE WITH THE SCHOOL WHEN WORKING IN THE VICINITY OF A SCHOOL ZONE.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL WORK ZONE TRAFFIC CONTROL DEVICES 24-HOURS PER DAY AND 7 DAYS A WEEK AND SHALL DESIGNATE A SINGLE POINT OF CONTACT RESPONSIBLE FOR THIS EFFORT.

LEGEND:

= WORK AREA

= TRAFFIC CONE

= HIGH LEVEL WARNING DEVICE

= PORTABLE SIGN

= EXISTING SIGN

= TYPE III BARRICADES

= TYPE III BARRICADES W/SIGN

= FLASHING ARROW BOARD

= FLAGGER

= DIRECTION OF TRAFFIC FLOW

P.T.T.A.N.S.A.T.S. = POST TEMPORARY TOW AWAY NO STOPPING ANY TIME SIGNS

= EXISTING DRIVEWAY

= TYPE II BARRICADE

= EXISTING RED CURB

= DOUBLE YELLOW LANE LINES

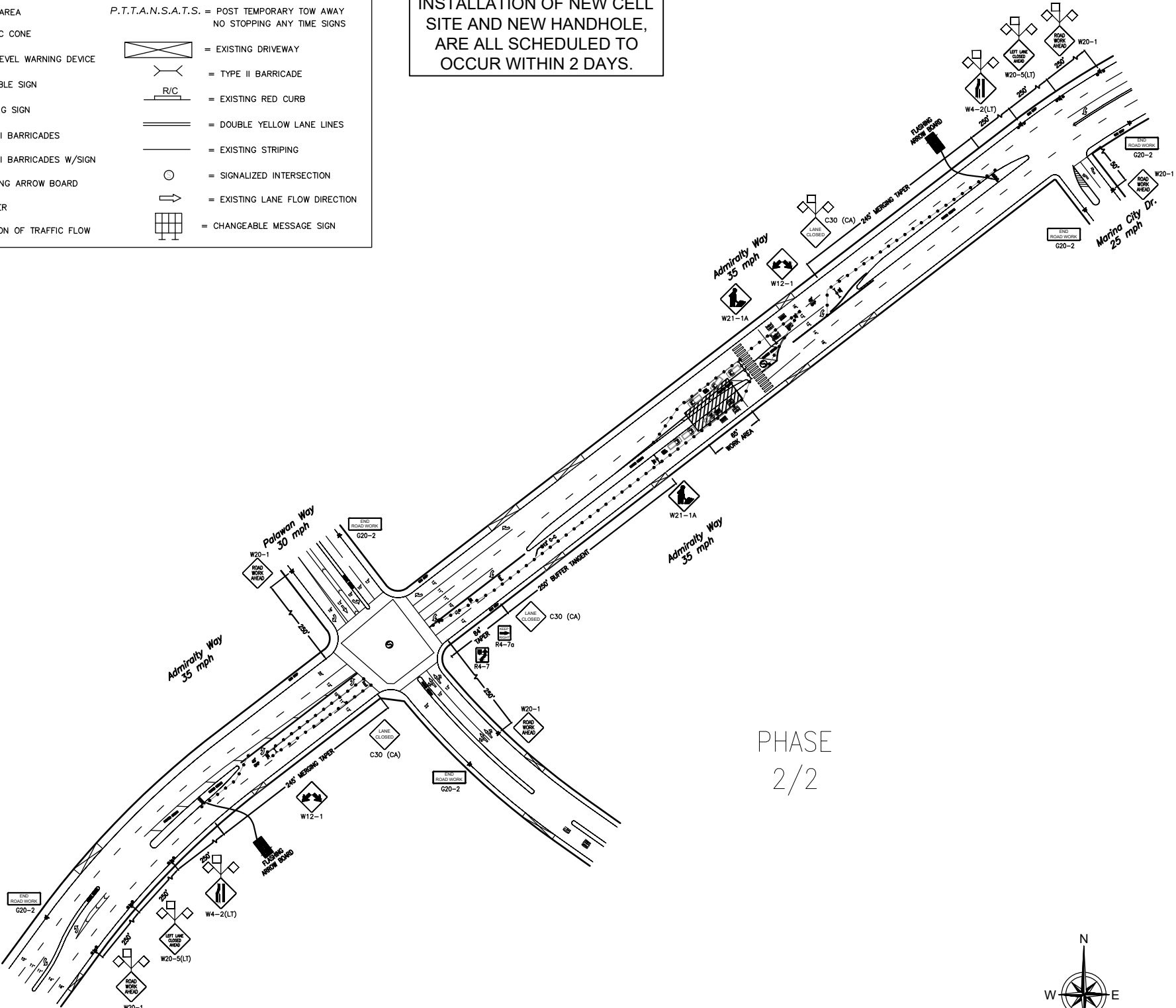
= EXISTING STRIPING

= SIGNALIZED INTERSECTION

= EXISTING LANE FLOW DIRECTION

= CHANGEABLE MESSAGE SIGN

DURATION OF WORK:
INSTALLATION OF NEW POLE,
INSTALLATION OF NEW CELL
SITE AND NEW HANDHOLE,
ARE ALL SCHEDULED TO
OCCUR WITHIN 2 DAYS.



PHASE
2/2



11"x17" SCALE: 1" = 150'-0"

24"x36" SCALE: 1" = 75'-0"



1



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Deputy Director

Carol Baker
Deputy Director

March 15, 2023

TO: Design Control Board

FROM: Gary Jones, Director

SUBJECT: ITEM 5C – PARCEL 44 – PACIFIC MARINA VENTURE, LLC / 12TWELVE NAIL BAR – DCB # 23-002 – CONSIDERATION OF NEW SIGNAGE

Item 5C on your agenda is a submittal from 12Twelve Nail Bar (Applicant) seeking approval for new signage at the Parcel 44 shopping center. The project is located at 4635 Admiralty Way.

PROJECT OVERVIEW

Background

On July 11, 2013, your Board approved the conceptual design of the shopping center redevelopment project with several conditions, one of which was to return to your Board post-entitlement for review of signage. On May 18, 2016, your Board approved the final design for this project, including architectural design, materials, landscaping, and lighting. Signage was not part of this final design approval. On July 18, 2018, your Board approved a master sign program for this shopping center with several conditions, including a requirement to return to your Board for review of all tenant signs.

Existing Conditions

Parcel 44 consists of approximately 8.39 landside acres and 4.68 waterside acres. The landside portion has frontages on Admiralty Way, Mindanao Way, and Bali Way. Currently, Parcel 44 is developed as the “Boardwalk Marina del Rey” shopping center, which consists of eight new buildings (referred to as Buildings I through VIII) with a total area of 82,652 square feet. The site includes Marine Commercial, Boat Storage and Visitor-Serving/Convenience Commercial uses, in addition to two outdoor plazas with tiered stadium seating, waterfront views, and outdoor dining. 12Twelve Nail Bar would be located within Building V.

Proposed Project

The proposed project consists of installing two new tenant identification signs.



SIGNAGE

Building Façade

The Applicant proposes to install two identical reverse halo-lit wall-mounted tenant identification signs on the building façade. One sign would be installed above the storefront facing Admiralty Way and a second sign would be installed at the rear of the tenant space facing Basin G. Each sign would read "12Twelve Nail Bar" in black channel letters. Each sign would measure 9' wide by approximately 2'-2¼" tall and would be installed approximately 17'-3" above grade.

Illumination

All signage would be illuminated from 5 p.m. until 11 p.m. or one hour after the last tenant closes, per the DCB approved sign program for the shopping center.

STAFF REVIEW

Staff finds that the improvements do not alter the overall architectural style of the shopping center and are generally consistent with the Marina del Rey Design Guidelines. Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.

Staff recommends APPROVAL of DCB #23-002, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**

GJ:WO:pn

EXTERIOR BUILDING SIGN PACKAGE

CREATED FOR:

12TWELVE
NAIL BAR

LANDLORD:
PACIFIC MARINA VENTURE, LLC
13737 FIJI WAY
C-10
MARINA DEL REY, CA 90292
(310) 858-6797

CLIENT / JOB SITE:
12TWELVE NAIL BAR
4635 ADMIRALTY WAY
MARINA DEL REY, CA 90292

PROJECT 221117

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ELECTRICAL / BEHIND THE WALL DETAILS	5
VICINITY MAP	6
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The 2019 California Building Code, 2019 California Electrical Code, 2019 California Green Building Standards Code, and 2019 California Energy Code were used as the basis of this review.

**Note: The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The workers and the construction shall not be within ten feet of any power lines--whether or not the lines are located on the property.*

SCOPE OF WORK

MANUFACTURE AND INSTALL (1) SET OF REVERSE (HALO) LIT CHANNEL LETTERS TO BUILDING WALL ON SPACERS.



1 PROPOSED DAY MOCK UP
SCALE: NTS

*NOTE: ALL MOCK-UP SIZES, PROPORTIONS AND COLORS ARE APPROXIMATE.
ABOVE MAY NOT REFLECT FINAL LOOK.



2 PROPOSED NIGHT MOCK UP
SCALE: NTS



3 EXISTING CONDITIONS
SCALE: NTS

<div><div>SUNSET SIGNS</div><div>A SIGN OF EXCELLENCE SINCE 1992</div><div>LIC. #908474 C45</div></div>	CUSTOMER: 12TWELVE NAIL BAR	PROJ. MGR.: DIEGO BERNAL 714.399.3366	REVISION #: 01	<div>Designer: <i>Kim Heffernan</i></div> <div>Date: 02/16/2023</div> <div>CA Lic # 908474 C45 UL Certified</div>	INSTALL 1 of 7
	PROJECT: HALO LIT BUILDING SIGN	DESIGNER: KIM HEFFERNAN 714.399.3392	REVISION DATE: 2.16.2023		
	ADDRESS: 4635 ADMIRALTY WAY MARINA DEL REY, CA 90292	REV. NOTES: Info added per city request.			
		FILE PATH: 2022/12Twelve/221117_Halo Lit Building Sign/			

SCOPE OF WORK

MANUFACTURE AND INSTALL (1) SET OF REVERSE (HALO) LIT CHANNEL LETTERS TO BUILDING WALL ON SPACERS.



1 PROPOSED DAY MOCK UP
SCALE: NTS

*NOTE: ALL MOCK-UP SIZES, PROPORTIONS AND COLORS ARE APPROXIMATE.
ABOVE MAY NOT REFLECT FINAL LOOK.



2 PROPOSED NIGHT MOCK UP
SCALE: NTS



3 EXISTING CONDITIONS
SCALE: NTS



REVERSE (HALO) LIT CHANNEL LETTERS

EXTERIOR

SQ. FT. = 13.7

QTY. x2

PROJECT

221117



1 FRONT VIEW / MEASUREMENTS
SCALE: NTS

CUSTOMER: 12TWELVE NAIL BAR	PROJ. MGR.: DIEGO BERNAL ☎ 714.399.3366	REVISION #: 01
PROJECT: HALO LIT BUILDING SIGN	DESIGNER: KIM HEFFERNAN ☎ 714.399.3392	REVISION DATE: 2.16.2023
ADDRESS: 4635 ADMIRALTY WAY MARINA DEL REY, CA 90292	REV. NOTES: Info added per city request.	
	FILE PATH: 2022/12Twelve/221117_Halo Lit Building Sign/	

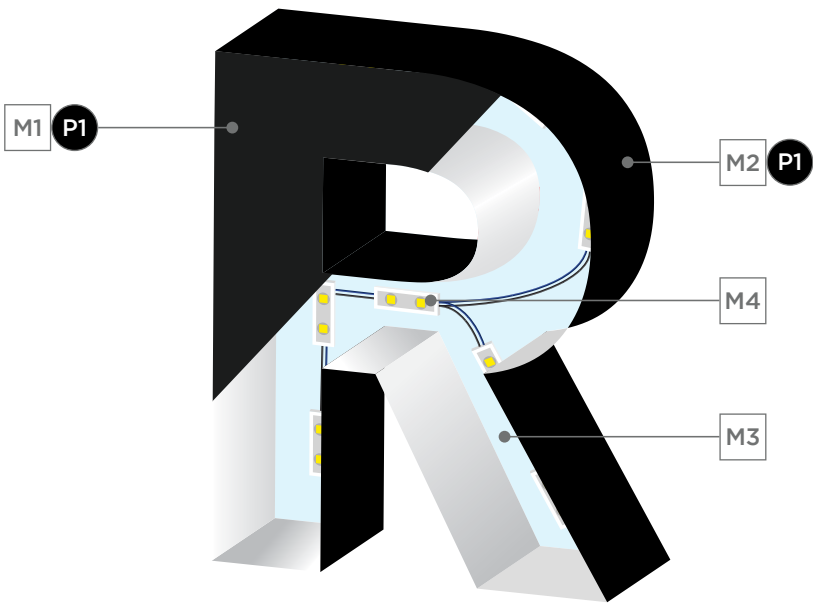
Designer: 
Date: 02/16/2023
CA Lic # 908474 C45 UL Certified



REVERSE (HALO) LIT CHANNEL LETTERS

EXTERIOR

PROJECT 221117



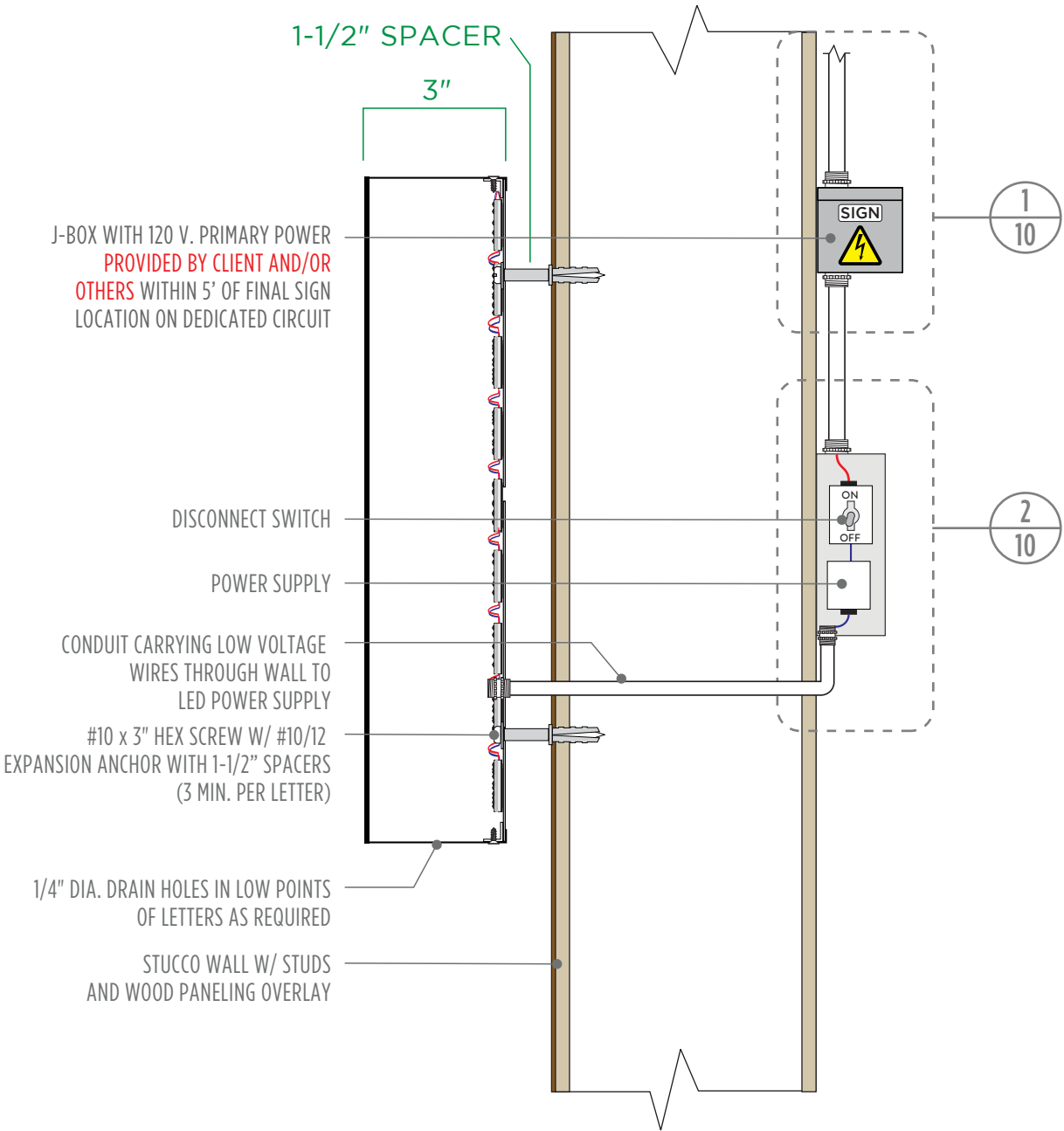
1 FABRICATION DETAIL
SCALE: NTS

MATERIALS

COLORS

- M1 .090" THK. ALUMINUM FACES
- M2 .063" THK. ALUMINUM RETURNS
- M3 .177" THK. CLEAR LEXAN BACKS
- M4 WHITE LEDS 6500K

P1 MATTHEWS PAINT
BLACK MP-LVS923



2 SIDE VIEW INSTALLATION DETAIL
SCALE: NTS

SUNSET SIGNS 
A SIGN OF EXCELLENCE SINCE 1992 LIC. #908474 C45

CUSTOMER: 12TWELVE NAIL BAR
PROJECT: HALO LIT BUILDING SIGN
ADDRESS: 4635 ADMIRALTY WAY
MARINA DEL REY, CA 90292

PROJ. MGR.: DIEGO BERNAL ☎ 714.399.3366
DESIGNER: KIM HEFFERNAN ☎ 714.399.3392
REVISION #: 01
REVISION DATE: 2.16.2023
REV. NOTES: Info added per city request.
FILE PATH: 2022/12Twelve/221117_Halo Lit Building Sign/

Designer: 
Date: 02/16/2023
CA Lic # 908474 C45 UL Certified

INSTALL
4 of 7



DEDICATED 20 AMP CIRCUIT BREAKER

A designated 20 amp/120 volt primary power electrical circuit must be installed within 5 feet of the proposed sign. The primary power line must originate at your electrical panel and connect to a metal junction box. The junction box must be labeled “Sign”. The breaker number must be labeled “Sign” and the breaker number should be noted on the j-box.



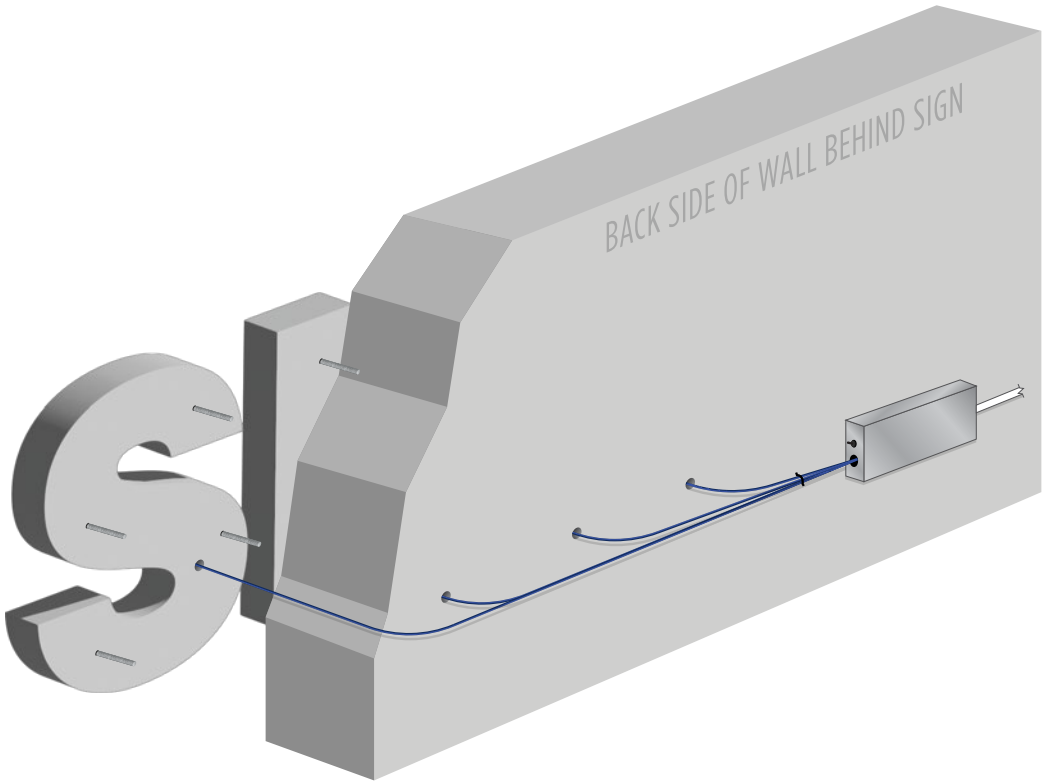
ASTRONOMICAL TIMER

A 7-Day Astronomical timer must be installed near the existing electrical panel that is clearly labeled “Sign”.



OPTIONAL PROGRAMMABLE TIMER WITH PHOTO CONTROL SWITCH

a photocell must be installed remotely (on roof, or installed near the sign) if the timer is not an astronomical timer. a photocell must be performed by a licensed c-10 electrician as required by the nec (national electrical code), local city and state regulations. sunset signs may be able to provide the above services for additional costs based on field conditions. a photo control switch is not within sunset signs scope of work.



Wires will be exposed and terminate into an electrical box. Wires are cinched together where they run parallel, but all connections covered by wire nuts and zip ties used for binding are left exposed and visible.

1 ELECTRICAL SIGN REQUIREMENTS TO BE PROVIDED BY CLIENT AND/OR OTHERS

2 BEHIND WALL INSTALLATION DETAIL

<div><div>SUNSET SIGNS</div><div>A SIGN OF EXCELLENCE SINCE 1992</div><div>LIC. #908474 C45</div></div>	CUSTOMER: 12TWELVE NAIL BAR	PROJ. MGR.: DIEGO BERNAL 714.399.3366	REVISION #: 01	<div>Designer: <i>Kim Heffernan</i></div> <div>Date: 02/16/2023</div> <div>CA Lic # 908474 C45 UL Certified</div>	INSTALL 5 of 7
	PROJECT: HALO LIT BUILDING SIGN	DESIGNER: KIM HEFFERNAN 714.399.3392	REVISION DATE: 2.16.2023		
	ADDRESS: 4635 ADMIRALTY WAY MARINA DEL REY, CA 90292	REV. NOTES: Info added per city request.			
		FILE PATH: 2022/12Twelve/221117_Halo Lit Building Sign/			



VICINITY MAP
SCALE: NTS

SUNSET SIGNS 
A SIGN OF EXCELLENCE SINCE 1992 LIC. #908474 C45

CUSTOMER: 12TWELVE NAIL BAR
PROJECT: HALO LIT BUILDING SIGN
ADDRESS: 4635 ADMIRALTY WAY
MARINA DEL REY, CA 90292

PROJ. MGR.: DIEGO BERNAL ☎ 714.399.3366

DESIGNER: KIM HEFFERNAN ☎ 714.399.3392

REV. NOTES: Info added per city request.

FILE PATH: 2022/12Twelve/221117_Halo Lit Building Sign/

REVISION #: 01

REVISION DATE: 2.16.2023

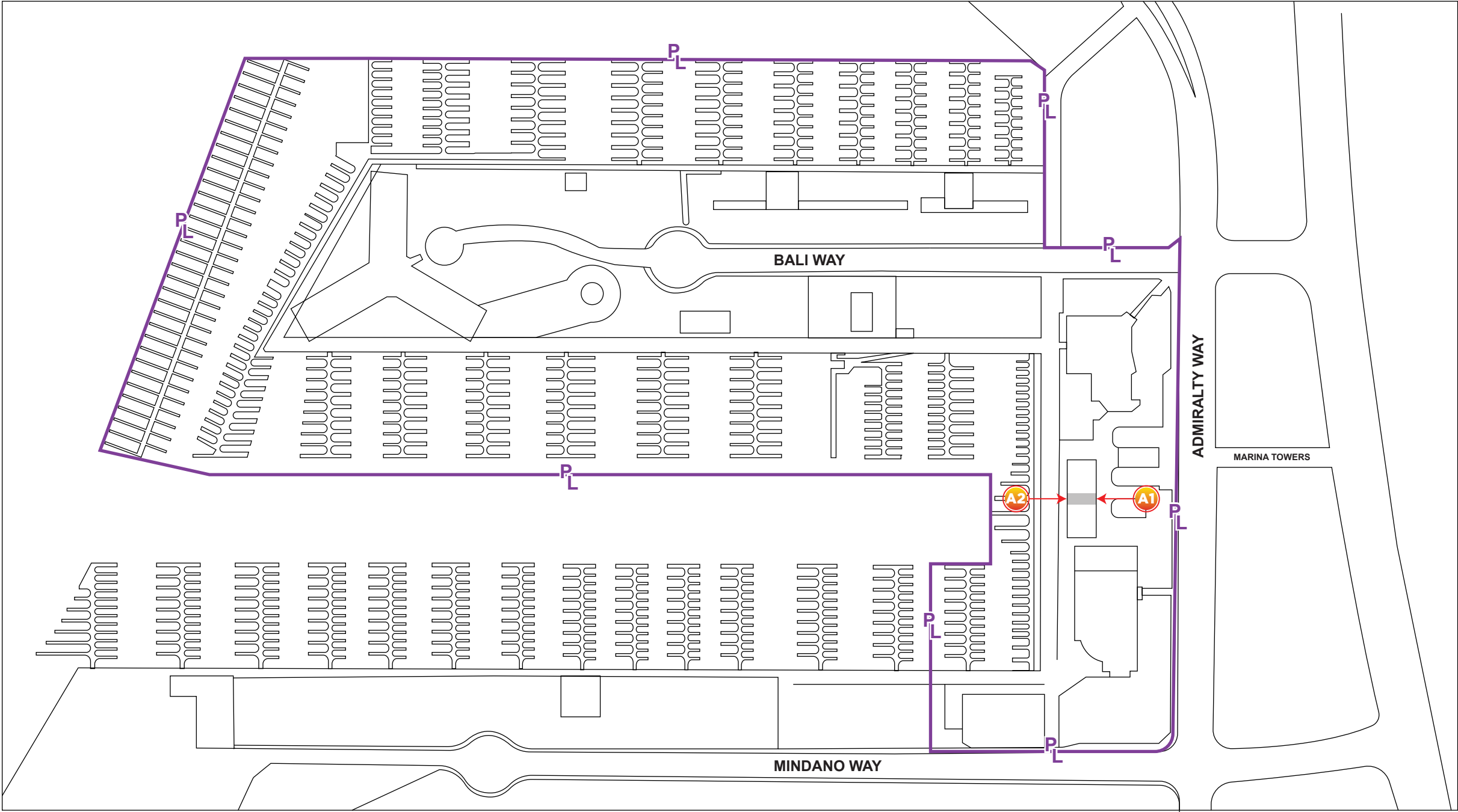
Designer:

Date:
02/16/2023

Kim Heffernan

CA Lic # 908474 C45 UL Certified

INSTALL
6 of 7



SITE PLAN
SCALE: NTS



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Chief Deputy Director

Carol Baker
Deputy Director

March 15, 2023

TO: Design Control Board

FROM: Gary Jones, Director

SUBJECT: **ITEM 6A - ONGOING ACTIVITIES REPORT**

BOARD ACTIONS ON ITEMS RELATING TO MARINA DEL REY

On December 6, 2022, the Board of Supervisors (BOS) adopted a resolution to set aside portions of County-owned property for public road and highway purposes for Admiralty Way, Bali Way, and Mindanao Way in the unincorporated community of Marina del Rey and to accept the set-aside areas into the County Road System. In addition, the BOS authorized the Director of Public Works to record the certified original resolution with the office of the Registrar-Recorder/County Clerk.

No items related to Marina del Rey were on the January 2023 Board of Supervisors agenda. On February 28, 2023, the Board of Supervisors approved the motion to direct the Director of the Department of Public Works (DPW), in collaboration with the Interim County Counsel, to prepare proposed updates to the Los Angeles County (County) Building Code to require that all high-rise non-ductile concrete buildings, in the unincorporated areas of the County or owned by the County, be retrofitted within 10 years from the date the updated ordinance goes into effect. In addition, DPW shall report back to the Board in writing with updated language for adoption within 6 months. Furthermore, the ordinance shall include requirements that building owners submit structural evaluation reports within 3 years, including plans to retrofit or demolish buildings within 5 years, and complete retrofit construction within 10 years.

REGIONAL PLANNING COMMISSION'S CALENDAR

No items related to Marina del Rey were on the January and February 2023 Regional Planning Commission's agenda.

CALIFORNIA COASTAL COMMISSION CALENDAR

No items related to Marina del Rey were on the January and February 2023 California Coastal Commission agenda.

FUTURE MAJOR DESIGN CONTROL BOARD ITEMS

There are no future major Design Control Board items at this time.



SMALL CRAFT HARBOR COMMISSION MINUTES

The August, October, and December 2022 Small Craft Harbor Commission meeting minutes are attached. The January 2023 Small Craft Harbor Commission Meeting was cancelled and the February 2023 Small Craft Harbor Commission meeting minutes are pending.

REDEVELOPMENT PROJECT STATUS REPORT

The updated "Marina del Rey Redevelopment Projects Report" is attached.

GJ:WO:lr
Attachments (4)

**SMALL CRAFT HARBOR COMMISSION MINUTES
VIRTUAL MEETING
August 10, 2022**

Commissioners: Richard Montgomery, Chair; Nathaniel Salazar, Bernard Kozacik III, Allyn Rifkin, Gregory Gorman

Department of Beaches and Harbors (DBH): Gary Jones, Director; Amy Caves, Deputy Director; Steve Penn, Chief of Asset Management Division; Susana Graether, Chief Property Manager; Ivy Bordenave-Priestley, Senior Real Property Agent; Amir Tadros, Senior Real Property Agent

County: Parjack Ghaderi, Principal Deputy County Counsel

Item 1 - Call to Order and Pledge of Allegiance

Chair Montgomery called the virtual meeting to order at 10:00 am, followed by the Pledge of Allegiance. Susana Graether read the virtual meeting procedures.

Item 2 – Approval of Minutes

Motion to approve June 29, 2022, Special Meeting Minutes by Mr. Salazar, seconded by Mr. Kozacik III.

**Ayes: 5, Chair Montgomery, Mr. Rifkin, Mr. Kozacik, Mr. Gorman,
Mr. Salazar**

Abstain: 0

Item 3 – Communication from the Public

None

Item 4 – Communication with the Commissioners

Mr. Salazar requested that the motion Mr. Rifkin submitted at the June 29, 2022, Special Meeting be reflected in writing.

Chair Montgomery asked Mr. Salazar to delay his request until Item 8.

Item 5a – Marina Sheriff

Sergeant Carlson presented the report.

Mr. Rifkin inquired about the Liveaboard report and outreach activities on homelessness in the Marina.

Sergeant Carlson explained the liveaboard process and noted that Ms. Jamieka Brown oversees the liveaboards in Marina del Rey. He further explained that they would be working with Captain Keith Harrison to address any homeless outreach priorities; however, it's usually handled by the community-oriented policing bureau. They are specifically trained to speak to the homeless and provide them with different services available, including mental health.

Alicia Koonz thanked Ms. Brown for all her efforts.

Item 5b – MdR and Beach Special Events

Catrina Love discussed the Marina Movie Nights outdoor movie series at Burton Chace Park, the Marina Drum Circle, and the Waterbus, which is available until Labor Day (\$1 per person per way). The Beach Shuttle is back, only running on Saturday and Sunday. Beach Eats, our weekly food truck event is on Thursdays until the end of October.

Item 5c – Marina Boating Section Report

Michael Blenk reported that Anchorage 47 has zero 42-feet, zero 40-feet slips, five 38-feet, four 34-feet, three 28-feet, three 27-feet, ten 24-feet, and nine 22-feet vacant slips available. Parcel 77 powerboat storage is full, and Mast-Up storage has 35 spaces available.

Item 5d – Marina del Rey Maintenance Report

Jose Bedolla reported no significant updates to the projects reported at last month's meeting due to the public's high volume of Marina usage during the summer months. He stated that the asphalt repairs were completed in Lot 2 (Boat Launch location).

Item 6a – Ballona Creek Trash Interceptor Project Follow-Up Presentation

Tiffany Chang presented the report.

Steve Penn reminded the Commission about its request to place this item on the next meeting agenda to discuss their support for this project and have the Commission entertain a motion to ask businesses in Marina del Rey to minimize plastic use in the Marina.

Mr. Rifkin spoke in favor of this project.

Chair Montgomery inquired about plans for a kick-off event.

Tiffany Chang replied that there are plans for a ribbon-cutting ceremony; however, the date is unknown, and the details are still being worked out, but it will be publicized and shared with the public.

Mr. Kozacik noted that the project would be during off-season hours, and the haul route seems straightforward.

Tiffany Chang explained that there had been ongoing communication with DBH staff, and most of the trash that does flow is during storm season in the area, but they're doing all they can to minimize the impact. She further explained that if it does extend, it may run from 9 am to 3 pm, but to remember that it's a pilot. She noted they're happy to stay in contact and stated that the operators will remain on sight and can work with DBH staff during the pilot period.

Mr. Gorman pointed out that there are two motions that should be separated. He explained that one motion is to write a letter of support and the other for a report on the haul route to assure

there would be no environmental impacts. He expressed concern for the haul route report as it is a different type of analysis.

Mr. Rifkin agreed with Mr. Gorman's comment that the haul route is a separate issue. He noted the importance that there was no public input on this item. He suggested reporting back instead of producing an actual report.

Steve Penn noted that Mr. Gorman and Mr. Rifkin raised valid points and that the Ballona Creek Trash Interceptor is a great project. However, DBH is aware that there are still challenges and concerns. For that reason, the permit issued to the Department of Public Works includes DBH incorporated terms to ensure they adopt the best management practices in all operations, including the haul route, ensuring no environmental concerns and ongoing monitoring programs throughout the project.

Chair Montgomery explained that the two issues would be bifurcated into two separate motions.

Motion to write a letter of support by staff to Board of Supervisors by Mr. Rifkin, seconded by Mr. Kozacik

Mr. Rifkin withdrew his motion for a haul route report due to Mr. Penn's report that there's sufficient consideration in the project's permit to mitigate possible impacts.

Ayes: 5 - Chair Montgomery, Mr. Gorman, Mr. Kozacik, Mr. Rifkin, and Mr. Salazar

Nay: 0

Item 7a – Aligning Marina del Rey with Los Angeles County Priorities for Equity and Inclusion Presentation

Amy Caves presented the report.

Mr. Salazar suggested including a mural as part of this initiative.

Ms. Caves requested that he send her specific information on murals and stated this item would return with updates.

Item 8 – Staff Reports

Steve Penn presented the staff report.

Captain Alex Balian spoke about the illegal charter operation enforcement and urged this program to continue.

Mr. Rifkin requested an acknowledgment letter to Mr. David Lumian on behalf of the Commission.

Chair Montgomery expressed his support for the acknowledgment letter to Mr. David Lumian.

Steve Penn also expressed his support and stated that staff would draft the letter, circulate and have the chair sign, and then send it out.

Mr. Salazar reminded staff about his request for a future presentation about the California Yacht Club's membership and the public promenade design.

Chair Montgomery also inquired as to the status of the presentation.

Steve Penn stated that it would be a part of the "Marina for All" project; however, there is no specific timeline for the public promenade redesign. Staff will follow up with the new management team to discuss their proposal, and we'll bring it back to the Commission for presentation when it's ready.

Adjournment

Chair Montgomery adjourned the meeting at 11:07 am.

SMALL CRAFT HARBOR COMMISSION MINUTES
VIRTUAL MEETING
October 12, 2022

Commissioners: Richard Montgomery, Chair; Nathaniel Salazar; Bernard Kozacik; Allyn Rifkin; Gregory Gorman

Department of Beaches and Harbors (DBH): Gary Jones, Director; Amy Caves, Chief Deputy Director; Steve Penn, Chief of Asset Management Division; Susana Graether, Chief Property Manager; Ivy Bordenave-Priestley, Senior Real Property Agent; Amir Tadros, Senior Real Property Agent

County: Parjack Ghaderi, Principal Deputy County Counsel

Item 1 - Call to Order and Pledge of Allegiance

Chair Montgomery called the virtual meeting to order at 10:00 am, followed by the Pledge of Allegiance. Susana Graether read the virtual meeting procedures.

Item 2 – Approval of Minutes

Motion to approve August 10, 2022, Meeting Minutes by Mr. Salazar, seconded by Mr. Kozacik.

Ayes: 5, Chair Montgomery, Mr. Rifkin, Mr. Kozacik, Mr. Gorman, and Mr. Salazar

Nay: 0

Item 3 – Communication from the Public

Pam Gore noted that COMCA is still waiting for the request for proposal (RFP) for Dock 55 and inquired about Dock 55's relation to the Ballona Creek trash interceptor project. She thanked Sergeant Carlson for all his efforts and suggested that the County assist in enforcing the County laws.

Chair Montgomery stated that Steve Penn would address the speaker's comments at the end of the meeting.

Item 4 – Communication with the Commissioners

Mr. Salazar noted his receipt of the video "The Power of Tourism" from the Marina del Rey Tourism Board and stated that it's a great way to invite people to the Marina.

Chair Montgomery also mentioned his receipt of the video.

Item 5a – Marina Sheriff

Sergeant Carlson presented the report and announced their first in person meeting with dock masters and the Lieutenant Commander of the United States Coast Guard task force for illegal charters.

Pam Gore expressed her gratitude and suggested that they pursue illegal boat charters through GetMyBoat.com and noted that Boatsetter.com is a good site working with them.

Sergeant Carlson requested that Ms. Gore send him an email with the information so they may perform security checks.

Item 5b – MdR and Beach Special Events

Lucie Kim reported on the summer events including summer concerts, Marina movie night and drum circle. She announced the upcoming winter events which include Marina Lights in Chace Park, Holiday Boat Parade, and Water Program Winter Sailing Classes.

Mr. Salazar inquired about the Dragon Boat Event date.

Lucie Kim replied that the Dragon Boat Event is on their 2023 calendar and will contact him when they begin to plan it.

Item 5c – Marina Boating Section Report

Michael Blenk reported that Anchorage 47 has one 42-feet, four 38-feet, five 34-feet, two 30-feet, three 28-feet, five 24-feet, and six 22-feet vacant slips available. Parcel 77 powerboat storage is full, and Mast-Up storage has 38 spaces available.

Item 5d – Marina del Rey Maintenance Report

Jose Bedolla reported that the Electrec Vehicle (EV) station was successfully installed at the DBH Administration building. He gave a status report for Dock 77 design construction, Aubrey Austin Junior Park improvement project, Boat Launch Ramp General Improvements, Chace Park improvements. Fiscal Building Improvements project, Marina del Rey Parking structure, Mother's Beach Boat Storage Improvements and Sea Wall Boyd Repair.

Item 6a – Marina del Rey Total Maximum Daily Load Requirements Update Presentation

Chantal Alatorre and Brenda Ponton presented the report.

Pam Gore noted that as a liveaboard at the very back of E Basin she is very grateful for the effort and focus on the water quality. She stated that the (TMDL) materials will be downloaded from their website to disseminate to COMCA members.

Mr. Rifkin noted that the local news reported the unsafe water quality of Mother's Beach and Santa Monica Beach. He inquired as to the primary cause of those reports and would it be resolved by the skimming program.

Chantal Alatorre replied that Mr. Rifkin may be referring to the annual Heal the Bay Beach Report Card which reports the bacteria exceedences in the water. She explained that the installation of the bird deterrent should hopefully improve the water quality at Mother's Beach.

Chair Montgomery inquired about the copper paint enforcement.

Brenda Ponton replied that the Regional Water Quality Control Board of Los Angeles is the enforcement in this case.

Chair Montgomery asked if they are complaint driven or are they proactive and checking every so often.

Brenda Ponton explained that they do regular water quality monitoring which gets reported to the Regional Board. She further explained that's how they know if the copper levels are improving, staying the same or worsening and then take action based on those results.

Sergeant Carlson asked if the Ballona Creek Trash Interceptor Project part of the TMDL efforts.

Chantal Alatorre replied that the project is led by the Department of Public Works; its intent is to capture trash coming down from Ballona Creek before trash reaches the ocean or before it enters into Marina del Rey harbor.

Item 7a – Parcel 113 (Mariners Village) Amendments to Lease and Option Agreement

Ivy Bordenave-Priestley presented the report.

Chair Montgomery inquired about the current minimum rent and clarification on the liability transfer of the Look-Outs.

Ivy Bordenave-Priestley replied that the current minimum rent is \$2.5 million and the liability will be transferred when the Amended and Restated Lease is executed, the form of which was approved concurrently with the execution of the option agreement.

Motion to endorse Lease Assignment and Extension by Mr. Rifkin, seconded by Mr. Salazar

Ayes: 5 - Chair Montgomery, Mr. Gorman, Mr. Kozacik, Mr. Rifkin, and Mr. Salazar

Nay: 0

Item 8 – Staff Reports

Steve Penn presented the staff report.

Adjournment

Chair Montgomery adjourned the meeting at 11:03 am.

SMALL CRAFT HARBOR COMMISSION MINUTES
VIRTUAL MEETING
December 14, 2022

Commissioners: Richard Montgomery, Chair; Nathaniel Salazar; Bernard Kozacik; Allyn Rifkin; Gregory Gorman

Department of Beaches and Harbors (DBH): Gary Jones, Director; Amy Caves, Chief Deputy Director; Steve Penn, Chief of Asset Management Division; Susana Graether, Chief Property Manager; Ivy Bordenave-Priestley, Senior Real Property Agent; Amir Tadros, Senior Real Property Agent

County: Parjack Ghaderi, Principal Deputy County Counsel

Item 1 - Call to Order and Pledge of Allegiance

Chair Montgomery called the virtual meeting to order at 10:00 am, followed by the Pledge of Allegiance. Susana Graether read the virtual meeting procedures.

Item 2 – Approval of Minutes

Motion to approve October 12, 2022, Meeting Minutes by Mr. Salazar, seconded by Mr. Rifkin.

Ayes: 5, Chair Montgomery, Mr. Rifkin, Mr. Kozacik, Mr. Gorman, and Mr. Salazar

Nay: 0

Item 3 – Communication from the Public

None

Item 4 – Communication with the Commissioners

Mr. Salazar disclosed communication with Pam Gore from COMCA.

Item 5a – Marina Sheriff

Absence of Sheriff's report.

Item 5b – MdR and Beach Special Events

Catrina Love reported on the Holiday Boat Parade, the monthly COVID-19 Vaccine Clinic at Burton Chace Park, Marina Lights in Chace Park, and announced the New Year's Eve Fire Works Show, Glow Party, and Water Program Winter Sailing Classes.

Mr. Salazar announced that the Dragon Boat Event is scheduled for March 4, 2023.

Item 5c – Marina Boating Section Report

Michael Blenk reported that Anchorage 47 has one 42-feet, four 38-feet, three 34-feet, two 30-feet, three 28-feet, five 24-feet, and six 22-feet vacant slips available. Parcel 77 powerboat storage is full, and Mast-Up storage has 38 spaces available.

Item 5d – Marina del Rey Maintenance Report

Seth Curtiss reported on the Electric Vehicle (EV) station project for the DBH administration building and Lot 5. He gave a status report for Dock 77 design construction, Aubrey Austin Junior Park improvement project, Boat Launch Ramp general improvements, Chace Park improvements, Fiscal Building improvements project, Marina del Rey parking structure, Mother's Beach boat storage improvements, and Seawall voids repair.

Chair Montgomery asked about the EV charger stations' hours of operation for the public and the date of completion for installation.

Mr. Curtiss replied that he does not have that information yet; however, the EV charger stations located at the administration building were completed in September, and will report back on the Lot 5 installation.

Steve Penn asked Planning Division staff if they would be able to answer Chair Montgomery's questions.

Bertha Ruiz-Hoffman replied that Lot 5 will be open to the public, however; the hours of operations have not been determined.

Item 6a – Old Business

None

Item 7a – Dock 55 Charter Operation Management Request for Proposal and Parcel 9 Transient Dock Management

Amir Tadros and Ivy Bordenave-Priestley presented the report.

Pam Gore stated that COMCA welcomes any qualified management for Dock 55. She noted their intentions to put in a bid for operations management. She questioned whether there is a conflict of interest when it is an open association. She explained that they are ready and able to manage that dock safely and efficiently.

Captain Alex Balian stated that charter operators servicing only hotel guests on Parcel 9 is wrong and controversial. He added that it should be open to all licensed charter operators in the Marina.

Mr. Gorman requested a response to Captain Alex Balian's comments and asked about the reasoning behind a one-year contract with a month-to-month holdover.

Ivy Bordenave-Priestley explained that the reasoning behind the one-year contract with a month-to-month holdover is that Hardage hospitality is fairly new in managing a dock such as this one. It is also a brand-new amenity to the Marina. She further explained that along with the unknown of how it's going to work out DBH wants to give both Hardage and the County an opportunity to do a trial run. If it succeeds, then we can negotiate a longer term contract; otherwise, it gives us an opportunity to seek another management company. She clarified that

the “hotel guest only “ is due to the parking requirements and the best way to allow charters and comply with said parking requirements.

Mr. Kozacik asked for clarification that the charter operators are able to use the dock, but the hotel guests are the only ones renting the charters. He expressed gratitude for the opening of the transient docks and stated that he would love to see additional transient docks throughout the Marina.

Mr. Rifkin inquired as to any considerations for water taxis at Parcel 9 and noted that this should be a priority for the greater Marina del Rey.

Ivy Bordenave-Priestley answered affirmatively and stated that Parcel 9 is a water taxi stop.

Chair Montgomery inquired about the time limits of the transient dock and enforcement responsibility.

Ivy Bordenave-Priestley answered that she didn't have that information specifically, however, she believed it was a four-hour time limit similar to the rules of Burton Chace Park, and the Harbor Master and the hotel management are responsible for enforcement.

Chair Montgomery cautioned about the conflicts of interest in managing these docks.

Item 8 – Staff Reports

Steve Penn presented the staff report.

Chair Montgomery acknowledged the staff's hard work and efforts.

Mr. Salazar requested an update along with photos or videos of the Ballona Creek Trash Interceptor Project. He noted his interest in murals and artwork throughout the Marina.

Steve Penn noted that the trash interceptors have been working well; however, they are in the pilot stage and collecting a lot of data. Staff will reach out to the Department of Public Works project manager to schedule a presentation.

Mr. Gorman stated that it's been a pleasure these last few months and wished everyone happy holidays.

Mr. Kozacik and Chair Montgomery wished everyone happy holidays.

Adjournment

Chair Montgomery adjourned the meeting at 10:46 am.

**Marina del Rey Redevelopment Projects Report
As of March 09, 2023**

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
113 -- Mariner's Village	Mark Wagner	* Renovation of 981 apartments * Improvements to promenade	Massing – Existing buildings to remain. Parking – Existing parking to remain.	<p>Proprietary – Item opened on 9/23/2013. On October 30, 2018, the Los Angeles County Board of Supervisors approved an option for an amended at restated lease. The revised project will include 20% affordable units. A proposed extension of the lease and option terms till 10/29/2023 is expected to be heard by the Board on 10/18/2022.</p> <p>Regulatory – The Regional Planning Commission approved an after-the-fact Coastal Development Permit (CDP) for the previous removal of waterbird nests. The appeal of that CDP was approved by the Coastal Commission in September 8, 2021. Lessee is tentatively scheduled to present at the Marina del Rey Design Control Board meeting scheduled for January 19, 2022. Lessee's presentation at Jan 19, 2022's DCB meeting was continued to allow more time to review the proposal. Staff scheduled ex-parte meetings with Meg Coffee and Chair Cho. Lessee's design plans were approved at the March 2022 DCB meeting.</p>



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Chief Deputy Director

Carol Baker
Deputy Director

March 15, 2023

TO: Design Control Board
FROM: Gary Jones, Director 
SUBJECT: **ITEM 6B – MARINA DEL REY SPECIAL EVENTS**

RIDE CIRCUIT

Daily
12:30 p.m. – 9:00 p.m.

Catch affordable, on-demand rides around Marina del Rey and Venice aboard Circuit's five-passenger electric micro-shuttles. Circuit's local route includes stops at restaurants, shops, and attractions such as Fisherman's Village, Burton Chace Park, Waterside Shopping Center, and Mother's Beach, as well as Venice Beach, Venice Pier, and Abbot Kinney Blvd.

To request an on-demand ride, download the "Ride Circuit" app (Apple or Android) and allow 10–15 minutes for pick-up. Kids must be at least 8 years old or 4'9", as child-safety seats are not provided. Pets are allowed at the discretion of the driver and other passengers.

For more information: Call (424) 526-7900 or visit www.ridecircuit.com/venice-marina-del-rey

BURTON CHACE PARK YOGA CLASS

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Sundays
9:30 a.m. – 10:30 a.m.



Join the Department of Beaches and Harbors (Department) and instructor Anastasia for a yoga session at the water's edge to connect with nature and community. Classes are offered to all, regardless of age or ability for \$10 per class. Children should be able to follow along or sit quietly with a parent or guardian. Students must bring their own mats and water bottles. Please pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

BURTON CHACE PARK ZUMBA CLASS

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Tuesdays & Thursdays
3:30 p.m. – 4:30 p.m.

Ditch your boring workout and join the Department's FREE outdoor Zumba class at Burton Chace Park to get cardio-fit while moving to the rhythms of Latin-inspired dance and music! Each class is limited to 15 people. Pre-registration is required for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

DRAWING & PAINTING CLASS

In-Person and Virtual
Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Wednesdays
5:00 p.m. – 6:30 p.m.

The Department offers a FREE drawing and watercolor art class for beginners (ages 14 years and older). In-person classes are limited to 15 people. Supplies are provided. Pre-registration is required for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

BURTON CHACE PARK WALKING CLUB

Burton Chace Park ♦ Lobby ♦ 13650 Mindanao Way ♦ Marina del Rey
Thursdays
10:30 a.m. – 11:30 a.m.

Looking for a new way to exercise? Join the Department's weekly walking group to increase your heart rate and daily step count while taking in beautiful views of the Marina del Rey harbor. Registration is required by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

MARINA DEL REY FARMERS' MARKET

Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey
Saturdays
9:00 a.m. – 2:00 p.m.

Each Saturday, the Department and Southland Farmers' Market Association present the Marina del Rey Farmers' Market, offering fresh, locally grown fruits and veggies (organic and conventional). Also, enjoy delicious prepared and prepackaged foods, and shop for artisanal crafts from local small vendors. Paid parking is available for 25 cents for every 10 minutes.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

FISHERMAN'S VILLAGE WEEKEND CONCERT SERIES

13755 Fiji Way ♦ Marina del Rey
Sponsored by Pacific Ocean Management, LLC
Sundays
1:00 p.m. – 4:00 p.m.

March 5
Blue Breeze (R&B)

March 12
Jimi Nelson & The Drifting Cowboys (Country/Rockabilly)

March 19
Rhythm (R&B/Funk)

March 26
Susie Hansen Latin Band (Salsa)

For more information: Call Pacific Ocean Management at (310) 306-0400

MARINA DEL REY DRAGON BOAT FESTIVAL

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Saturday, March 4, 2023
7:00 a.m. – 4:00 p.m.

Join the Department and the Los Angeles County Dragon Boat Club for the Marina del Rey Dragon Boat Festival at Burton Chace Park! This FREE event will include dragon

boat teams from local and out-of-state clubs with paddlers ranging from 12 to 80 years old competing to be the fastest boat on the water. Spectators are encouraged to cheer and watch the races from Burton Chace Park.

For more information: Visit losangelescountydragonboatfestival.com

AMERICAN RED CROSS BLOOD DRIVE

Burton Chace Park Community Room ♦ 13650 Mindanao Way ♦ Marina del Rey
Thursday, March 16, 2023
10:00 a.m. – 4:00 p.m.

Give blood and help save a life! Take part in this lifesaving blood drive hosted quarterly by the Department. A photo ID is required.

**GIVEAWAY: Donors in March will receive a \$10 Visa® Prepaid Card by email and be automatically entered in a drawing for a \$3,000 Visa Prepaid Card. Details at rcblood.org/help.*

To schedule your donation: Visit www.redcrossblood.org/ and enter sponsor code LACBH

For more information: Email Naomi Guzman at nguzman@bh.lacounty.gov or call (800) RED-CROSS

W.A.T.E.R. YOUTH PROGRAM | SPRING SAILING CAMP

Boathouse ♦ 13640 Mindanao Way ♦ Marina del Rey
Monday – Friday, April 3–7 and April 10–14
10:00 a.m. – 4:00 p.m.

Los Angeles County Lifeguards instruct the Department's sailing courses that teach students basic sailing knowledge, boat maintenance and rigging, knot tying, tacking, docking and ocean sailing instruction. Students learn to sail on 14-foot Capri sailboats (with main sail and jib) and Laser sailboats. In the final days of the session, students may get experience on a Catalina 275 Sport sailboat.

Financial aid is available for qualified families. Please call for details.

2023 SPRING SESSION:

Beginning/Intermediate:

- DATE: April 3–7 and April 10–14
- TIME: 10:00 a.m. – 4:00 p.m.
- AGES: 11– 17 years old

- CAPACITY: 6–10 students with 3 Lifeguard instructors
- LEVEL: Beginning and Intermediate
- FEE: \$375 per 5-day session

*NOTE: Applicants must successfully complete a 100-yard swim test in 2 minutes and 20 seconds to be eligible for Beginning Sailing.

For more information: Call (424) 526-7888 or visit marinadelrey.lacounty.gov

2023 MARINA CULTURE JAM

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Sundays – April 16, May 28, and June 25

Don't miss the return of Marina Culture Jam, sponsored by the Department in partnership with The Music Center's Arts Grown LA program. This FREE three-part arts series will feature a diverse range of live cultural performances in addition to arts & crafts activities. Performance dates are:

Sunday, April 16

11:30 AM Los Cambalache
1:30 PM Sakai Flamenco

Sunday, May 28

11:30 AM Korean Classical Music and Dance Company
1:30 PM Kayamanan Ng Lahi

Sunday, June 25

11:30 AM Brass Pacifica
1:30 PM Jazz It Up! With Dr. Bobby Rodriguez

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

SUNSET SERIES REGATTAS

Marina del Rey Harbor
Wednesdays, April 19 – September 6, 2023
6:00 p.m. – 8:00 p.m.

Enjoy an exciting series of sailing races while taking in stunning sunset views of the Marina del Rey harbor on Wednesday evenings between 6:00 p.m. (sailboats leaving the harbor) and 8:00 p.m. (race finishes at California Yacht Club). For spectators, Fisherman's Village and Burton Chace Park are prime viewing spots. Sailboats begin returning to the harbor's main channel around 7:30 p.m.

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For more information: Visit calyachtclub.com/regattas

GJ:CML:da



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Chief Deputy Director

Carol Baker
Deputy Director

March 15, 2023

TO: Design Control Board

FROM: Gary Jones, Director

SUBJECT: ITEM 6C – DESIGN CONTROL BOARD ANNUAL REPORTS

Each commission is required to provide an update to the Board of Supervisors about its activities through an annual report. Attached for your consideration are the Design Control Board Annual Reports for 2020, 2021, and 2022 which include the DCB's roles and responsibilities, historical background, annual work plan, accomplishments, and ongoing long-term projects.

GJ:WO:pn

Attachments (3)

