



Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

## MARINA DEL REY DESIGN CONTROL BOARD AGENDA

Wednesday, October 18, 2023, 1:30 p.m.

Burton W. Chace Park  
Community Building  
13650 Mindanao Way  
Marina del Rey, CA 90292

1. **Call to Order, Land Acknowledgement, and Pledge of Allegiance**
2. **Approval of the July 19, 2023 Meeting Minutes**
3. **Consent Agenda**  
*The Chair may entertain a motion by a Board member at the beginning of the meeting to approve certain non-controversial agenda items as consent agenda items unless held by a Board member or member(s) of the public for discussion or separate action.*
4. **Old Business**
  - A. Parcel 44 – Pacific Marina Venture, LLC / Tesla Motors, Inc. – DCB #22-011 – Consideration of Tesla supercharging station
5. **New Business**
  - A. Parcel BB – Loyola Marymount University Bove Boathouse – DCB #23-007 – Consideration of exterior improvements and new signage
  - B. Parcel 44 – Pacific Marina Venture, LLC / Alfred – DCB #23-008 – Consideration of new signage and awning
  - C. Parcel 28 – Wayfarer Apartments – DCB #23-009 – Consideration of exterior repainting
  - D. Parcel BR – Aubrey E. Austin Jr. Park Renovation – DCB #23-010 – Consideration of site improvements
  - E. Parcel HS & 91 – Marina “Mother’s” Beach Restroom/Non-Motorized Boat Storage Renovation – DCB #23-011 – Conceptual design consideration of proposed site improvements
  - F. Parcel 49M – Marina del Rey Parking Structure – DCB #23-012 – Conceptual design consideration of proposed construction
6. **Staff Reports**
  - A. Ongoing Activities Report
    - Board of Supervisors Actions on Items Relating to Marina del Rey
    - Regional Planning Commission’s Calendar
    - Coastal Commission’s Calendar

- Future Major DCB Agenda Items
- Small Craft Harbor Commission Minutes
- Redevelopment Project Status Report

B. Marina del Rey Special Events



7. **Public Comment**

*This is the opportunity for members of the public to address the Board on items that are not on the posted agenda, provided that the subject matter is within the jurisdiction of the Board. Speakers are reminded of the three-minute time limitation.*

8. **Adjournment**

**PLEASE NOTE**

1. ADA ACCOMODATIONS: If you require reasonable accommodations or auxiliary aids and services such as material in alternate format or a sign language interpreter, please contact the ADA (Americans with Disabilities Act) Coordinator at (424) 526-7752 (Voice) or (TTY/TDD) users, please call the California Relay Service at 711. The ADA coordinator may be reached by email at [rstassi@bh.lacounty.gov](mailto:rstassi@bh.lacounty.gov).

2. The Los Angeles County Board of Supervisors adopted Chapter 2.160 of the Los Angeles Code (Ord. 93-0031 ~ 2 (part), 1993), relating to lobbyists. Any person who seeks support or endorsement from the Design Control Board on any official action must certify that he/she is familiar with the requirements of this ordinance. A copy of the ordinance can be provided prior to the meeting and certification is to be made before or at the meeting.

All materials provided to the Design Control Board Members are available for public review, beginning the Friday prior to the meeting, at the **four Marina del Rey locations listed below**. The Department of Beaches and Harbors website also provides all reports and audio files from current and past meetings. Electronic copies of project submittals for Business Items referred to in this agenda will be available online for a two week period from the date of this agenda.

Please visit the Department of Beaches and Harbors Website Address at <http://marinadelrey.lacounty.gov>, or the [Design Control Board Archive](#) for more information.

Department of Beaches and Harbors  
Administration Building  
13837 Fiji Way  
Marina del Rey, CA 90292

MdR Visitors & Information Center  
4701 Admiralty Way  
Marina del Rey, CA 90292

Burton Chace Park Community Room  
13650 Mindanao Way  
Marina del Rey, CA 90292

Lloyd Taber-Marina del Rey Library  
4533 Admiralty Way  
Marina del Rey, CA 90292



## **DESIGN CONTROL BOARD MINUTES**

### **July 19, 2023**

**Members Present:** Meg Rushing Coffee, Chair (First District); Genelle Brooks-Petty, Vice Chair (Second District); Harold Suetsugu, Member (Fifth District)

**Members Absent:** Steven Cho, Member (Fourth District)

**Department Staff Present:** Amy Caves, Chief Deputy Director; Warren Ontiveros, Planning Division Chief; Maral Tashjian, Planning Specialist; Porsche Nauls, Departmental Facilities Planner II; Tamika Simmons, Planner; Lola Reyna, Secretary

**County Staff Present:** Sevanna Hartonians, County Counsel; Nathan Merrick, Department of Regional Planning

**Guests Testifying:** Brandon Hannah, Mission Landscape Architecture; Jimmy Fuller, Barnes and Noble; Chris Kitchen, South Coast Corinthian Yacht Club; Stas Tovpik, Crumbl Cookies

#### **1. Call to Order and Pledge of Allegiance**

Chair Coffee called the meeting to order at 1:33 pm.

Chair Coffee read the Land Acknowledgement and introduced the Pledge of Allegiance.

Chair Coffee acknowledged former Vice Chair Tony Wong for over 28 years of service representing the Fifth District and introduced new member Harold Suetsugu, appointed by Fifth District Supervisor Kathryn Barger.

#### **2. Approval of the March 15, 2023 Minutes**

**Vice Chair Brooks-Petty moved to approve the March 15, 2023 minutes, seconded by Board Member Suetsugu**

**Ayes: 3 – Chair Coffee, Vice Chair Brooks-Petty, Mr. Suetsugu**

**Nays: 0**

#### **3. Consent Agenda**

None

#### **4. Old Business**

A. Parcel 102 – Equity Residential / Marina 41 Apartments – DCB #22-012-B – Consideration of exterior improvements

Ms. Simmons presented the staff report.

#### **Board Comment**

Chair Coffee asked if there were any questions from the Board. Hearing no questions from the Board, Chair Coffee asked if there were any questions for the applicant.

Mr. Brandon Hannah introduced himself to the Board. Chair Coffee asked for clarification on proposed color for option #1 railing. Mr. Hannah stated it would be grey to match the existing tubular steel railing.

Public Comment

None

**Board member Suetsugu moved to approve DCB #22-012-B, seconded by Vice Chair Brooks-Petty**

**Ayes: 3 – Chair Coffee, Vice Chair Brooks-Petty, Mr. Suetsugu**

**Nays: 0**

**5. New Business**

**A. Election of New Officers**

**Vice Chair Brooks-Petty moved to elect the current officers Chair Coffee and Vice Chair Brooks-Petty, seconded by Board member Suetsugu**

**Ayes: 3 – Chair Coffee, Vice Chair Brooks-Petty, Mr. Suetsugu**

**Nays: 0**

**B. Parcel 44 – Pacific Marina Venture, LLC / Winston Pies – DCB #23-003 – Consideration of new signage**

Ms. Nauls presented the staff report.

Board Comment

Chair Coffee asked if there were any questions from the Board. Hearing none, Chair Coffee asked if there were any Applicants present.

Ms. Nauls stated that there were members of the Applicant's project team present. There were no questions from the Board for the applicant team.

Public Comment

None

**Board Member Suetsugu moved to approve DCB #23-003, seconded by Vice Chair Brooks-Petty**

**Ayes: 3 – Chair Coffee, Vice Chair Brooks-Petty, Mr. Suetsugu**

**Nays: 0**

**C. Parcel 50 – Caruso / Barnes & Noble – DCB #23-004 – Consideration of new signage**

Ms. Simmons presented the staff report.

Board Comment

Chair Coffee asked if there were any questions from the Board.

Board member Suetsugu asked if the signs would be backlit. Staff responded the signs would be internally lit.

Chair Coffee asked staff to confirm the maximum allowed size and proposed size for each sign. Staff responded with the corresponding information. Vice Chair Brooks-Petty asked if there were any other signs at that location of comparable size. Staff responded that the former Amazon Books tenant was approved for signage exceeding the maximum allowed size, and staff was not aware of any other retailers with comparable sized signs.

Ms. Tashjian asked the Applicant to come forward.

Mr. Jimmy Fuller introduced himself to the Board.

Vice Chair Brooks-Petty questioned the positioning of sign A in relation to the building columns. The Applicant responded that the sign was positioned directly over the tenant entrance, which is why it was not centered in relation to the building columns, and that the Applicant was open to moving the sign location.

Chair Coffee questioned the size and molding for signs B and C. The Applicant explained that the sizing was in relation to the building façade and the molding was part of the existing building design. The Applicant also clarified that the signs would be halo lit.

Public Comment

None

The Board deliberated on the sizing and positioning of the proposed signage, and whether larger than allowed signage was appropriate for the site. Staff confirmed that the Board had the discretion to approve variances to the sign standards.

**Vice Chair Brooks-Petty moved to approve DCB #23-004 with conditions and changes to the proposed design, including that sign A would be centered on the center column of the storefront, and that signs B and C would be 81.92 square feet. The motion was seconded by Chair Coffee.**

**Ayes: 3 – Chair Coffee, Vice Chair Brooks-Petty, Mr. Suetsugu  
Nays: 0**

D. Parcel 50 – Caruso / Crumbl Cookies – DCB #23-005 – Consideration of a new awning and signage

Ms. Simmons presented the staff report.

Board Comment

Chair Coffee asked if there were any questions from the Board.

Vice Chair Brooks-Petty asked if the proposed awning is the same size as the existing awning. Staff replied that they did not have the exact sizing but from all accounts the sizing was similar.

Chair Coffee asked for clarification on lettering color. Staff responded that lettering would be black.

Chair Coffee asked if the Applicant was present. Staff replied that the Applicant was present. Board had no questions for the Applicant.

Public Comment  
None

**Vice Chair Brooks-Petty moved to approve DCB #23-005, seconded by Board member Suetsugu**

**Ayes: 3 – Chair Coffee, Vice Chair Brooks-Petty, Mr. Suetsugu  
Nays: 0**

E. Parcel 44 - Pacific Marina Venture, LLC / South Coast Corinthian Yacht Club – DCB #23-006 – Consideration of new awning and signage

Board Comment  
Chair Coffee asked if there were any questions from the Board. Board member Suetsugu asked if the vinyl signage would be removed upon completion of the project. Staff deferred the question to the Applicant.

Chris Kitchen of South Coast Corinthian Yacht Club introduced himself. Applicant stated that yes, the vinyl sign would be removed at the completion of the project.

Chair Coffee asked why there was a change in font from the old design. Applicant stated that the business felt the new font was in line with the progressive direction of the club. Applicant stated that the traditional logo will remain the same, only the sign font would be changed.

Public Comment  
None

**Chair Coffee moved to approve DCB #23-006, seconded by Vice Chair Brooks-Petty**

**Ayes: 3 – Chair Coffee, Vice Chair Brooks-Petty, Mr. Suetsugu  
Nays: 0**

**6. Staff Reports**

All reports were received and filed.

**7. Public Comment**

None

**8. Adjournment**

**Moved by Vice Chair Brooks-Petty, seconded by Board Member Suetsugu**

**Ayes: 3 – Chair Coffee, Vice Chair Brooks-Petty, Mr. Suetsugu**  
**Nays: 0**

**Chair Coffee adjourned the meeting at 2:36 p.m.**

Respectfully Submitted,

Lola Reyna  
Secretary for the Design Control Board



## Location of October 18, 2023 DCB Items



### Old Business

4A – Parcel 44 – Tesla Supercharger Stations

### New Business

5A – Parcel BB – Loyola Marymount Bove Boathouse

5B – Parcel 44 – Boardwalk Marina del Rey / Alfred

5C – Parcel 28 – Wayfarer Apartments

5D – Parcel BR – Aubrey Austin Park

5E – Parcels HS & 91 – Marina “Mothers” Beach

5F – Parcel 49M – Parking Lot #4





Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 4A – PARCEL 44 – PACIFIC MARINA VENTURE, LLC / TESLA MOTORS, INC. – DCB # 22-011 – CONSIDERATION OF TESLA SUPERCHARGING STATION**

Item 4A on your agenda is a submittal from Tesla Motors, Inc. (Applicant), seeking approval for a Tesla electric vehicle Supercharger station and associated improvements at the Parcel 44 shopping center. The project is located at 4625 Admiralty Way.

## **PROJECT OVERVIEW**

### Background

On September 21, 2022, your Board reviewed a request by Tesla Motors to install a Supercharger station and associated improvements in the parking lot of the Boardwalk Marina del Rey shopping center, located at Parcel 44. At the meeting, your Board continued the project and requested that the Applicant work with Board Members Coffee and Brooks-Petty to address concerns regarding screening mechanisms proposed for utilities at the site, colors of certain site features such as bollards, and the style of charging station used. The Applicant has now returned with updated design options for vinyl utility wraps to address the remaining concerns of the Board.

### Existing Conditions

Parcel 44 consists of approximately 8.39 landside acres and 4.68 waterside acres. The landside portion has frontages on Admiralty Way, Mindanao Way, and Bali Way. Currently, Parcel 44 is developed as the Boardwalk Marina del Rey shopping center, which consists of eight buildings with a total area of 82,652 square feet. The site includes Marine Commercial, Boat Storage and Visitor-Serving/Convenience Commercial uses, in addition to two outdoor plazas with tiered stadium seating, waterfront views, outdoor dining, and adjacent anchorage. All uses at the site are served by surface parking lots, which contain a total of 462 parking spaces.

### Proposed Project

The applicant proposes to install ten electric vehicle charging posts and associated equipment in the parking lot of the Parcel 44 shopping center.



## **SITE DESIGN**

### Electric Vehicle Chargers

The Applicant proposes to install a Tesla Supercharger station consisting of ten charging posts, three electrical cabinets, one main switchgear, and one utility transformer, all located in the existing shopping center parking lot facing Admiralty Way.

### Screening

The Applicant previously provided four screening options for proposed utilities related to the project including designs using shrubs, trees, vinyl wraps, and no screening. The Applicant proposes to place a camouflage vinyl wrap on the electrical cabinets, switchgear, and transformer and has provided three options for the vinyl designs which include agave americana plants in planter areas. The Applicant would also extend the current landscape plan around the aforementioned utilities, using low-level landscaping consistent with the DCB approved landscape palette for the site.

## **STAFF REVIEW**

On September 28, 2022 and October 6, 2022, two separate board briefing meetings were held with Chair Coffee and Board Member Brooks-Petty, respectively, the Applicant, and Department of Beaches and Harbors staff, to review screening options for utilities proposed for the site, colors of site features, and the style of charging station used. In response to the Board's concern regarding the colors of the site bollards and truncated domes, the Applicant confirmed that these items would be gray to match existing site conditions, instead of the previously proposed red color. Furthermore, the Applicant clarified attributes of the charging stations and returned to the Board with additional design options for vinyl wraps.

Staff finds that the proposed project is generally consistent with the Marina del Rey Design Guidelines. Specifically, DG. 190 notes that projects should screen and buffer antennas and on-site transformers from any public street views. The utility equipment proposed along Admiralty Way would be visible from street view. In addition, all equipment related to the project would be located in a prominent area near the main entrance of the shopping center. The use of vinyl screening for utilities at the site would adhere to this guideline.

**Staff recommends APPROVAL of DCB #22-011, subject to the following conditions:**

- 1) No change shall be made to the approved design without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 2) No substantial change shall be made to the approved design without the written consent of the Design Control Board.**





TESLA SUPERCHARGER  
MARINA DEL REY, CA

## Tesla Supercharger Proposal

4637 Admiralty Way, Marina del Rey, CA





## Proposal

- A** Supercharger Cabinet
- B** Supercharger Post
- C** Tesla EV pole signpost
- D** Tesla EV mounted sign
- E** Bollard-Mounted EV sign
- F** ADA Curb Ramp
- G** ADA full depth asphalt paved area



Photo Simulation View 1



Proposal

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards
- E Screening Trees

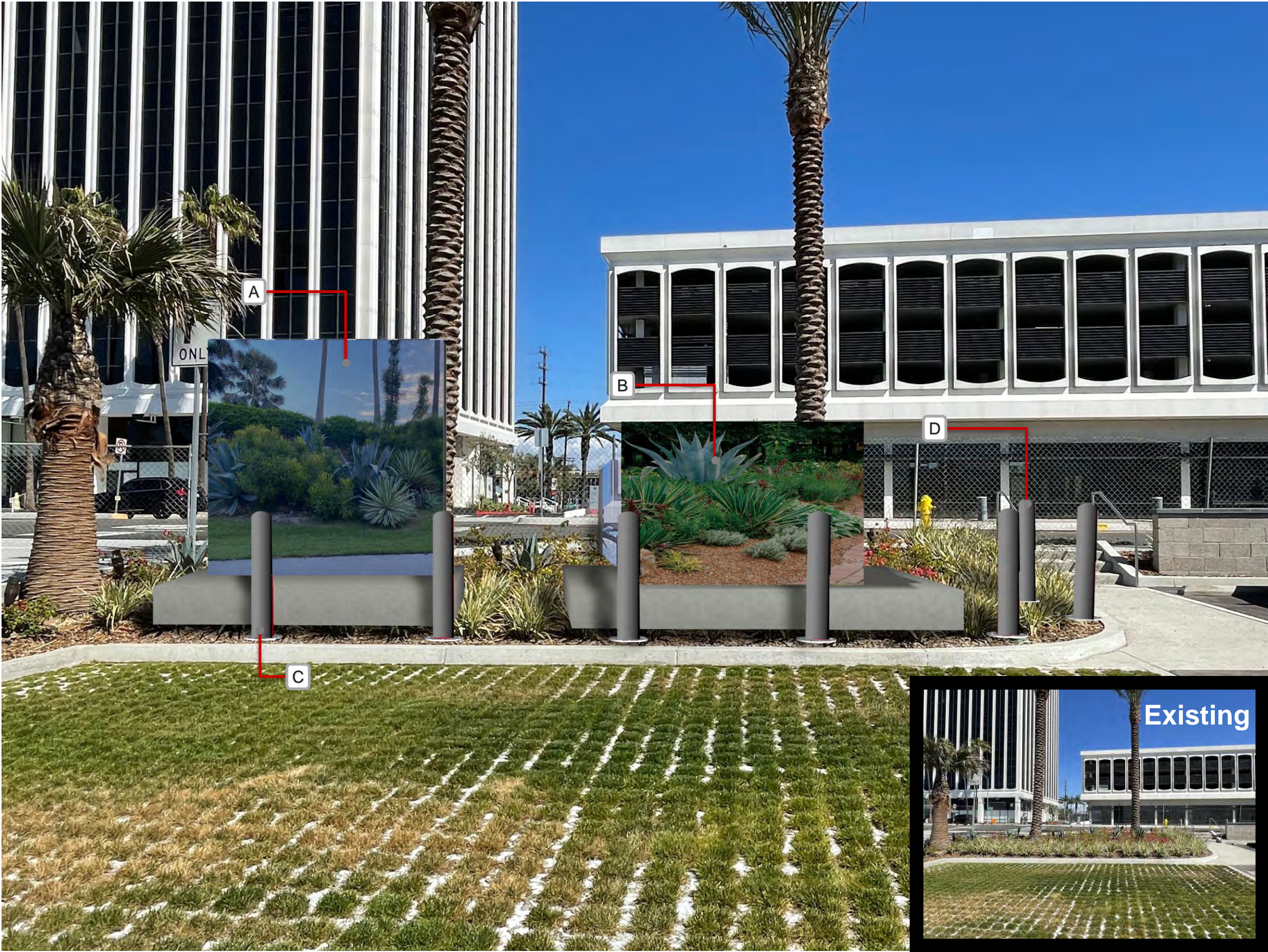


Photo Simulation View 2



Proposal

- A Screening Shrubs
- B Transformer with Agave Vinyl Wrap
- C Switchboard with Agave Vinyl Wrap



Photo Simulation View 3



## Proposal

- A Cabinets
- B Supercharger Posts
- C Tesla EV Signpost
- D ADA Area



Photo Simulation View 4





Option 1





Alternate Vinyl Wrap Option 2





Alternate Vinyl Wrap Option 3





Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Acting Chief Deputy Director

**Carol Baker**  
Deputy Director

September 21, 2022

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 5A – PARCEL 44 – PACIFIC MARINA VENTURE, LLC / TESLA MOTORS, INC. – DCB # 22-011 – CONSIDERATION OF TESLA SUPERCHARGING STATION**

Item 5A on your agenda is a submittal from Tesla Motors, Inc. (Applicant), seeking approval for a Tesla electric vehicle Supercharger station and associated improvements at the Parcel 44 shopping center. The project is located at 4625 Admiralty Way.

## **PROJECT OVERVIEW**

### Existing Conditions

Parcel 44 consists of approximately 8.39 landside acres and 4.68 waterside acres. The landside portion has frontages on Admiralty Way, Mindanao Way, and Bali Way. Currently, Parcel 44 is developed as the "Boardwalk Marina del Rey" shopping center, which consists of eight buildings with a total area of 82,652 square feet. The site includes Marine Commercial, Boat Storage and Visitor-Serving/Convenience Commercial uses, in addition to two outdoor plazas with tiered stadium seating, waterfront views, outdoor dining, and adjacent anchorage. All uses at the site are served by surface parking lots, which contain a total of 462 parking spaces.

### Proposed Project

The applicant proposes to install ten electric vehicle charging posts and associated equipment in the parking lot of the Parcel 44 shopping center.

## **SITE DESIGN**

### Electric Vehicle Chargers

The Applicant proposes to install a Tesla Supercharger station consisting of ten charging posts, three electrical cabinets, one main switchgear, and one utility transformer, all located in the existing shopping center parking lot facing Admiralty Way.

Charging posts would be 3' wide by 5½' tall, with a depth of 2', and rectangular shaped with a hollow center. The posts would be solid white with the Tesla logo and an interior trim color of dark red. The interior of the charging posts would also contain task light LEDs. The switchgear and all of the electrical cabinets would be installed in existing



landscaped areas along Admiralty Way, resulting in no parking stall loss. Each electrical cabinet would be 4' wide by 7' tall, with a depth of 3'. The switchgear would be 7' wide by 8' tall, with a depth of 3'. The transformer would be 7' wide by 6½' tall, with a depth of 6'. The Applicant also proposes to install seven red concrete barrier bollards around the transformer and switchgear.

In addition, the Applicant proposes to paint a 4" wide white transverse striping pattern on the ground to establish an accessible passenger path from the two ADA parking stalls to a new concrete curb ramp with truncated domes. The Applicant also proposes to remove a portion of an existing block wall adjacent to the proposed charging posts and relocate an adjacent light pole within the same vicinity to accommodate the electrical cabinets.

#### Landscaping

The transformer and associated concrete pad would be installed in an existing landscaped area along Admiralty Way. As a result, one existing *Phoenix Dactylifera* 'Medjool' Date Palm tree would be removed and replaced within the same vicinity with the same tree type and size as outlined in the DCB approved master landscape palette for the site. An additional 450 square feet of existing landscaped area would be removed to accommodate the project.

### **SIGNAGE**

#### Informational Signs

The Applicant proposes to install eight post-mounted and two light pole-mounted signs that would read "Vehicle Charging" in white text with a Tesla logo against a red background. The Applicant also proposes to install one pole-mounted sign to denote ADA accessibility. All signs would measure 1' wide by 1'-6" tall and would be installed approximately 6' above grade. All sign faces would be composed of aluminum panels. In addition, two parking spaces would contain "EV Charging Only" ground markings.

### **STAFF REVIEW**

Staff finds that the proposed project is generally consistent with the Marina del Rey Design Guidelines (DG). Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.

Staff recommends that all proposed bollards be painted grey consistent with the color of existing bollards located throughout Parcel 44.

Furthermore, DG. 188 notes that projects should screen and buffer antennas and on-site transformers from any public street views. The utility equipment proposed along Admiralty Way would be visible from street view. In addition, all equipment related to the project would be located in a prominent area near the main entrance of the shopping center. Staff requested that the Applicant prepare the following four utility screening options for your Board's consideration:

*Option 1: No screening*

For this option, the utility equipment would be installed with no screening. However, low level plants consistent with the DCB approved landscape palette for the site would be installed surrounding the utility equipment, to match prior conditions of the landscaped area.

*Option 2: Shrub screening*

For this option, the Applicant would screen the utility transformer and switchgear by planting screening shrubs. The Applicant would plant sixteen 7'-9" tall, 5-gallon, *Podocarpus Gracilior Fern Pine* columns to screen the transformer and switchgear. Per the Marina del Rey Land Use Plan, all development on the waterfront side of Via Marina, Admiralty Way, and Fiji Way shall provide windows to the water, wherever possible, while, at the same time, screening unsightly elements such as parking areas and trash receptacles with landscaping. In addition, all development, redevelopment or intensification on waterfront parcels, which include Parcel 44, shall provide an unobstructed view corridor of no less than 20 percent of the parcel's waterfront providing public views of the Marina boat basins and/or channels. If this screening option is selected, the shrubs would need to be regularly maintained to not block views of the water. Staff does not recommend this option as it has the potential to obstruct the existing viewshed. Furthermore, the electrical cabinets would not be screened with shrubs as there isn't enough space.

*Option 3: Tree screening*

For this option, the Applicant proposes screening the utility transformer and switchgear with eleven, 36" box, *Prunus Cerasifera "Krauters Vesuvuys Purple Leaf Plum"*. The proposed trees, when mature, could reach between 15'-30' in height. Staff does not recommend this option as it would obstruct the existing viewshed. Furthermore, the electrical cabinets would not be screened with trees as there isn't enough space.

*Option 4: Camouflage vinyl wrap*

For this option, the Applicant would extend the current landscape plan and place a camouflage vinyl wrap on the electrical cabinets, switchgear, and transformer. The proposed art wrap design would mimic the current viewpoint, which is consistent with DG. 21 as it would incorporate nautical, marina, and/or water themes to complement the Marina's waterfront setting.

Staff recommends that the Applicant screen the electrical cabinets, switchgear, and transformer with a vinyl camouflage art wrap (Option 4), as it adheres to the Marina del Rey Design Guidelines and also protects existing view corridors. In addition, the Applicant should install low level landscaping around all utilities that is consistent with the DCB approved landscape palette for the site.

**Staff recommends APPROVAL of DCB #22-011, subject to the following conditions:**

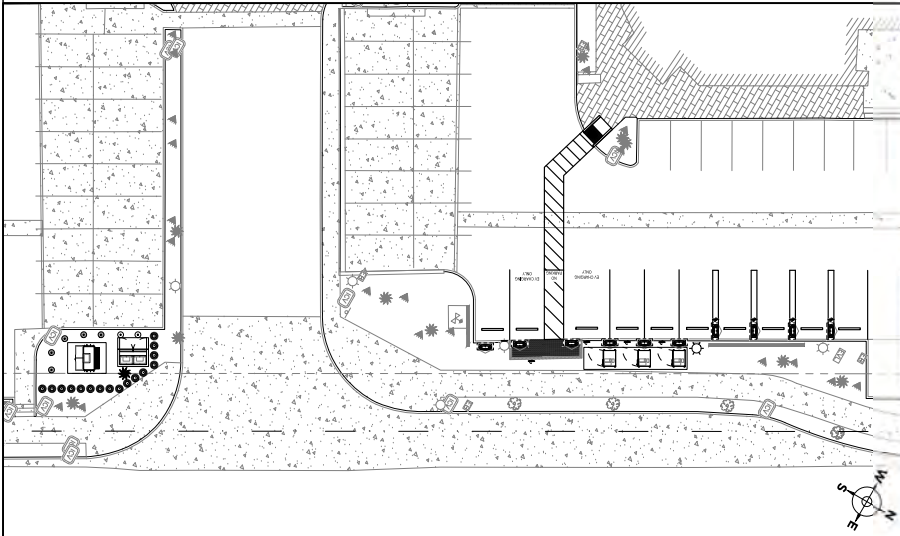
- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**

GJ:WO:ca

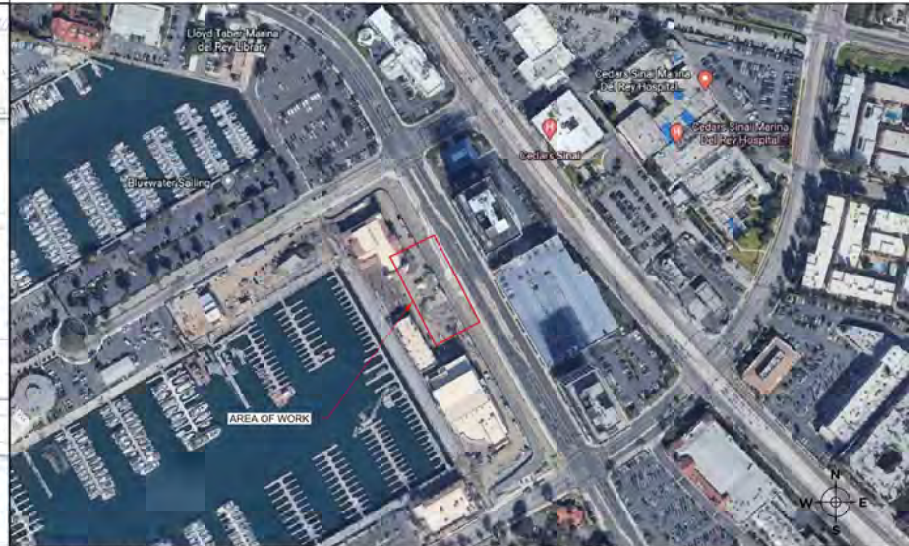


TESLA SUPERCHARGER MARINA DEL REY, CA - SUITE EV  
10 SUPERCHARGERS  
APN: 4224-008-901  
TRT: 16754

SITE LAYOUT



AERIAL MAP



ABBREVIATIONS

PROJECT TEAM

DESIGN CRITERIA

PROJECT SCOPE

SYSTEM SUMMARY

SHEET INDEX

AC	ALTERNATING CURRENT	MV	MEDIUM-VOLTAGE
ADA	AMERICANS WITH DISABILITIES	(N)	NEW
ACT	ENERGY STORAGE SYSTEM	NEG	NATIONAL ELECTRIC CODE
BLDG	BUILDING	NIC	NOT IN CONTRACT
CLR	CLEAR	NRTL	NATIONALLY-RECOGNIZED
CONC	CONCRETE	NTS	NOT TO SCALE
COMM	COMMUNICATION	OC	ON CENTER
DC	DIRECT CURRENT	PCC	POINT OF COMMON COUPLING
DIA	DIAMETER	PL	PROPERTY LINES
DIST	DISTANCE	PLC	POWER LINE COMMUNICATION
EQ	EQUAL	PV	PHOTOVOLTAIC
EGC	EQUIPMENT GROUNDING	PP	POWERPACK
	CONDUCTOR	PVC	POLYVINYL CHLORIDE
(E)	EXISTING	RSD	RAPID SHUTDOWN
EA	EACH	SCH	SCHEDULE
EMT	ELECTRICAL METALLIC TUBING	SQ. IN.	SQUARE INCHES
EV	ELECTRIC VEHICLE	SS	STAINLESS STEEL
GAB	GRADED AGGREGATE BASE	SSD	SEE STRUCTURAL DRAWINGS
GALV	GALVANIZED	STC	STANDARD TESTING
GEC	GROUNDING ELECTRODE		CONDITIONS
	CONDUCTOR	TYP	TYPICAL
GND	GROUND	UON	UNLESS OTHERWISE NOTED
HVAC	HEATING, VENTILATION, & AIR	VIF	VERIFY IN FIELD
	CONDITIONING	W	WATT
I	CURRENT		
IMP	CURRENT AT MAX POWER		
INV	INVERTER		
ISC	SHORT CIRCUIT CURRENT		
KVA	KILOVOLT AMPERE		
KW	KILOWATT		
KWH	KILOWATT-HOUR		
LV	LOW-VOLTAGE		
MAX	MAXIMUM		
MIN	MINIMUM		

STRUCTURAL ENGINEER OF RECORD:  
KIRILL VORONOV  
TESLA, INC.  
721 FERNCREST RD.,  
TRINIDAD, CA 95570  
(818) 943-7621  
KVORONOV@TESLA.COM

ELECTRICAL ENGINEER OF RECORD:  
JARED MARCHAND  
TESLA, INC.  
3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(508) 951-5489  
JMARCHAND@TESLA.COM

PROJECT DESIGNER:  
EUIO KIM  
TESLA, INC.  
3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(510) 946-6046  
EUIKIM@TESLA.COM

ARCHITECT OF RECORD:  
CHRIS MARESCA  
TESLA, INC.  
2204 ALBATROSS ST.  
SAN DIEGO, CA 92101  
P:(619) 764-6142  
CMARESCA@TESLA.COM

PROPERTY OWNER  
CONTACT:  
MIKE SELDON  
MSELDEN@POM-MOR.COM

- WIND DESIGN  
DESIGN WIND SPEED = 94 MPH (ULTIMATE)  
RISK CATEGORY = II  
WIND EXPOSURE = D
- SEISMIC DESIGN  
RISK CATEGORY = II  
SEISMIC IMPORTANCE FACTOR = 1.0  
SITE CLASS = D  
 $S_s = 1.857 / S_1 = 0.657$   
 $S_{ds} = 1.486 / S_{d1} = 0.745$   
SEISMIC DESIGN CATEGORY = D  
BASIC SEISMIC-FORCE-RESISTING SYSTEM = NON-STRUCTURAL COMPONENT  
 $R = 2.5 / a_p = 1.0$
- GEOTECHNICAL INFORMATION  
ALLOWABLE BEARING PRESSURE = 1,500 PSF

APPLICABLE CODES

2020 LOS ANGELES COUNTY ELECTRICAL CODE
2017 NATIONAL ELECTRICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA BUILDING CODE
2019 BUILDING ENERGY EFFICIENCY STANDARDS
REFERENCED DOCUMENTS
SUPERCHARGER INSTALLATION MANUAL
SUPERCHARGER POST INSTALLATION MANUAL
TOPOGRAPHIC SURVEY
UTILITY DESIGN

INSTALLATION OF SUPERCHARGERS AND ASSOCIATED AC AND DC EQUIPMENT.  
INSTALLATION OF CONCRETE EQUIPMENT PADS.  
INSTALLATION OF NEW PARKING STRIPING, SIGNAGE AND ADA ACCESS FEATURES.

SUPERCHARGER SYSTEM SUMMARY	
EQUIPMENT	QTY
V3 SUPERCHARGER CABINETS	3
V3 SUPERCHARGER POSTS	10
UTILITY TRANSFORMER	1
SWITCHBOARD	1

SHEET #	SHEET TITLE
G-001	COVER PAGE
G-002	NOTES
G-101	DEMO PLAN
E-101	SITE PLAN
E-101	SITE PLAN
A-301	ACCESSIBLE PARKING PLAN
A-401	ELEVATIONS
A-501	DETAILS
S-301	ENLARGED SITE PLAN
S-501	STRUCTURAL DETAILS
	SURVEY

TESLA

3500 DEER CREEK RD.  
PALO ALTO, CA 94304  
(855) 681-5000

ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH "D"



TESLA SUPERCHARGER MARINA DEL REY, CA  
10 SUPERCHARGERS  
TESLA SUPERCHARGER MARINA DEL REY, CA  
4637 ADMIRALTY WAY - SUITE EV,  
MARINA DEL REY, CA 90292

NO.	REVISION	DATE	DESCRIPTION
A	LANDSCAPE PLAN	6/14/22	

COVER PAGE

G-001

JB-9029897-00

REV: A IFP



H	G	F	E	D	C	B	A
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PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FROM TESLA OF ANY DISCREPANCIES. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED AT THE SUBCONTRACTORS SOLE EXPENSE.

ALL EQUIPMENT SHALL BE MOUNTED AS SHOWN. WHERE DETAILS ARE NOT PROVIDED, CONTRACTOR SHALL USE STANDARD CONSTRUCTION PRACTICES.

ANY METAL SHAVINGS FROM SITE WORK SHALL BE CLEANED FROM ALL SURFACES WHERE OXIDIZED OR CONDUCTIVE METAL SHAVINGS MAY CAUSE RUST, ELECTRICAL SHORT CIRCUITS, OR OTHER DAMAGE.

NEW PAVEMENT INSTALLED AS PART OF THIS PROJECT SHALL MATCH EXISTING PAVEMENT SECTION. ASPHALT AND GAB DEPTHS SHALL BE MAINTAINED.

## GENERAL NOTES

- |                  |                 |                 |
|------------------|-----------------|-----------------|
| <u>CONDUCTOR</u> | <u>277/480V</u> | <u>120/208V</u> |
| PHASE A          | BROWN           | BLACK           |
| PHASE B          | ORANGE          | RED             |
| PHASE C          | YELLOW          | BLUE            |
| NEUTRAL          | GRAY            | WHITE           |

5. TERMINATIONS OF AC, DC, AND COMMUNICATIONS CONDUCTORS SHALL BE PROFESSIONALLY AND LEGIBLY LABELED WITH CIRCUIT SCHEDULE IDENTIFIER, CONDUCTOR SIZE (AS APPLICABLE) AND TERMINATION TORQUE.
6. ALL EQUIPMENT SHALL BE LISTED BY A NRTL. IN COMPLIANCE WITH ART 110.3, WHERE EXISTING NRTL LISTING CANNOT BE MAINTAINED, ENGINEERING APPROVAL SHALL BE OBTAINED PRIOR TO EQUIPMENT MODIFICATION, AND THE EQUIPMENT SHALL BE RELISTED BY A SUITABLE NRTL.

9. REFER TO MANUFACTURER'S CURRENT PLANNING AND INSTALLATION MANUAL FOR TORQUE SPECS FOR ALL BOLTS AND TERMINAL CONNECTIONS
10. ALL CONDUCTOR TERMINATIONS ON BUSSING OR TRANSFORMER SPADES SHALL BE MADE WITH HIGH-PRESS CRIMP LUGS UON.

12. DUCT SEAL COMPOUND SHALL BE APPLIED WHEREVER CONDUITS TRANSITION INDOOR/OUTDOOR OR UNDERGROUND/ABOVEGROUND. REFER TO EQUIPMENT NOTES FOR ADDITIONAL DUCT SEAL REQUIREMENTS.

14. ALL STUB-UPS WITHIN FLOOR-MOUNTED EQUIPMENT SHALL BE 3-5" ABOVE FINISHED GRADE.

16. GROUND LUGS SHALL BE RATED FOR THEIR ENVIRONMENT AND CONDITION OF USE.

F	E	D	C	B	A
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- ALL ELECTRICAL WORK SHALL BE DESIGNED PER 2020 LOS ANGELES COUNTY ELECTRICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2017 NATIONAL ELECTRICAL CODE, AND 2019 BUILDING ENERGY EFFICIENCY STANDARDS.

D	C	B	A
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D		C		B		A	
SCOPE OF WORK				SITE LEGEND			

## A



- ## SITE LEGEND

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© 2006 Blackwell Publishing Ltd, *Journal of Internal Medicine* 260: 397–408



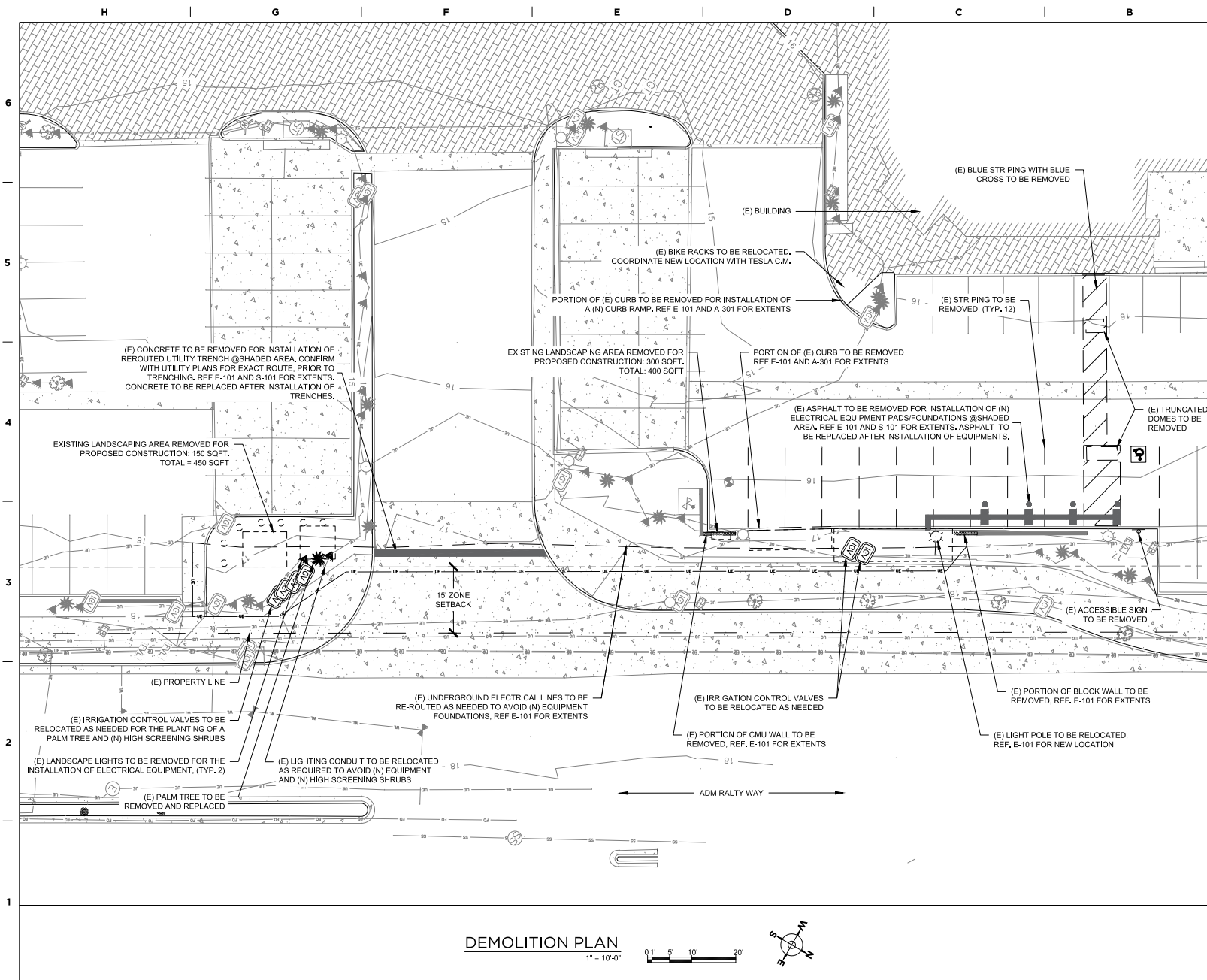
6/28/2022

<b>TESLA</b>
3500 DEER CREEK RD, PALO ALTO, CA 94304 (855) 881-5500
ORIGINAL SIZE 24"x36" SHEET SIZE ARCH "D"


6/25/2022

DATE	5/14/22							
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0001
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DEMOLITION PLAN  
1" = 10'-0"

0' 5' 10' 20'



## NOTES

THE CONTRACTOR SHALL REFER TO THE TRENCHING DETAILS ON THE ELECTRICAL DETAILS SHEET.

THE LIMITS OF ASPHALT REMOVAL ARE SHOWN AS FOR INFORMATION ONLY AND IT SHALL BE UP TO THE CONTRACTOR TO DETERMINE THE EXACT LIMITS.

## SITE LEGEND



ANY (E) OBJECT TO BE DEMOLISHED



ANY (E) ELEMENT TO BE REMOVED



HARDCAPED AREA TO BE MODIFIED

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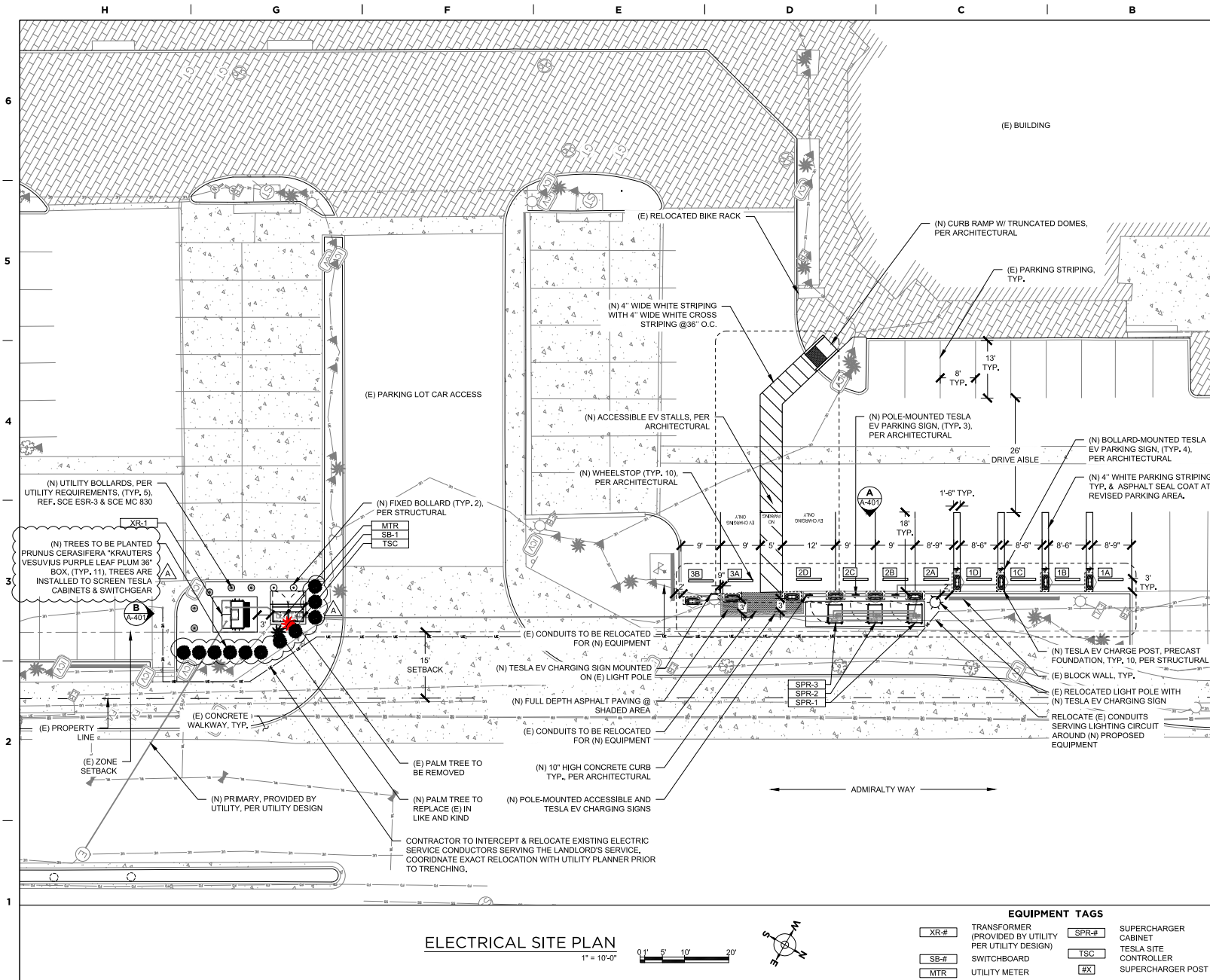
NO.	REVISION	DATE
A	LANDSCAPE PLAN	6/14/22

DEMO PLAN

G-101

JB-9029897-00

REV: A IFP



ELECTRICAL SITE PLAN

1" = 10'-0"

0' 1' 5' 10' 20'



EQUIPMENT TAGS

XR-#	TRANSFORMER (PROVIDED BY UTILITY PER UTILITY DESIGN)	SPR-#	SUPERCHARGER CABINET
SB-#	SWITCHBOARD	TSC	TESLA SITE CONTROLLER
MTR	UTILITY METER	BX	SUPERCHARGER POST

SITE LEGEND

- (N) SUPERCHARGER POST, PRECAST FOUNDATION
- (N) CONDUIT ROUTE, SHOWN FOR DIAGRAMMATIC PURPOSES ONLY.
- (N) SIGN MOUNTED ON (E) LIGHT POLE
- (E) PROPERTY LINE
- (N) FIXED BOLLARD
- (N) UTILITY BOLLARD
- (N) POLE-MOUNTED SIGN
- (N) BOLLARD-MOUNTED SIGN
- (N) FULL DEPTH ASPHALT
- (N) CONCRETE CURB

PARKING STALL SCHEDULE

EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	11
PROPOSED TESLA STALLS	10
AB1100 EV VAN CREDIT	1
NET STALL COUNT	0

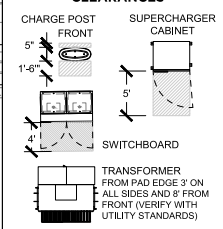
CHARGING STALLS SCHEDULE

SUPERCHARGER CABINET	POST TAG	SIGN TYPE
1	1A	ENABLED
	1B	ENABLED
	1C	ENABLED
	1D	ENABLED
	2A	ENABLED
2	2B	ENABLED
	2C	ENABLED
	2D	ENABLED & ACCESSIBLE
	3A	ENABLED
3	3B	ENABLED

PARKING SIGNS, REF A501

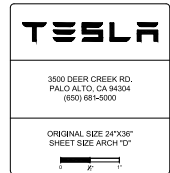
VEHICLE CHARGING	VAN ACCESSIBLE
ENABLED	ACCESSIBLE

MINIMUM SERVICE CLEARANCES



NOTES:

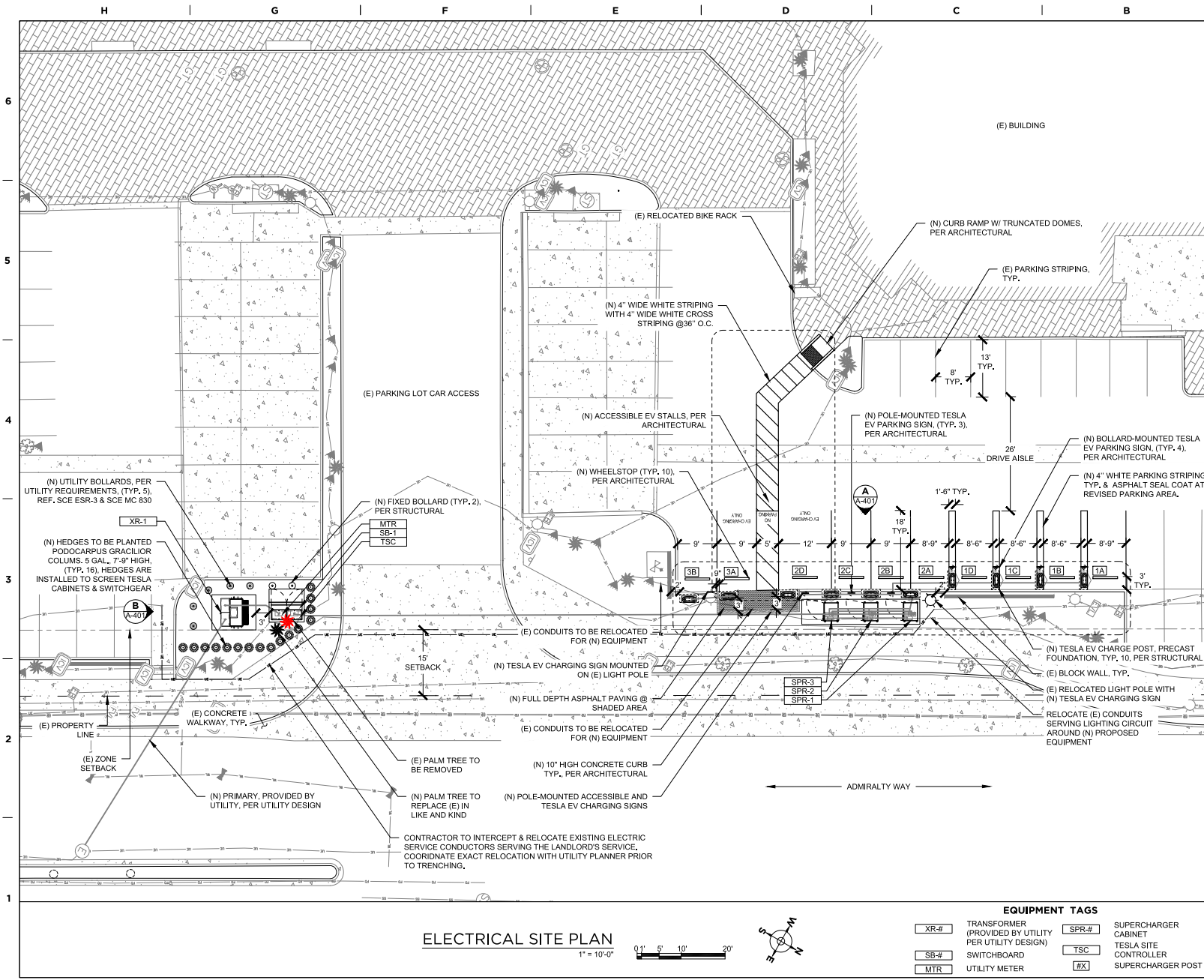
- UTILITY EQUIPMENT FOUNDATION DIMENSIONS AND LOCATIONS PER UTILITY. CONTRACTOR TO VERIFY AGAINST EXECUTED UTILITY DESIGN.
- UTILITY BOLLARDS PER UTILITY REQUIREMENTS. CONTRACTOR TO VERIFY AND COORDINATE WITH UTILITY ON LOCATION, QUANTITY, AND SPECS.
- CONTRACTOR TO REFER TO EXECUTED UTILITY DESIGN FOR PRIMARY AND POINT OF CONNECTION DETAILS.



TESLA SUPERCHARGER\_MARINA DEL REY, CA  
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4637 ADMIRALTY WAY - SUITE EV,  
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NO.	REVISION	DATE
A	LANDSCAPE PLAN	6/14/22

SITE PLAN	
E-101	
JB-9029897-00	
REV: A	IFP



**SITE LEGEND**

- (N) SUPERCHARGER POST, PRECAST FOUNDATION
- (N) CONDUIT ROUTE, SHOWN FOR DIAGRAMMATIC PURPOSES ONLY.
- (N) SIGN MOUNTED ON (E) LIGHT POLE
- (E) PROPERTY LINE
- (N) FIXED BOLLARD
- (N) UTILITY BOLLARD
- (N) POLE-MOUNTED SIGN
- (N) BOLLARD-MOUNTED SIGN
- (N) FULL DEPTH ASPHALT
- (N) CONCRETE CURB

**PARKING STALL SCHEDULE**

EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	11
PROPOSED TESLA STALLS	10
AB1100 EV VAN CREDIT	1
NET STALL COUNT	0

**CHARGING STALLS SCHEDULE**

SUPERCHARGER CABINET	POST TAG	SIGN TYPE
1	1A	ENABLED
	1B	ENABLED
	1C	ENABLED
	1D	ENABLED
2	2A	ENABLED
	2B	ENABLED
	2C	ENABLED
	2D	ENABLED & ACCESSIBLE
3	3A	ENABLED
	3B	ENABLED

**PARKING SIGNS, REF A501**

ENABLED ACCESSIBLE

**MINIMUM SERVICE CLEARANCES**

CHARGE POST FRONT: 5' (1'-6" from curb)

CHARGE POST REAR: 5' (1'-6" from curb)

SWITCHBOARD: 5' (1'-6" from curb)

TRANSFORMER: FROM PAD EDGE 3' ON ALL SIDES AND 8' FROM FRONT (VERIFY WITH UTILITY STANDARDS)

- NOTES:**
- UTILITY EQUIPMENT FOUNDATION DIMENSIONS AND LOCATIONS PER UTILITY. CONTRACTOR TO VERIFY AGAINST EXECUTED UTILITY DESIGN.
  - UTILITY BOLLARDS PER UTILITY REQUIREMENTS. CONTRACTOR TO VERIFY AND COORDINATE WITH UTILITY ON LOCATION, QUANTITY, AND SPECS.
  - CONTRACTOR TO REFER TO EXECUTED UTILITY DESIGN FOR PRIMARY AND POINT OF CONNECTION DETAILS.
- PROPRIETARY AND CONFIDENTIAL

**TESLA**

3500 DEER CREEK RD.  
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(855) 681-5000

ORIGINAL SIZE 24"x36"  
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4637 ADMIRALTY WAY - SUITE EV,  
MARINA DEL REY, CA 90292

DATE	6/14/22
NO.	A
REVISION	LANDSCAPE PLAN

**SITE PLAN**

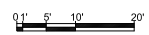
E-101

JB-9029897-00

REV: A IFP

**ELECTRICAL SITE PLAN**

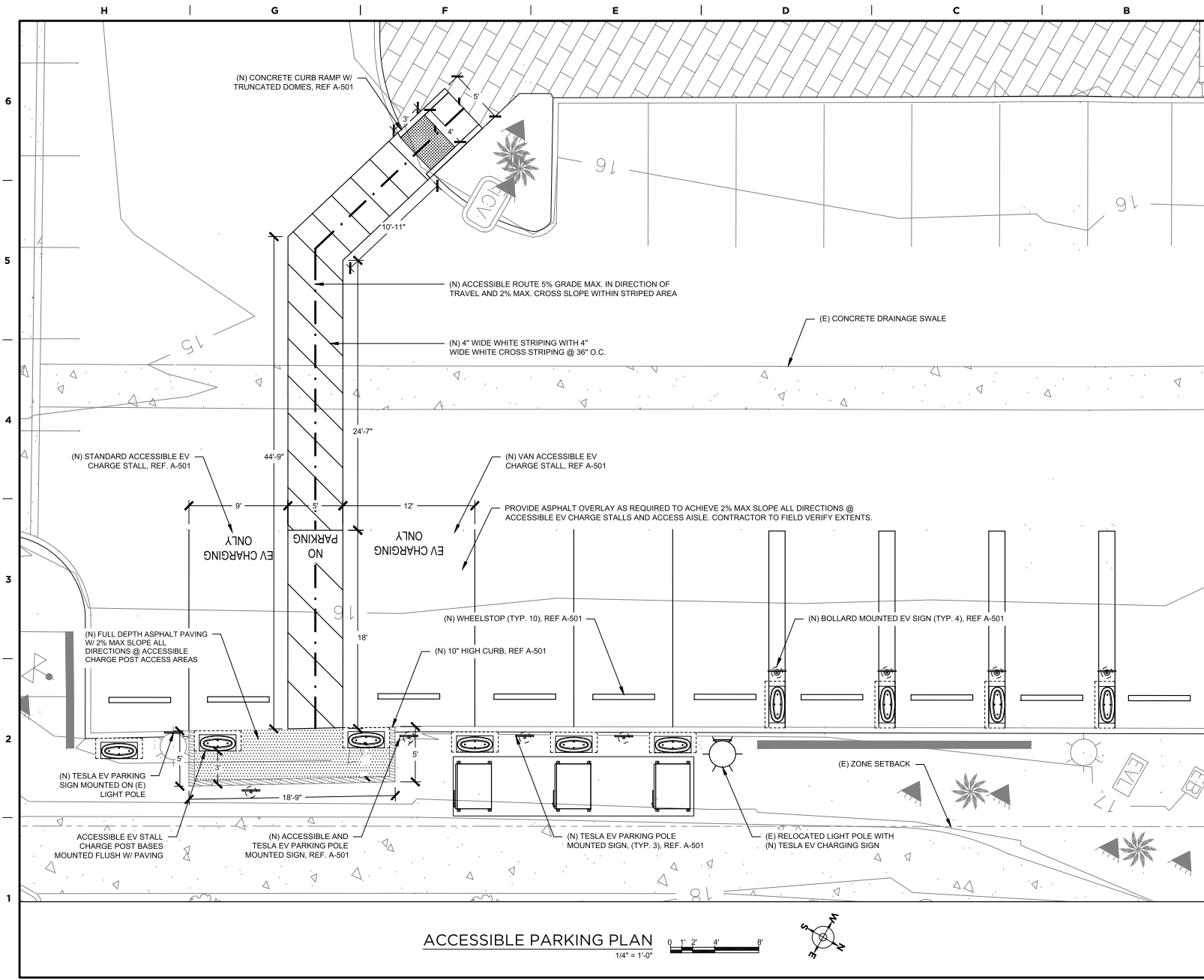
1" = 10'-0"



**EQUIPMENT TAGS**

XR-#	TRANSFORMER (PROVIDED BY UTILITY PER UTILITY DESIGN)	SPR-#	SUPERCHARGER CABINET
SB-#	SWITCHBOARD	TSC	TESLA SITE CONTROLLER
MTR	UTILITY METER	EX	SUPERCHARGER POST





**SITE LEGEND**

- (N) ACCESSIBLE ROUTE
- (N) SUPERCHARGER POST
- (N) POLE-MOUNTED SIGN
- (N) SIGN MOUNTED ON (E) LIGHT POLE
- (N) BOLLARD-MOUNTED SIGN
- (N) CONCRETE CURB
- (N) FULL DEPTH ASPHALT

**EV CHARGE STALL SCHEDULE**

EV CHARGE STALLS PROPOSED	10		
ADA EV STALL TYPE	CAR	VAN	AMBULATORY
STALLS REQUIRED	1	1	0
STALLS PROPOSED	1	1	0

BASED ON CBC TABLE 11B-228.3.2.1

**NOTES**

CODE COMPLIANCE:  
ALL WORK SHALL BE INSTALLED IN COMPLIANCE WITH CALIFORNIA BUILDING CODE. APPLICABLE CODE ARE AS STATED.

ACCESSIBLE STALLS  
STANDARD: 11B-812.6.2  
VAN: 11B-812.6.1  
AMBULATORY: 11B-812.6.3  
ACCESS AISLE: 11B-812.7  
ACCESSIBLE ROUTE: 11B-812.5  
ISA SIGNAGE: 11B-812.8  
ADA SURFACE MARKINGS: 11B-812.9

ACCESSIBLE PARKING PLAN  
1/4" = 1'-0"

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(650) 681-5000

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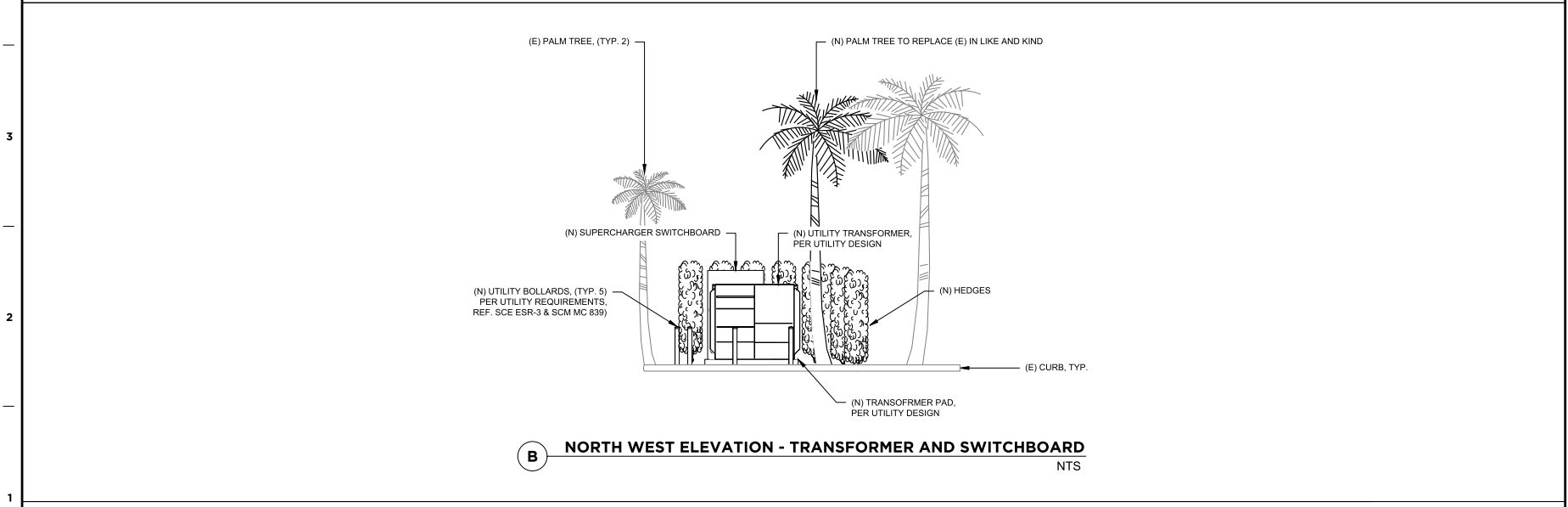
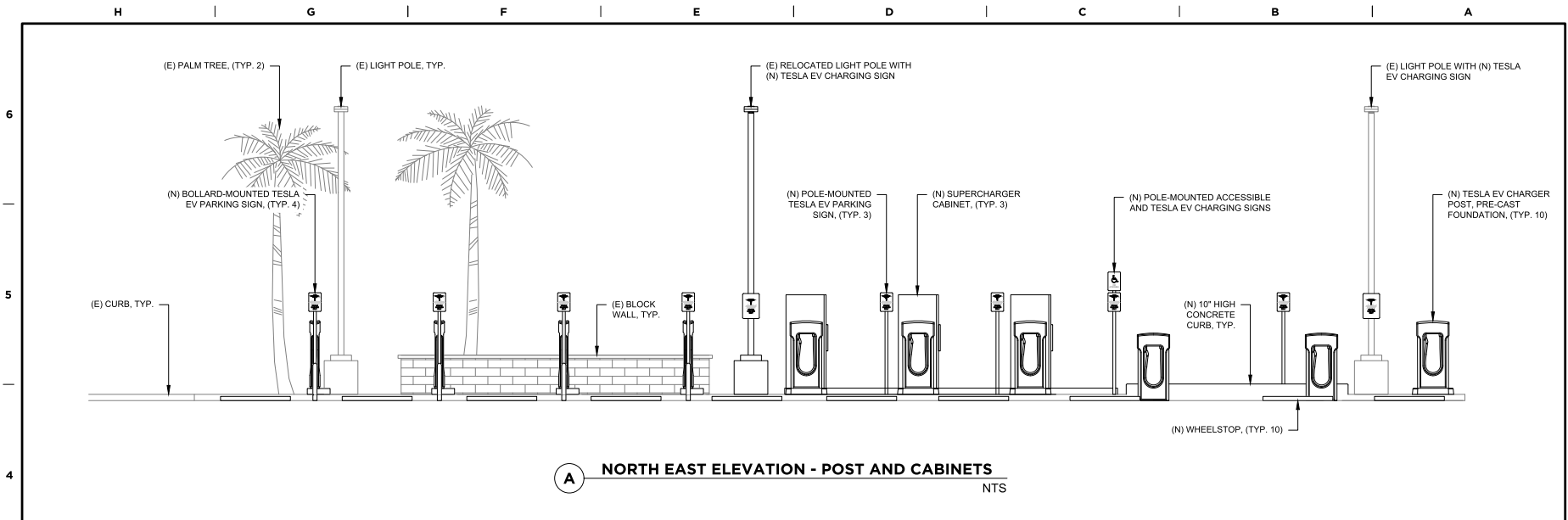
NO	REVISION	DATE

ACCESSIBLE  
PARKING  
PLAN

A-301

JB-9029897-00

REV: 0    IFP



PARKING ELEVATIONS

1/4" = 1'-0"



**TESLA**

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PALO ALTO, CA 94304  
(855) 681-5000

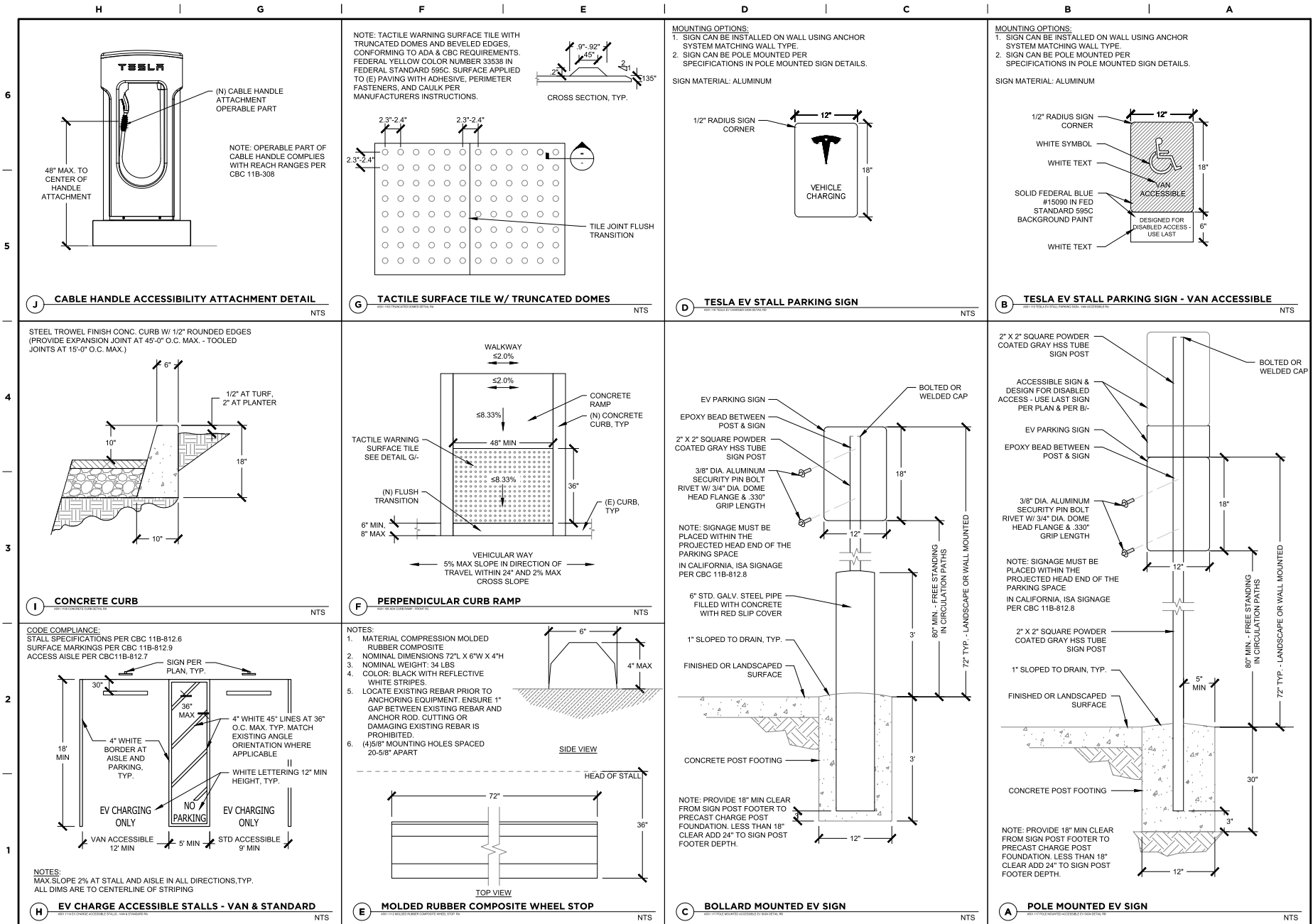
ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH 10"



TESLA SUPERCHARGER\_MARINA DEL REY, CA  
10 SUPERCHARGERS  
TESLA SUPERCHARGER\_MARINA DEL REY, CA  
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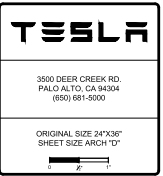
NO	REVISION	DATE

ELEVATIONS	
A-401	
JB-9029897-00	
REV: 0	IFP



PLOT DATE: 12/22/2021 9:45 a.m. MARISOL/S

PROPRIETARY AND CONFIDENTIAL



TESLA SUPERCHARGER\_MARINA DEL REY,CA  
10 SUPERCHARGERS  
TESLA SUPERCHARGER\_MARINA DEL REY,CA  
4637 ADMIRALTY WAY - SUITE EV,  
MARINA DEL REY, CA 90292

NO	REVISION	DATE

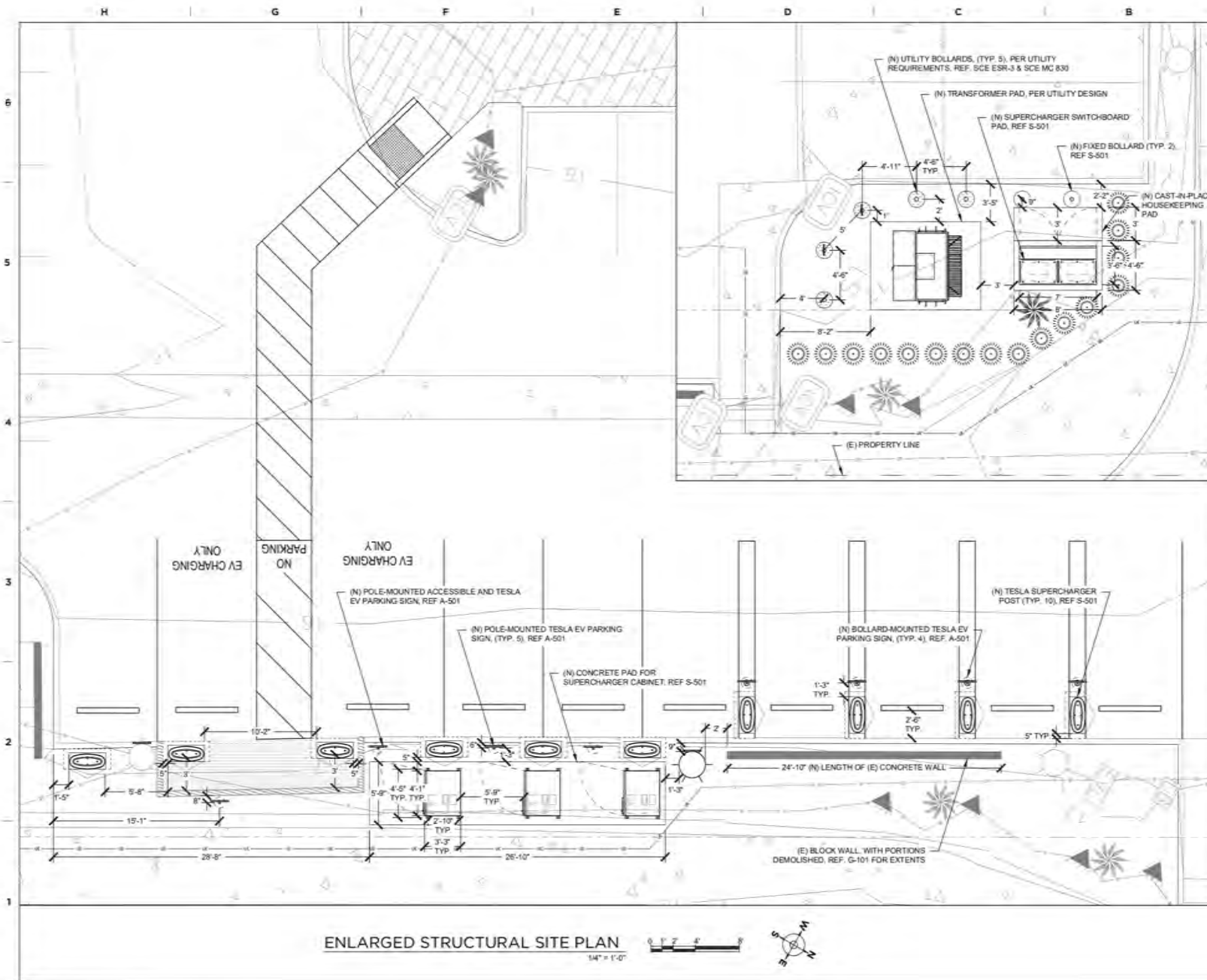
## DETAILS

A-501

JB-9029897-00

REV: 0 IFP





## SITE LEGEND

- (N) SUPERCHARGER POST
- (N) UTILITY BOLLARD
- (N) FIXED BOLLARD
- (N) SIGN MOUNTED ON (E) LIGHT POLE
- (N) SIGN
- (N) BOLLARD-MOUNTED SIGN

## STRUCTURAL DESIGN CRITERIA:

- DESIGN CODE:**  
2019 CALIFORNIA BUILDING CODE
- DESIGN CRITERIA:**
- WIND DESIGN
    - DESIGN WIND SPEED = 94 MPH (ULTIMATE)
    - RISK CATEGORY = II
    - WIND EXPOSURE = C
  - SEISMIC DESIGN
    - RISK CATEGORY = II
    - SEISMIC IMPORTANCE FACTOR = 1.0
    - SITE CLASS = D
    - $S_s = 1.87 / S_1 = 0.657$
    - $S_d = 1.486 / S_1 = 0.745$
    - SEISMIC DESIGN CATEGORY = II
    - BASIC SEISMIC FORCE-RESISTING SYSTEM = NON-STRUCTURAL COMPONENT
    - $R = 2.5 / a_p = 1.0$
  - GEOTECHNICAL INFORMATION
    - ALLOWABLE BEARING PRESSURE = 1500 PSF USED FOR EQUIPMENT FOUNDATION

## NOTES:

- PAD EXTENTS AND FOOTING TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- SWITCHBOARD DIMENSIONS AND ANCHOR LOCATIONS ARE LIABLE TO CHANGE. CONTRACTOR TO VERIFY AGAINST VENDOR FINAL SHOP DRAWINGS.
- UTILITY EQUIPMENT FOUNDATION DIMENSIONS AND LOCATIONS FOR UTILITY. CONTRACTOR TO VERIFY AGAINST EXECUTED UTILITY DESIGN.
- UTILITY BOLLARDS PER UTILITY REQUIREMENTS. CONTRACTOR TO VERIFY AND COORDINATE WITH UTILITY ON LOCATION, QUANTITY, AND SPECS.

**TESLA**

3501 DEER CREEK RD.  
PALO ALTO, CA 94304  
(800) 611 8000

ORIGINAL SIZE 24"x36"  
SHEET SIZE ARCH "D"



Kirill Voronov  
Digitally signed by Kirill Voronov  
Date: 2022.06.27 16:29:18 -07'00'

TESLA SUPERCHARGER\_MARINA DEL REY, CA  
10 SUPERCHARGERS  
TESLA SUPERCHARGER\_MARINA DEL REY, CA  
4637 ADMIRALTY WAY - SUITE EV,  
MARINA DEL REY, CA 90292

DATE	01/14/22
REVISION	
NO.	A
DESCRIPTION	LANDSCAPE PLAN

**ENLARGED SITE PLAN**

**S-301**

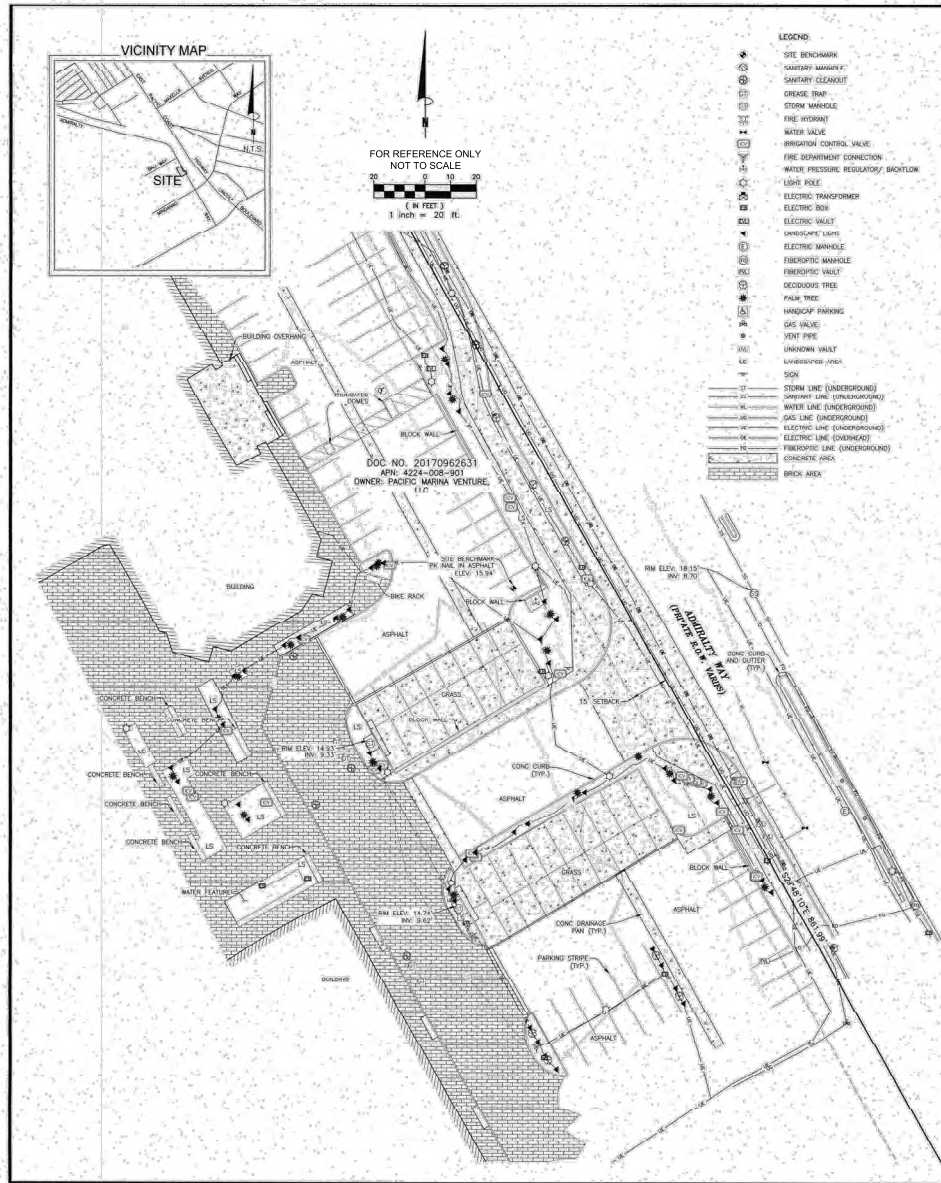
**JB-9029897-00**

REV: A IFP

PROPRIETARY AND CONFIDENTIAL







- LEGEND:**
- SITE BENCHMARK
  - SANITARY MANHOLE
  - SANITARY CLEANOUT
  - GREASE TRAP
  - STORM MANHOLE
  - FIRE HYDRANT
  - WATER VALVE
  - IRRIGATION CONTROL VALVE
  - FIRE DOWNHILL CONNECTION
  - WATER PRESSURE REGULATORY SHOCKTAM
  - LIGHT POLE
  - ELECTRIC TRANSFORMER
  - ELECTRIC BOX
  - ELECTRIC VAULT
  - UNDERGROUND LIGHTS
  - ELECTRIC MANHOLE
  - FIBEROPTIC MANHOLE
  - FIBEROPTIC VAULT
  - DECIDUOUS TREE
  - PAVING TREE
  - HANDICAP PARKING
  - GAS VALVE
  - VENT PIPE
  - UNDERGROUND VAULT
  - UNDERGROUND JOINT
  - SEWER
  - STORM LINE (UNDERGROUND)
  - SEWER LINE (UNDERGROUND)
  - WATER LINE (UNDERGROUND)
  - GAS LINE (UNDERGROUND)
  - ELECTRIC LINE (UNDERGROUND)
  - ELECTRIC LINE (OVERHEAD)
  - FIBEROPTIC LINE (UNDERGROUND)
  - CONCRETE PAV.
  - BRICK AREA

**PROPERTY DESCRIPTION:**

A portion of Assessor's Parcel Number 4224-008-001 as described in Memorandum of Amended Lease and Related Lease Agreement recorded at Document Number 2017082631 in the Official Records of Los Angeles County, California.

**SCHEDULE B2 EXCEPTIONS:**

- Item 190 -  
Covenant and Agreement 06/19/2013 Document No. 2013091370  
-IS NOT LOCATED ON THE SURVEY AREA.  
Recorded Easement Agreement 09/02/2013 Document No. 2013128449.  
-IS NOT LOCATED ON THE SURVEY AREA.  
First Amendment to Recorded Easement Agreement 12/30/2014 Document No. 2014142318.  
-IS NOT LOCATED ON THE SURVEY AREA.
- Items not listed above are determined non-survey related items and are not plotted hereon.

**NOTES:**

1. This is not intended to be a full boundary survey, the property lines depicted here on are based upon records information provided in a Search Report, prepared by First Corporate Solutions with an order number of ORD-177990-KON/MA, dated January 8, 2021, and related to best fit existing improvements.
2. Any underground utilities shown here on were located from field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This site was located as shown on the map.
3. FEDERAL EMERGENCY MANAGEMENT AGENCY FEMA Floodmap published February 12, 2021, referenced Flood Insurance Rate Map, Map Number 98033C1752P effective date 09/26/2008, indicates the parcel of land is located in Zone X (Area of Minimal Flood Hazard).
4. This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of records. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. filed upon a Chain Report, prepared by First Corporate Solutions with an order number of ORD-177990-KON/MA, dated January 8, 2021.
5. Elevations are based on NAVD 88 datum.
6. BENCHMARK: PK Nail in Asphalt, as shown, Elevation: 15.94' (NAVD 88).
7. BASIS OF BEARINGS: Bearings are relative to MAGN, California State Plane Coordinate System, Zone 5 (0405).
8. Field work for this survey was completed on February 9, 2021.
9. The owner names and tax parcel data shown hereon are based upon the public records available at the original date of this survey. Current ownership and tax parcel data should be verified for accuracy.
10. This site is zoned "SOF" (Specific Plan) per Los Angeles County Planning Department.  
Building setbacks:  
Front: 15', Side: 5' Rear: 5'  
No zoning information provided by the client. Zoning setbacks shown hereon are the interpretation of the surveyor. For clarification of exact zoning designations and setback locations, please, contact the Los Angeles County Planning and Zoning Department at (213) 974-9275.

**AREAS OF CONCERN:**

No apparent areas of concern.

**SURVEYOR'S STATEMENT:**

On the basis of my knowledge, information and belief, I hereby state and declare that this drawing was prepared under my direct supervision to the best of my knowledge and belief, I am a duly licensed Professional Land Surveyor in the State of California and that the information shown hereon is true and correct to the best of my knowledge and belief.

This statement is neither a warranty nor a guarantee, either expressed or implied.

Trent J. Keadon  
California Professional Land Surveyor No. 8396  
For and on behalf of Clark Land Surveying, Inc.



**Clark Land Surveying, Inc.**  
17750 Wilshire Blvd., Suite 200  
Los Angeles, CA 90047 • (310) 552-1070  
www.clarksurvey.com

Revisions	Description	By	Date

**SITE NAME:**  
Pier 44

**ENGINEERING DESIGN SURVEY**  
A PORTION OF  
ASSESSOR'S PARCEL NUMBER 4224-008-091  
CITY OF MARINA DEL REY, LOS ANGELES COUNTY, CALIFORNIA

Project: 21099  
Drawn By: JAK  
Checked By: JAK  
Date: 02/13/2021  
Sheet: 1 of 1





TESLA SUPERCHARGER  
MARINA DEL REY, CA

## Tesla Supercharger Proposal

4637 Admiralty Way, Marina del Rey, CA



## Proposal

### OPTION 1: NO SCREENING

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards

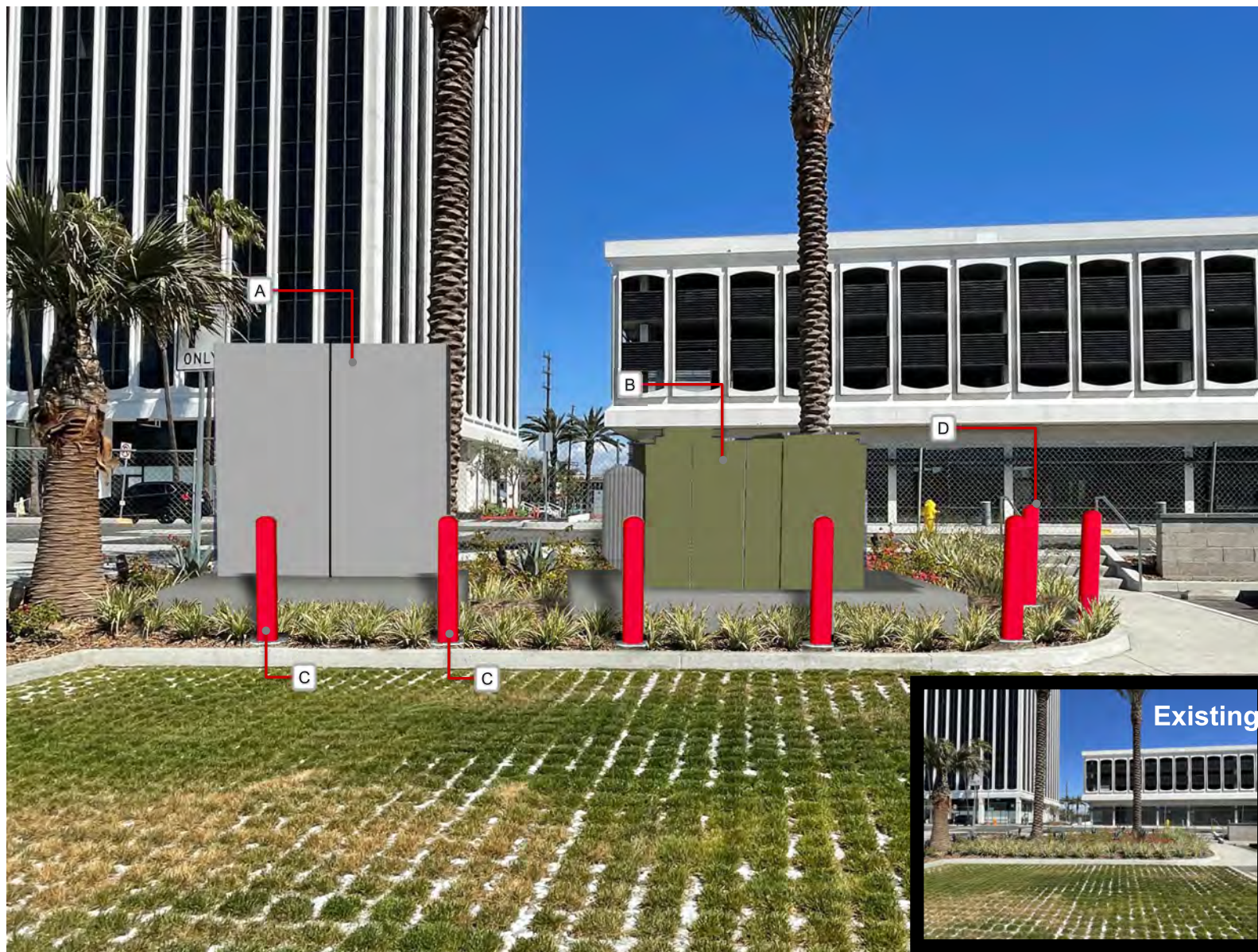


Photo Simulation View 2



## Proposal

### OPTION 1: NO SCREENING

A Screening Shrubs



Existing

Photo Simulation View 3



## Proposal

### OPTION 2: SHRUB SCREENING

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards
- E Screening Shrubs

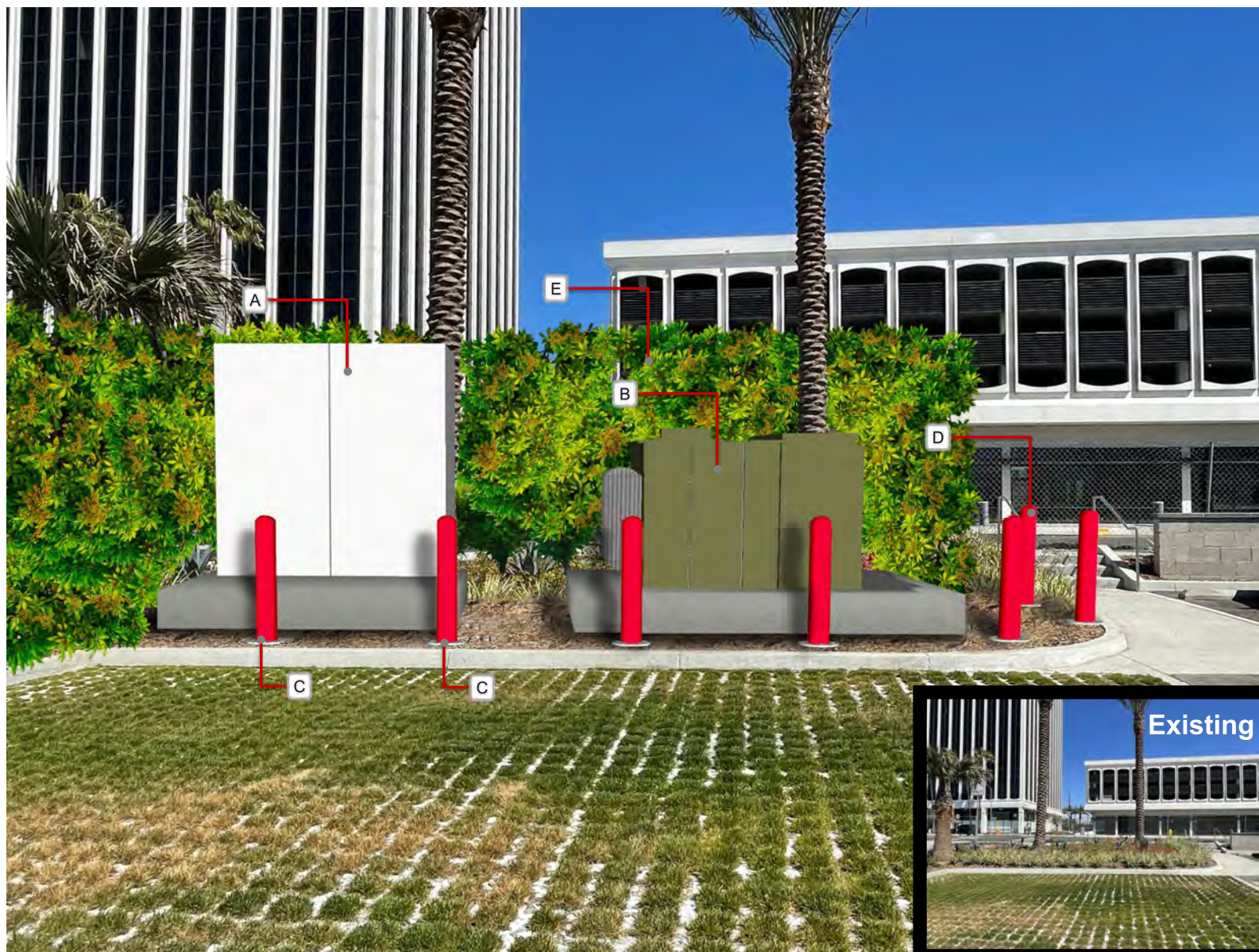


Photo Simulation View 2



## Proposal

### OPTION 2: SHRUB SCREENING

A Screening Shrubs



Photo Simulation View 3



## Proposal

### OPTION 3: TREE SCREENING

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards
- E Screening Trees

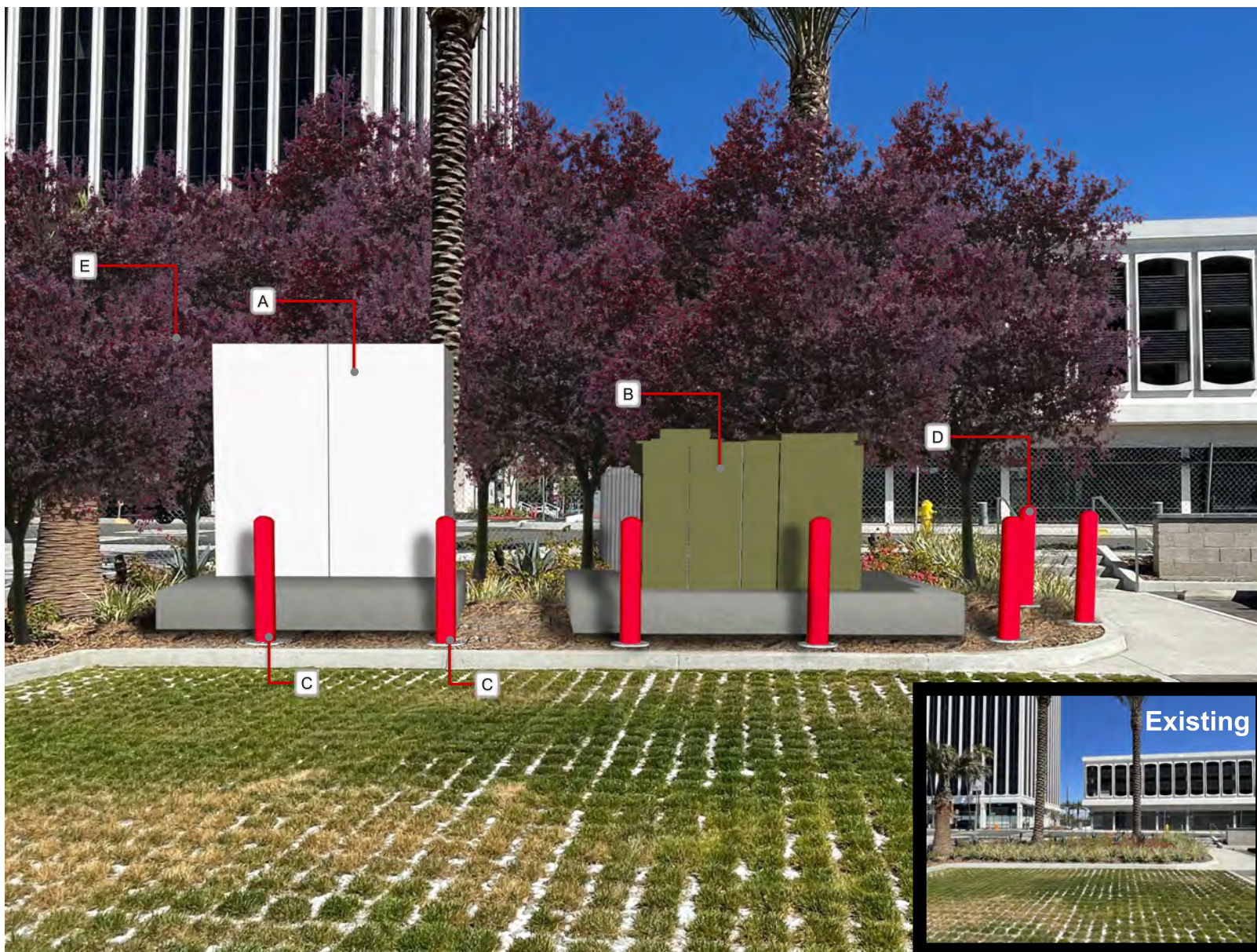


Photo Simulation View 2



TESLA

## Proposal

### OPTION 3: TREE SCREENING

A Screening Trees



Photo Simulation View 3



## Proposal

### OPTION 4: CAMOUFLAGE VINYL WRAP

- A Switchgear with vinyl wrapping
- B Transformer with vinyl wrapping
- C Fixed Bollards
- D Utility Bollards



Photo Simulation View 2

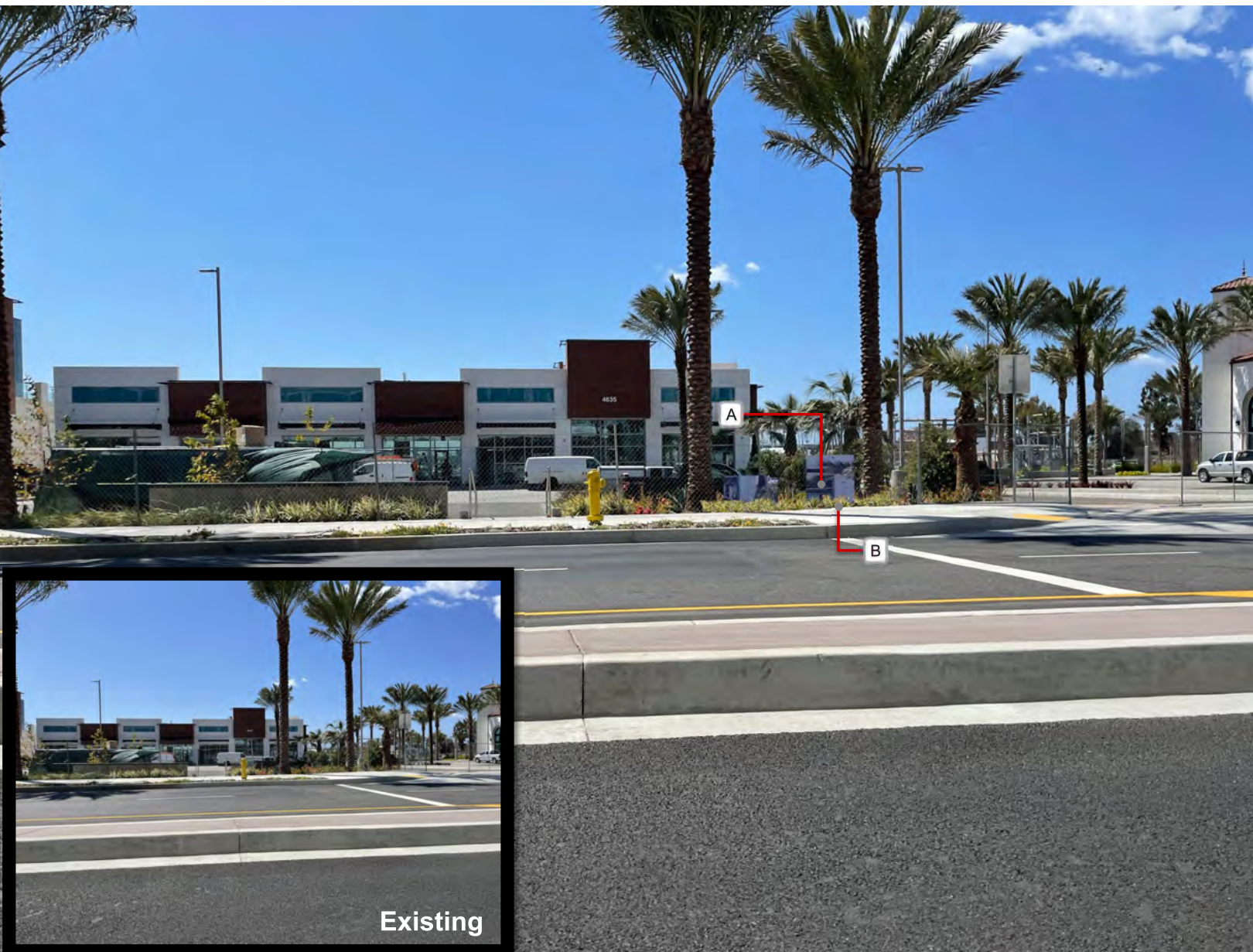


TESLA

## Proposal

### OPTION 4: CAMOUFLAGE VINYL WRAP

- A Electrical Equipment
- B Screening Shrubs





TESLA

## Proposal

- A Supercharger Cabinet
- B Supercharger Post
- C Tesla EV pole signpost
- D Tesla EV mounted sign
- E Bollard-Mounted EV sign
- F ADA Curb Ramp
- G ADA full depth asphalt paved area



Existing

Photo Simulation View 1



Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 5A – PARCEL BB – LOYOLA MARYMOUNT UNIVERSITY BOVE BOATHOUSE – DCB #23-007 – CONSIDERATION OF EXTERIOR IMPROVEMENTS AND NEW SIGNAGE**

Item 5A on your agenda is a submittal from Loyola Marymount University (LMU or Applicant), seeking approval for exterior improvements and new signage at the LMU Bove Boathouse. The project is located at 13669 Fiji Way.

## **PROJECT OVERVIEW**

### Background

On August 18, 2016, your Board approved a project to modify the existing dock gates and provide new fencing to enhance security at the site.

### Existing Conditions

The LMU Bove Boathouse, which is located on a floating dock on waterside Parcel BB, has two ramps that connect to the promenade at Parcel W. The main ramp is accessed through a 7' tall dock gate that is framed by an archway sign with three decorative oars on either side. A 3'-6" tall secondary gate previously existed at the site and 3'-6" tall railing is currently located along the perimeter of the promenade.

### Proposed Project

The Applicant is requesting retroactive approval for the installation of a new dock gate and side panels. In addition, the Applicant proposes to repaint the existing gate and railing at the edge of the parking lot, and install five new tenant identification signs.

## **SITE DESIGN**

The Applicant requests retroactive approval for installing a new 7' tall dock gate and associated side panels at the secondary entrance to the site, to match the existing main dock gate height for security purposes. The new gate includes ½ inch vertical galvanized steel bars to match the existing gate and replaces a previously existing 3'-6" tall gate. Furthermore, the Applicant proposes to repaint all gates and railing along the sea wall fronting the boathouse from dark blue to 8C cool gray.



## **SIGNAGE**

### **Building Facade**

The Applicant proposes to install four wall-mounted tenant identification signs on the existing boathouse building. Sign 2 would be located on the south side of the building, facing the existing parking lot. The back lit sign would measure approximately 2'-4" tall by 11' wide, read "LMU" with a red and white lion logo, and be installed approximately 5' above grade. Signs 3 and 5 would be identical, with one installed on the west side of the building facing the main channel, and the other installed on the north side of the building facing Basin G. Each sign would measure approximately 7'-6" wide by 3' tall, read "LMU", and be installed approximately 6' above grade. Sign 4 would be a two-part sign installed above boat bays 1 and 2 on the north side of the building. The first part of the sign would be placed above boat bay 1, measure approximately 5'-6" wide by 2'-6" tall and read "LMU" with red and white lion logo. The second part of the sign would be placed above boat bay 2, measure 6'-6" wide by 2'-6" tall and read "Rowing". Sign 4 would be installed approximately 8' above grade. The signs would feature *207C red, 2185C blue, 3C cool gray*, black, and white tones.

### **Freestanding Column or Tower**

The Applicant proposes to replace an existing sign panel within the archway at the main dock gate that leads to the boathouse. The sign, Sign 1, would measure approximately 6'-10" wide by 2'-8" tall, read "LMU JANE BROWN BOVE BOATHOUSE", and be installed 12' above grade. The existing oars adjacent to the sign panel would be repainted using red, blue, and white tones.

## **STAFF REVIEW**

Staff finds that the proposed project is generally consistent with the Marina del Rey Design Guidelines. Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning and California Coastal Commission for conformity with the Marina del Rey Revised Permanent Sign Controls.

**Staff recommends APPROVAL of DCB #23-007, subject to the following conditions:**

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) The Applicant shall obtain approval from the California Coastal Commission.**
- 3) No change shall be made to the approved design without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 4) No substantial change shall be made to the approved design without the written consent of the Design Control Board.**





# **Bove Boathouse**

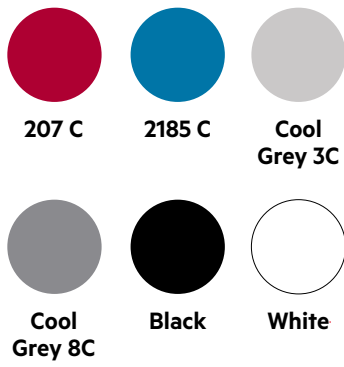
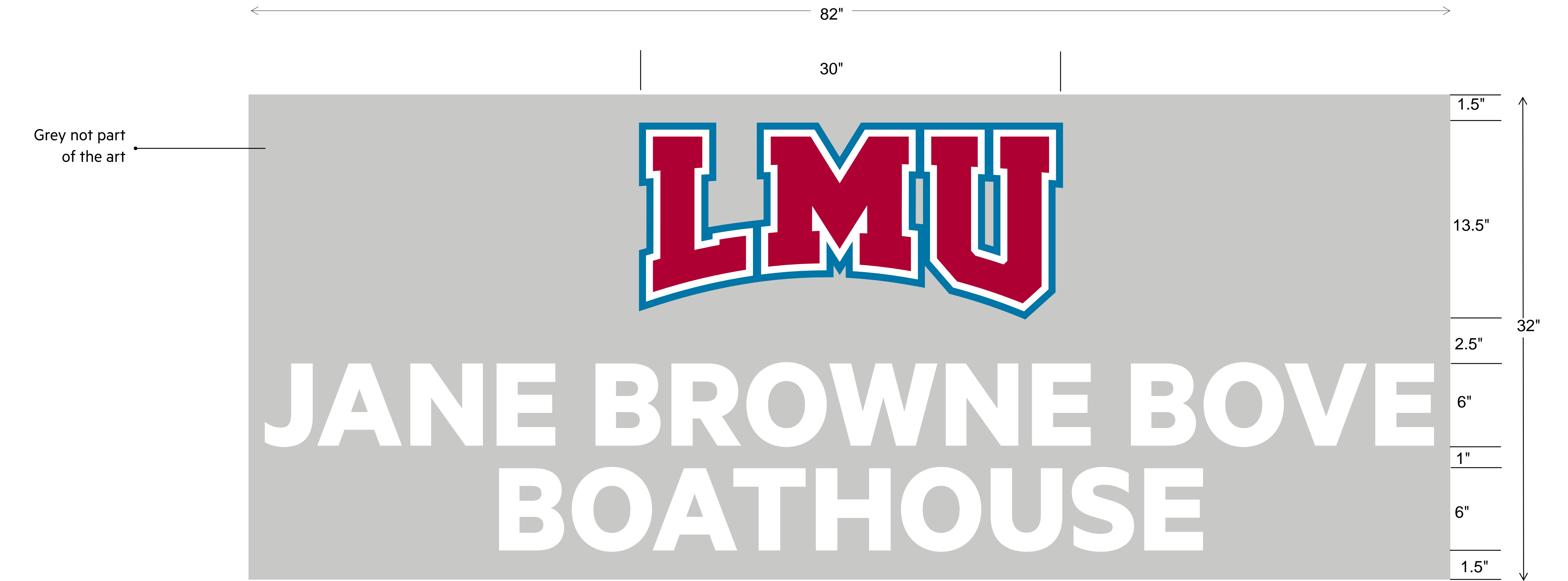
13669 Fiji Way, Marina Del Rey, CA 90292

**Vendor Install Plan**









Oars to match LMU Crimson, LMU Blue, and White colors in logo. Gate and railings to be Cool Gray 8C.



Sign 1 - Building Name



Backlit Logo

Backlit Logo



Day View



Backlit Logo

Backlit Logo



Night View





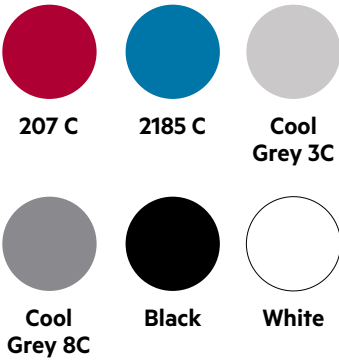
LMU Athletics Arch

Sign 3 - LMU Athletics Logo



LMU SpiritMark Lockup Acronym

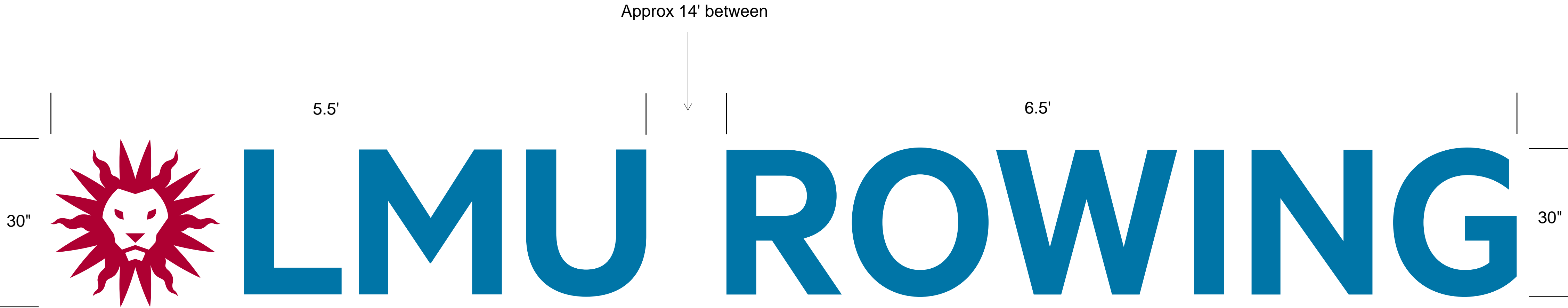
Sign 2 - LMU + Spirit Mark











LMU Spirit Mark Rowing Lockup

Sign 4 - LMU Rowing + Spirit Mark

207 C

2185 C

Cool Grey 3C

Cool Grey 8C

Black

White





Backlit Logo

Day View





Backlit Logo

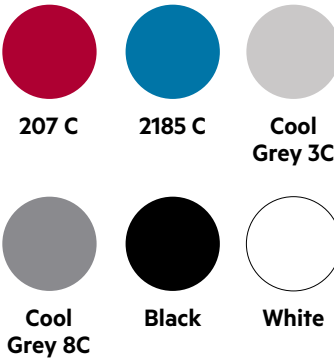
Night View





LMU Athletics Arch

Sign 5 - LMU Athletics Logo







Sign 2

Sign 3

Sign 4

Sign 1

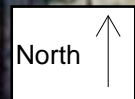
Sign 5







Gate and left side panel were replaced to match height of adjacent existing gate.







New building ID sign

82 IN

EXTENDED GATE 43"  
TO MATCH EXISTING GATE

32 IN

2FT

43 IN

13 FT

11 FT

Gate and side panel replacement for security. Paint entirety of guard rails and gates along waterfront.



Thank You





Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 5B – PARCEL 44 – PACIFIC MARINA VENTURE, LLC / ALFRED –  
DCB #23-008 – CONSIDERATION OF NEW SIGNAGE AND AWNING**

Item 5B on your agenda is a submittal from Alfred (Applicant), seeking approval for new signage and an awning. The project is located at 4625 Admiralty Way.

## **PROJECT OVERVIEW**

### Existing Conditions

Parcel 44 consists of approximately 8.39 landside acres and 4.68 waterside acres. The landside portion has frontages on Admiralty Way, Mindanao Way, Bali Way and Basin G. Parcel 44 is developed as the “Boardwalk Marina del Rey” shopping center, which consists of eight buildings with a total area of 82,652 square feet. The site includes Marine Commercial, Boat Storage and Visitor-Serving/Convenience Commercial uses, in addition to two outdoor plazas with tiered stadium seating, waterfront views, an anchorage, bike path, and outdoor dining. Alfred is a coffee shop within Building VI, which is located near the intersection of Bali Way and Admiralty Way.

### Proposed Project

The Applicant requests a retroactive approval of installed tenant identification signage, vinyl signage, and an awning. Additionally, the Applicant requests approval of two new tenant identification signs.

## **BUILDING DESIGN**

### Building Facade

The Applicant installed a black and white canvas awning above the main storefront entrance measuring 9’-4” wide by 6’-8” tall. The awning is installed 15’-4” above grade.

## **SIGNAGE**

### Building Facade

The Applicant installed a wall-mounted tenant identification sign above the main entrance of the tenant space, facing Admiralty Way. The black channel letter sign measures approximately 7’-3” wide by 2-5” tall and reads “Alfred” with antlers integrated into the





letter “A”. The sign features 3” deep internally illuminated LED reverse channel letters with 1½” spacers.

The Applicant proposes to install two new wall-mounted tenant identification signs. Both signs would be installed above the secondary entrances to the site, with one facing Admiralty Way and the other facing the interior of the shopping center. The signs would measure approximately 5’ wide by 4¼” tall, read “Alfred Coffee”, and feature ¼” deep, non-illuminated, black, acrylic channel letters. All wall-mounted tenant identification signs would be installed approximately 19’ above grade.

The Applicant also installed vinyl door signage at entrances to the tenant space. The signs on the left door of the main and west entrances measure approximately 1’-2” wide by 1’-2” tall and includes an “A” with antlers. The signs on the right door of the main and west entrances measure 1’-3” wide by 4” tall and read “Alfred” followed by “But First, Coffee”. The sign at the bottom right door of the main entrance measures 6” wide by 2” tall and reads “107” to indicate the tenant’s building suite number. The sign at the east entrance also measures 1’-3” wide by 4” tall and reads “Alfred” followed by “But First, Coffee” along with 15” wide by 4-8” tall directional signage that reads “Please Use Main Entrance” with an arrow above the letters. All vinyl signs are white and installed approximately 4’ above grade.

#### Illumination

Signs would be illuminated from 5 p.m. until 11 p.m. or one hour after the last tenant closes per the DCB-approved master sign program for the shopping center.

#### **STAFF REVIEW**

Staff finds that the proposed project is generally consistent with the Marina del Rey Design Guidelines and the Boardwalk Marina del Rey Sign Program. Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.

**Staff recommends APPROVAL of DCB #23-008, subject to the following conditions:**

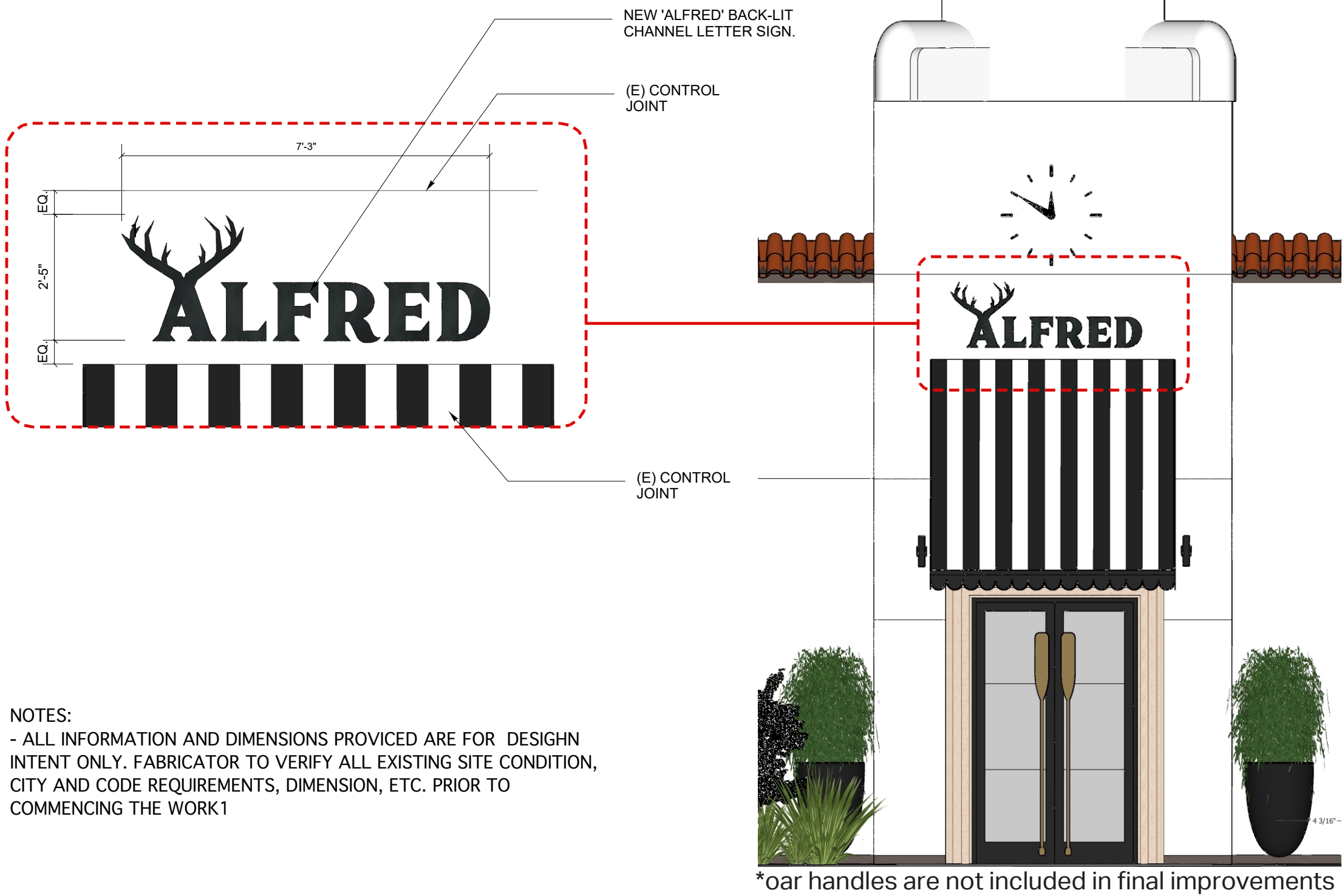
- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design without the written consent of the Design Control Board.**







# SIGNAGE



ALFRED MDR - EXTERIOR SIGNAGE

SCALE: N.T.S.

FOR DESIGN INTENT ONLY-NOT FOR CONSTRUCTION  
TO SCALE ON 11"x17" MEDIA ONLY

EXTERIOR SIGNAGE  
**DSK - 002**

ALFRED  
MDR  
STUDIO**sucio**  
1000 E. 10TH AVE. SUITE 100  
DENVER, CO 80202  
(303) 733-1111

07.19.22

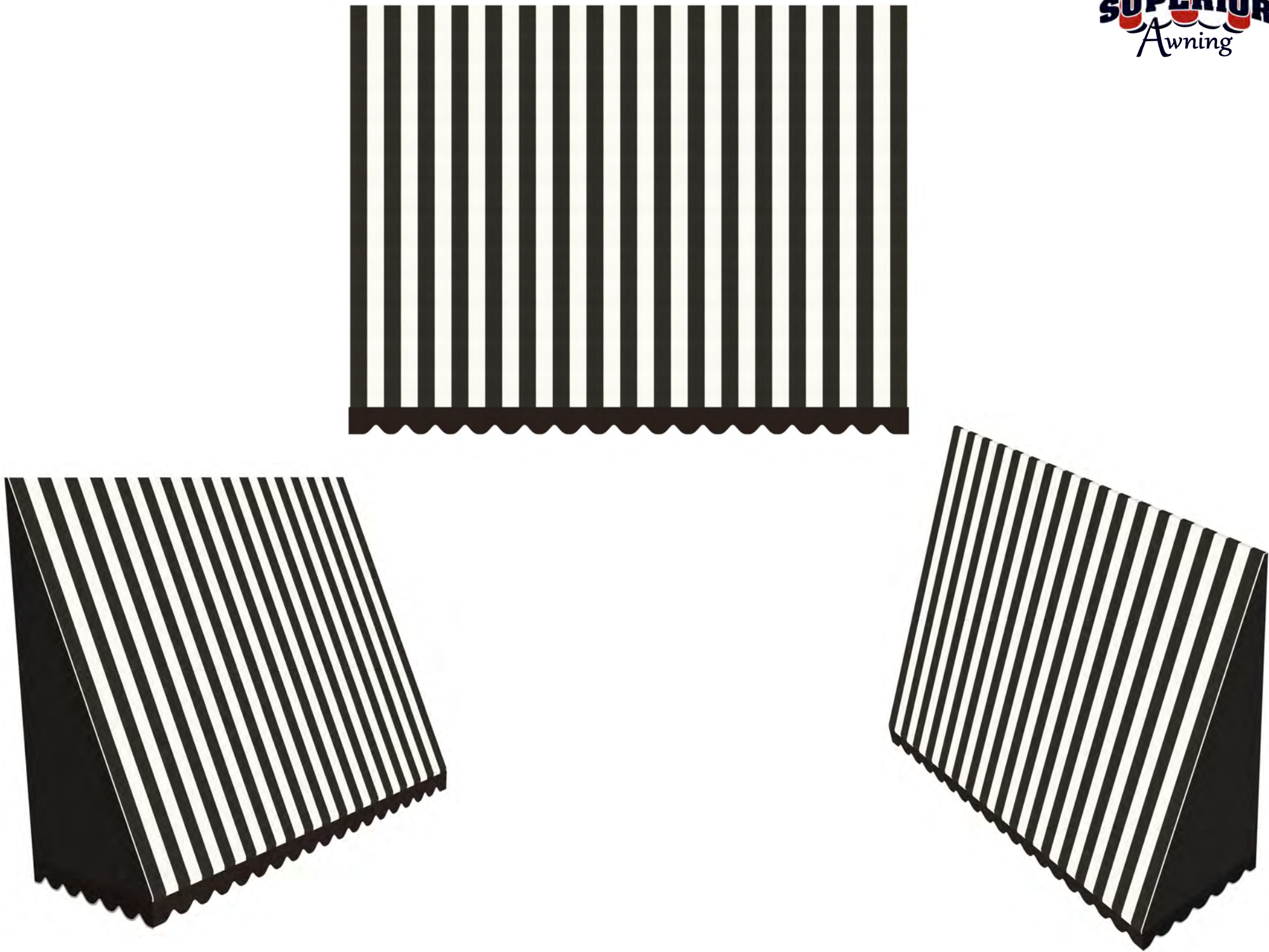




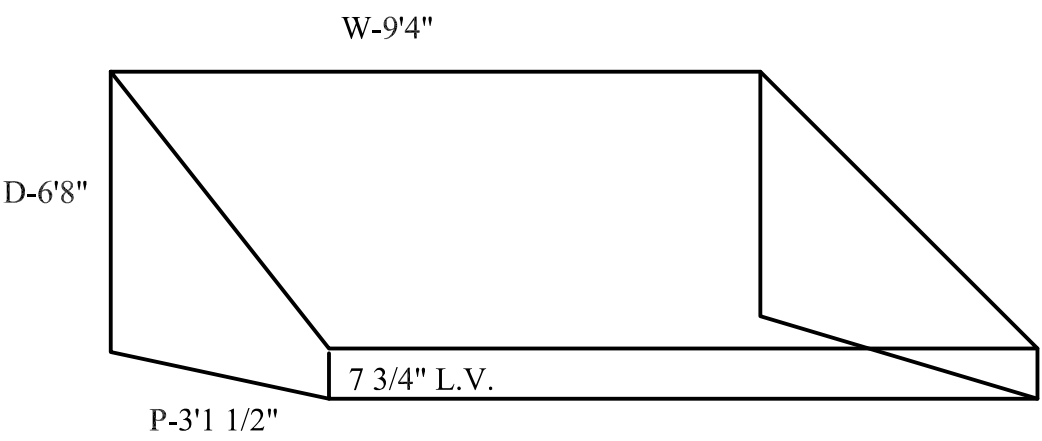
# AWNING

ALFRED LA.

STANDARD STYLE CANVAS AWNING.



Alfred LA



angel  
jeremy  
8-23-22  
#22080401-40





FRONT VIEW



LEFT VIEW



RIGHT VIEW





Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 5C – PARCEL 28 – WAYFARER APARTMENTS – DCB #23-009  
CONSIDERATION OF EXTERIOR REPAINTING**

Item 5C on your agenda is a submittal from Wayfarer Apartments (Applicant), seeking approval for exterior repainting. The project is located at 14000 Palawan Way.

#### Existing Conditions

The project site is approximately 8.5 acres and is bordered by Del Rey Yacht Club to the east, public parking Lot #9 to the west, and the main channel to the north and south. The parcel is currently developed with a 379-unit residential community called Wayfarer Apartments, which consists of seven three-story residential buildings and a club house constructed over a two-level, semi-subterranean garage podium.

#### Proposed Project

The Applicant proposes to repaint the exterior of the apartment buildings and club house, including all exterior wood and metal surfaces, doors, trims, siding, stucco, building walls, fencing, balconies, and gates.

### **BUILDING DESIGN**

#### Exterior Colors

The Applicant proposes to repaint the exterior of the site with shades of blue, green, and off white. The proposed color scheme would feature a gradation of five colors. All floors would be painted with Sherman Williams colors. The first floor would be painted Oceanside SW6496. The second floor would be painted Great Falls SW6495, Cloudburst SW6487, and Aloe SW6464. The third and fourth floor would be painted Dover White SW6385.

### **STAFF REVIEW**

Staff finds that the Applicant has selected a color palette that is representative of the Marina del Rey Design Guidelines Design Objective 1b, which encourages designs that





complement the unique surrounding environment and feel fun, contemporary, and “beachy.”

**Staff recommends APPROVAL of DCB #23-009, subject to the following conditions:**

- 1) No change shall be made to the approved design without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 2) No substantial change shall be made to the approved design without the written consent of the Design Control Board.**

GJ:WO:ts





# WAYFARER®

Apartments + Marina

## MARINA MAP



14000 Palawan Way, Marina del Rey, CA 90292

P 310-822-2001 F 310-822-4840

[LiveWayfarer.com](http://LiveWayfarer.com)















Option 2

Sherwin Williams  
Dover White SW6385

Sherwin Williams  
Oceanside SW6496

Sherwin Williams  
Great Falls SW6495

Sherwin Williams  
Cloudburst SW6487

Sherwin Williams  
Aloe SW6464







Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 5D – PARCEL BR – AUBREY E. AUSTIN JR. PARK – DCB #23-010 - CONSIDERATION OF SITE IMPROVEMENTS**

Item 5D on your agenda is a submittal from the Department of Beaches and Harbors (DBH), seeking design approval for site improvements at Aubrey E. Austin Jr. Park (Aubrey Austin Park). The project is located at 4500 Via Marina.

## **PROJECT OVERVIEW**

### Background

On August 23, 2023, the Department of Regional Planning issued a coastal development permit (CDP) exemption for the proposed site improvements at Aubrey Austin Park. The proposed project is coming before your Board for final design approval.

### Existing Conditions

Aubrey Austin Park is a .30-acre waterfront park located at the end of Via Marina, adjacent to Mainers Village Apartments and the Main Channel. The park consists of paved walkways and viewing areas to the Marina channel. The park is within walking distance to Dockweiler Beach and the Ballona Lagoon.

### Proposed Project

The proposed project consists of various site improvements at the park including modifications to sidewalk and walkway configurations, paving treatments, reconstruction of an existing driveway, relocation of existing monument plaques, and the addition of new furnishings.

## **SITE DESIGN**

### Hardscape

DBH proposes improvements to the existing design for the park that would bring the existing concrete walkways into compliance with current ADA requirements, remove redundant pathways, and better accommodate the flow of pedestrians. A segment of the existing sidewalk along Via Marina would be removed and a new pedestrian walkway





would be installed to connect pedestrians entering the park from the sidewalk at the north of the park to the waterfront promenade. The walkway would be flanked on either side with *graphite gray* colored stabilized decomposed granite. Stainless steel edging would enclose the decomposed granite areas. The proposed project would also include reconstruction of an existing concrete driveway ramp along Via Marina. Cast in place ADA tactile systems would be installed in the driveway with two gray 6" removable bollards.

On March 16, 2022, your Board approved a project at the neighboring Mariners Village Apartments (Parcel 113), which included enhancements to the leasehold's promenade and removal of the existing perimeter gates. This would open the leasehold's promenade to the public and create a continuous promenade connecting to Aubrey Austin Park and the rest of the Dr. William A. Burke Marina Walk Promenade. The Mariners Village project proposed to install a wave paving pattern along the promenade. Pebbles and shells would be seeded within the accent band to enhance the maritime character of the corridor. DBH proposes to continue this design at Aubrey Austin Park.

#### Amenities

Four new sunset orange lounge chairs would be permanently installed within the stabilized decomposed granite area adjacent to a new sedimentary concrete low wall along Via Marina, and several French gray colored concrete benches would be installed along the promenade. An existing monument plaque would be relocated to a newly installed sedimentary concrete podium in the lounge chair area. Trash receptacles would be replaced with upgraded models and a new pet waste bag dispenser would be installed.

#### Landscaping

Existing mature trees and their root zones will remain and be protected during construction. The proposed project would include the installation of four 24" box *Metrosideros excelsa* (New Zealand Christmas) trees along Via Marina. DBH proposes new landscaping throughout the site which would consist of the following shrubs and groundcover:

Proposed Shrubs and Groundcover	
Botanical Name	Common Name
Dianella Revoluta	Flax Lily
Lomandra Longifolia	Evergreen Baby Matt Rush
Festuca Glauca	Elijah Blue

The irrigation system would be upgraded to allow for efficient and effective watering of turf, shrubs, and young trees while avoiding overwatering of mature trees.

#### **STAFF REVIEW**

Staff finds that the project is generally consistent with the Marina del Rey Design Guidelines (Design Guidelines). Aubrey Austin Park is a popular Marina del Rey destination, frequented by thousands of County residents and visiting patrons each year.



As established in the Design Guidelines, Aubrey Austin Park should continue to provide flowering canopy trees, shaded seating, landscaping, and interpretive elements. The cantilevered overlooks should be enhanced with paving and railings and sustainable landscaping techniques and principles should be used. The proposed project would enhance pedestrian access and enjoyment of the Marina's scenic vistas. In addition, the new and updated design would preserve and protect existing mature trees while continuing to support safe and healthy recreational uses.

#### Board Briefings

Two separate board briefings were held between DBH staff, Board Member Cho, and Chair Coffee on August 17, 2022. The Board Members commented that the design should incorporate additional permeable hardscapes, tree canopies should reflect more realistic diameters on the plans, and any low impact development (LID) components being used should be described. In addition, concerns about accessible seating opportunities, the distance of the lounge seating area from the street, and the need to add additional fill around roots to protect existing coral trees were expressed. There was also a request to remove the lawn area near the seawall and replace it with new plants, in addition to adding a pet waste station, and ensure that the promenade design from the neighboring Mariner's Village Apartments would be used for the Aubrey Austin Park promenade to create a continuous promenade design.

Staff has revised the project design to address DCB members' comments and plans have been updated accordingly. While most of the turf along the seawall was removed, a small portion was retained for users to enjoy this picnicking feature of the park. An LID report prepared for the project determined that the proposed landscape and grading provides a substantial improvement to the control of the low pollution potential of the park. The sunset orange lounge chairs and stone benches are considered ADA-accessible and would be installed along the ADA path of travel. The sedimentary concrete wall is intended as protection on the street-side for the lounge chair seating and all seating for the park are single use. In addition, the seating area's location was selected because it is the center of the park, near a walkway, and is in an elevated area. According to the tree planting detail, there would be 3" of deep wood mulch around the base of each tree. Understory plantings will be planted outside of the limits of the exposed roots, exposed root area will be mulched, and work in the root zones including plantings shall be coordinated in the field and observed by a qualified arborist.

Two additional board briefing meetings were held on September 20, 2023 with DBH staff and members of your Board. The first meeting included Board Members Cho and Brooks-Petty, while the second meeting included Chair Coffee and Board Member Suetsugu Overall, your Board expressed general support for the project design, and the project team provided clarifications for several project design elements including the promenade design and the concrete podium to be used for the existing plaque.

**Staff requests APPROVAL of DCB #23-010, subject to the following condition:**



- 1) No substantial change shall be made to the approved design without the written consent of the Design Control Board.**

GJ:WO:ts



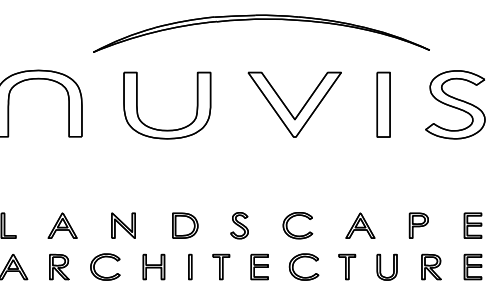
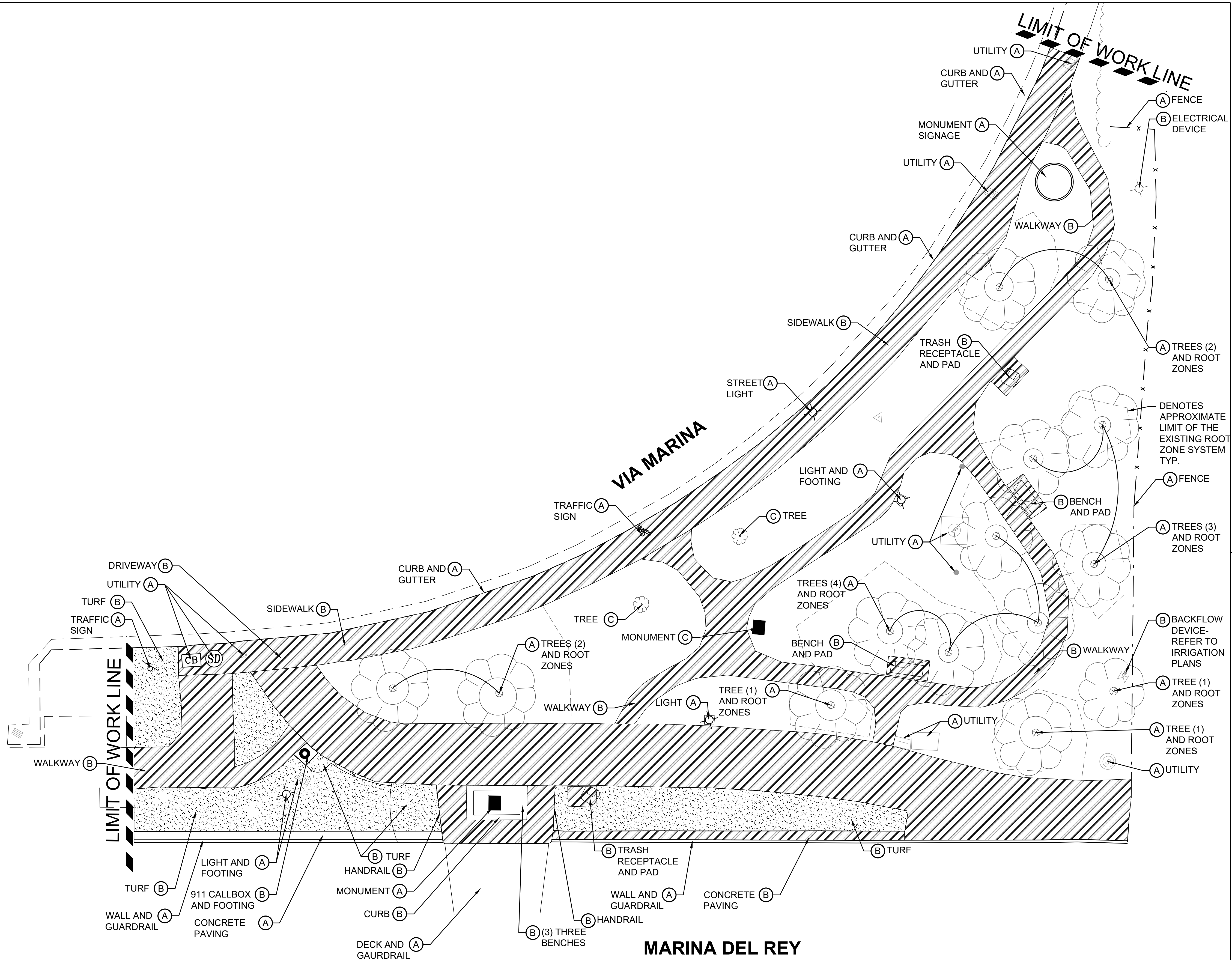
DEMOLITION PLAN NOTES

- 1. CONTRACTOR SHALL MEET WITH THE AUTHORIZED COUNTY'S REPRESENTATIVE AND ENGINEER PRIOR TO START OF CONSTRUCTION TO DISCUSS THE EXISTING CONDITIONS, EXTENT OF DEMOLITION, AND FENCING. PROVIDE & MAINTAIN ACCESS TO THE EXISTING FACILITIES. CONTRACTOR SHALL INCLUDE THE PROVISION OF ACCESS IN THEIR BID.
- 2. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES AND ASSURING ALL UTILITIES TO BE CUT OFF DURING REMOVAL. ALL ACTIVE UTILITIES SHALL BE PROTECTED AND TO REMAIN IN PLACE.
- 3. CARE SHALL BE TAKEN DURING DEMOLITION AND REMOVAL WORK TO AVOID DAMAGE TO EXISTING FACILITIES AND AMENITIES AS NOTED ON PLANS.
- 4. CONTRACTOR SHALL REMOVE AND DISPOSE OF PROPERLY OFFSITE ALL ITEMS NOTED FOR REMOVAL IN A LEGAL MANNER.
- 5. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL REMAIN & BE PROTECTED. REFER TO SPECIFICATION FOR THE TREE PRESERVATION NOTES.
- 6. REMOVAL OF ANY EXISTING TREE SHALL BE REVIEWED AND APPROVED BY THE ENGINEER & CITY ARBORIST PRIOR TO CONSTRUCTION.
- 7. CONTRACTOR SHALL SECURE PROJECT SITE DURING CONSTRUCTION STAGES OF DEVELOPMENT & AS DIRECTED BY COUNTY. CONTRACTOR SHALL PAY FOR AND PROVIDE ADDITIONAL TEMPORARY CONSTRUCTION FENCE AS NECESSARY TO SECURE SITE.
- 8. CONTRACTOR SHALL PAY FOR, PROVIDE, AND ATTACH A 6' HIGH GREEN SCREEN PRIVACY FENCE FABRIC TO THE TEMPORARY CONSTRUCTION FENCE. FABRIC SHALL BE ATTACHED TO INSIDE FACE OF THE FENCE, AND SHALL BE ATTACHED PER MANUFACTURER DETAILS AND SPECIFICATIONS. TEMPORARY FENCING SHALL BE CONSTRUCTED PRIOR TO SITE DEMOLITION & AS DIRECTED BY ENGINEER. FINAL LOCATION OF THE TEMPORARY CONSTRUCTION FENCE SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- 9. REMOVAL QUANTITIES NOTES ON PLANS ARE APPROXIMATE, CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES PRIOR TO BID.
- 10. COST INCURRED DUE TO REPAIR, AND OR REPLACEMENT OF EXISTING IMPROVEMENTS WHICH ARE NOT DESIGNATED FOR REMOVAL AND WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 11. ABANDONED PIPES SHALL BE CAPPED OR PLUGGED IN A MANNER APPROVED BY THE COUNTY'S AUTHORIZED REPRESENTATIVE.
- 12. CONCRETE INDICATED FOR REMOVAL SHALL BE CUT TO A TRUE LINE NEATLY SAWED EDGES. IF A SAWCUT IS WITHIN THREE FEET (3') OF AN EXISTING EXPANSION OR CONTROL JOINT, CONCRETE SHALL BE REMOVED TO THAT JOINT OR EDGE.

REMOVAL LEGEND

- (A) PROTECT IN PLACE (ITEM AS NOTED) SHOWN
- (B) REMOVE (ITEM AS NOTED) SHOWN
- (C) RELOCATE AND ADJUST- PER CONSTRUCTION AND PLANTING PLANS

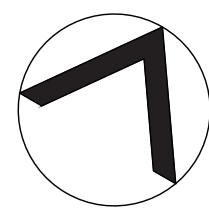
- EXISTING CONCRETE- REMOVE APPROXIMATELY 5,425 SF
- TURF REMOVAL



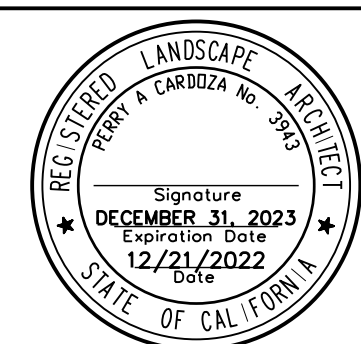
CADD PROJECT FILE NAME  
CHECKER T. MUNOZ  
DESIGNER T. MUNOZ  
DRAFTER J. GUADARRAMA

SCALE: 1" = 10'-0"

0' 5' 10' 20' 40'



DATE	MARK	DESCRIPTION
REVISIONS		



PERRY A CARDOZA  
PROJECT ENGINEER

LOS ANGELES COUNTY PUBLIC WORKS		
AUBREY AUSTIN PARK IMPROVEMENT LANDSCAPE DEMOLITION PLAN		
DWG XX-X-XXX.X	PD XXXXXXXX	SHEET LD-1 OF 20

100% SUBMITTAL NOT FOR CONSTRUCTION UNOFFICIAL AND SUBJECT TO CHANGE  
DATE: 12-06-2022

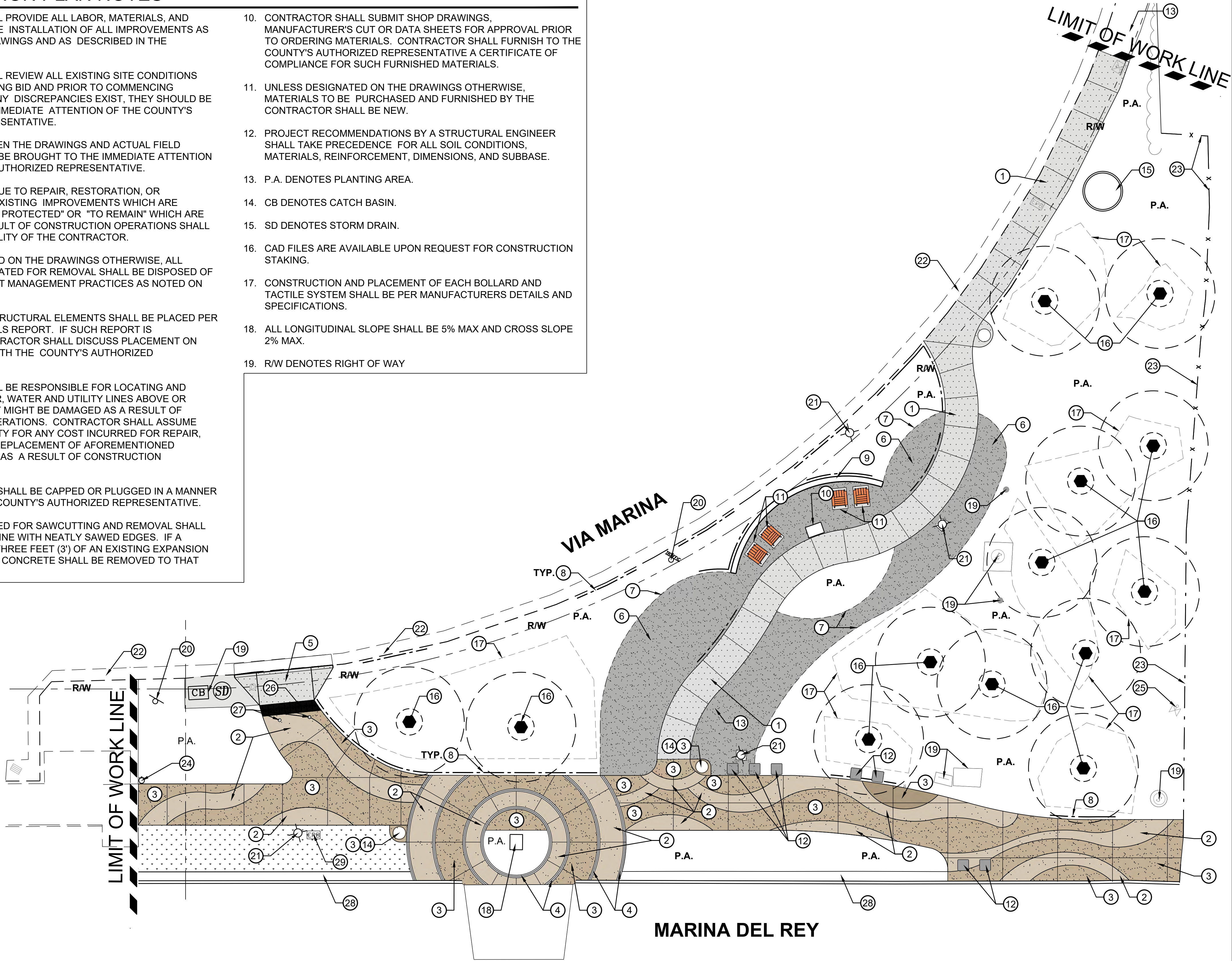


CONSTRUCTION LEGEND

- 1. CONSTRUCT PEDESTRIAN WALKWAY  
COLOR: NATURAL GRAY  
FINISH: MEDIUM BROOM
- 2. CONSTRUCT PEDESTRIAN PAVEMENT  
COLOR: SHAW AND SONS SAMPLE #SS22-560
- 3. CONSTRUCT PEDESTRIAN PAVEMENT  
COLOR: SHAW AND SONS SAMPLE #SS22-559
- 4. 6" WIDE NATURAL GRAY CONCRETE BANDING
- 5. NEW CONCRETE DRIVEWAY RAMP
- 6. STABILIZED DECOMPOSED GRANITE  
COLOR: GRAPHITE GRAY
- 7. STAINLESS STEEL EDGING
- 8. ROOT BARRIER
- 9. SEDIMENTARY CONCRETE WALL
- 10. SEDIMENTARY CONCRETE PODIUM AND RELOCATED MONUMENT PLAQUE
- 11. LOUNGE CHAIR - LANDSCAPEFORM  
MODEL: AMERICANA  
COLOR: SUNSET ORANGE, SURFACE MOUNTED ONTO CONCRETE PAD WITH STAINLESS STEEL WEDGE BOLTS
- 12. BENCH - QCP  
MODEL: STONE PRODUCT NUMBER: Q2STONE18B  
COLOR: FRENCH GRAY, MOUNTED INTO CONCRETE PAVING WITH QCP PROVIDED ANCHOR BOLTS. CONTRACTOR SHALL PROVIDE CONCRETE PAD
- 13. EXISTING CONCRETE SIDEWALK
- 14. RELOCATED TRASH RECEPTACLE SURFACE MOUNT ONTO CONCRETE PAD WITH STAINLESS STEEL BOLTS
- 15. VERTICAL MONOLITH SHALL REMAIN AND BE PROTECTED
- 16. EXISTING TREES TO REMAIN AND BE PROTECTED
- 17. EXISTING TREE ROOT ZONES TO REMAIN AND BE PROTECTED
- 18. EXISTING MONUMENT TO REMAIN AND BE PROTECTED
- 19. EXISTING UTILITIES TO REMAIN AND BE PROTECTED IN PLACE
- 20. EXISTING SIGNS TO REMAIN AND BE PROTECTED
- 21. EXISTING LIGHT POLE/STREET POLES TO REMAIN AND BE PROTECTED
- 22. EXISTING CURB AND GUTTER TO REMAIN AND BE PROTECTED
- 23. EXISTING FENCE TO REMAIN AND BE PROTECTED
- 24. PET WASTE BAG DISPENSER
- 25. EXISTING BACKFLOW , REFER TO IRRIGATION PLANS
- 26. CAST IN PLACE ADA TACTILE SYSTEMS, AVAILABLE FROM ACCESS TACTILE SYSTEMS, 2 ROWS OF 12"x12" TACTILE, 1-888-679-4022, OR APPROVED EQUAL. FINAL LOCATION OF TILE SHALL BE REVIEWED AND APPROVED PRIOR TO CONSTRUCTION. REFER TO NOTE 17, FOR MORE INFORMATION.
- 27. REMOVABLE BOLLARDS - 6" DIA. GRAY BOLLARD WITH SLEEVE AND LOCK, AVAILABLE FROM SETON, 833-966-0128 OR APPROVED EQUAL. FINAL LOCATION OF SHALL BE REVIEWED AND APPROVED PRIOR TO CONSTRUCTION. REFER TO NOTE 17, FOR MORE INFORMATION.
- 28. EXISTING MOW CURB
- 29. RELOCATED ELECTRICAL PULL BOX AND WIRES TO APPROXIMATE LOCATION

CONSTRUCTION PLAN NOTES

- 1. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE INSTALLATION OF ALL IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
- 2. CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING INSTALLATION. IF ANY DISCREPANCIES EXIST, THEY SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE COUNTY'S AUTHORIZED REPRESENTATIVE.
- 3. DEVIATIONS BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE COUNTY'S AUTHORIZED REPRESENTATIVE.
- 4. COSTS INCURRED DUE TO REPAIR, RESTORATION, OR REPLACEMENT OF EXISTING IMPROVEMENTS WHICH ARE DESIGNATED "TO BE PROTECTED" OR "TO REMAIN" WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL MATERIALS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF ACCORDING TO BEST MANAGEMENT PRACTICES AS NOTED ON SHEET C-2.
- 6. HARDSCAPE AND STRUCTURAL ELEMENTS SHALL BE PLACED PER GEOTECHNICAL SOILS REPORT. IF SUCH REPORT IS UNAVAILABLE, CONTRACTOR SHALL DISCUSS PLACEMENT ON SUITABLE GRADE WITH THE COUNTY'S AUTHORIZED REPRESENTATIVE.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND STAKING ALL SEWER, WATER AND UTILITY LINES ABOVE OR BELOW GRADE THAT MIGHT BE DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED FOR REPAIR, RESTORATION, OR REPLACEMENT OF AFOREMENTIONED UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS.
- 8. ABANDONED PIPES SHALL BE CAPPED OR PLUGGED IN A MANNER APPROVED BY THE COUNTY'S AUTHORIZED REPRESENTATIVE.
- 9. CONCRETE INDICATED FOR SAWCUTTING AND REMOVAL SHALL BE CUT TO A TRUE LINE WITH NEATLY SAWED EDGES. IF A SAWCUT IS WITHIN THREE FEET (3') OF AN EXISTING EXPANSION OR CONTROL JOINT, CONCRETE SHALL BE REMOVED TO THAT NEAREST JOINT.
- 10. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, MANUFACTURER'S CUT OR DATA SHEETS FOR APPROVAL PRIOR TO ORDERING MATERIALS. CONTRACTOR SHALL FURNISH TO THE COUNTY'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.
- 11. UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, MATERIALS TO BE PURCHASED AND FURNISHED BY THE CONTRACTOR SHALL BE NEW.
- 12. PROJECT RECOMMENDATIONS BY A STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE FOR ALL SOIL CONDITIONS, MATERIALS, REINFORCEMENT, DIMENSIONS, AND SUBBASE.
- 13. P.A. DENOTES PLANTING AREA.
- 14. CB DENOTES CATCH BASIN.
- 15. SD DENOTES STORM DRAIN.
- 16. CAD FILES ARE AVAILABLE UPON REQUEST FOR CONSTRUCTION STAKING.
- 17. CONSTRUCTION AND PLACEMENT OF EACH BOLLARD AND TACTILE SYSTEM SHALL BE PER MANUFACTURERS DETAILS AND SPECIFICATIONS.
- 18. ALL LONGITUDINAL SLOPE SHALL BE 5% MAX AND CROSS SLOPE 2% MAX.
- 19. R/W DENOTES RIGHT OF WAY



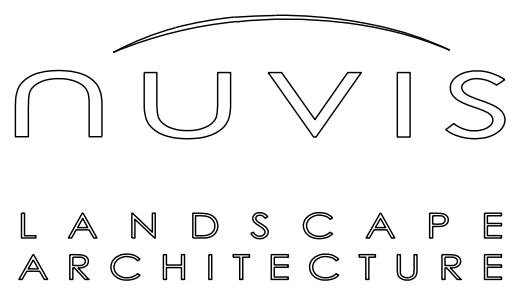
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DESIGNER  
DRAFTER

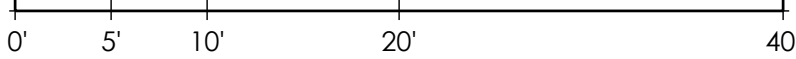
T. MUNOZ

T. MUNOZ

J. GUADARRAMA



SCALE: 1" = 10'-0"



DATE	MARK	DESCRIPTION
REVISIONS		



PERRY A. CARDOZA  
PROJECT ENGINEER

LOS ANGELES COUNTY PUBLIC WORKS		
AUBREY AUSTIN PARK IMPROVEMENT LANDSCAPE LANDSCAPE CONSTRUCTION PLAN		
DWG XX-X-XXX.X	PD XXXXXXX	SHEET 1 OF 4

UNOFFICIAL AND SUBJECT TO CHANGE  
DATE: 05-09-2023



PLANT LIST:

CODE	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY	WUCOLS (WATER USE)	SPACING
	TREE						
T-1		METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	24" BOX	4	MED	PER PLAN
E-1		EXISTING TREE	EXISTING TREE	EXSITING	13	N/A	EXISTING
R-1		RELOCATED TREE	RELOCATED TREE	EXSITING	2	N/A	N/A
	SHRUBS						
S-1		DIANELLA REVOLUTA	FLAX LILY	1 GAL	907	LOW	18" O.C.
S-2		FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	1 GAL	1,275	LOW	12" O.C.
S-3		LOMANDRA LONGIFOLIA EVERGREEN BABY	EVERGREEN BABY MATT RUSH	5 GAL	1,360	LOW	18" O.C.
GC-1		TURF	N/A	SOD	406 SF	HIGH	

SHRUBS



DIANELLA REVOLUTA  
FLAX LILY



FESTUCA GLAUCA 'ELIJAH BLUE'  
ELIJAH BLUE FESCUE



LOMANDRA LONGIFOLIA EVERGREEN BABY  
EVERGREEN BABY MATT RUSH

TREES



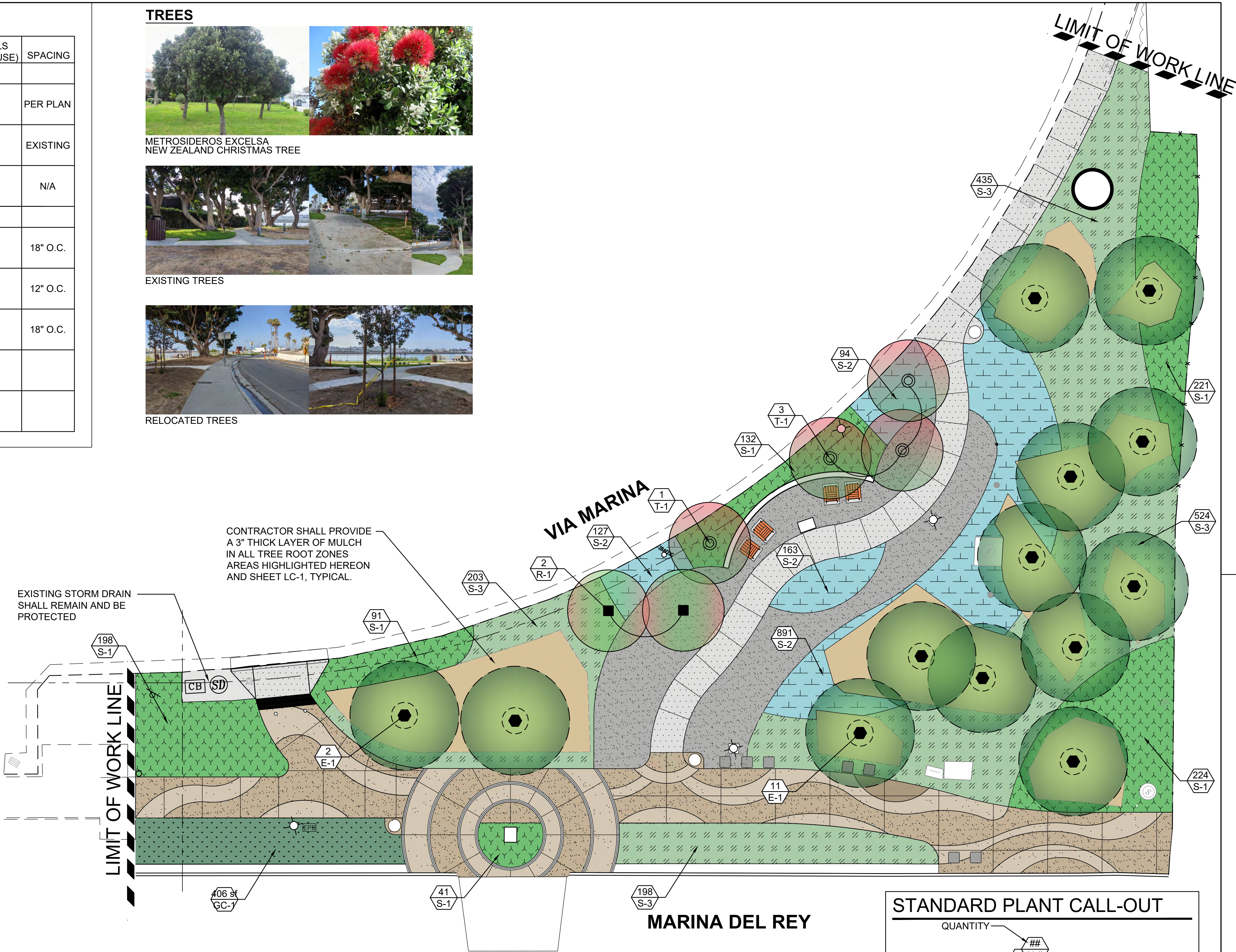
METROSIDEROS EXCELSA  
NEW ZEALAND CHRISTMAS TREE



EXISTING TREES



RELOCATED TREES



STANDARD PLANT CALL-OUT

QUANTITY

##

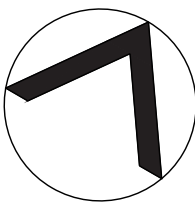
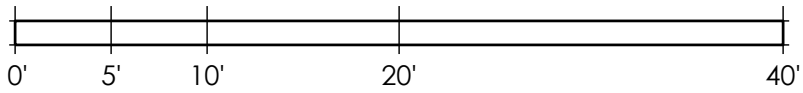
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PLANT SYMBOL CODE

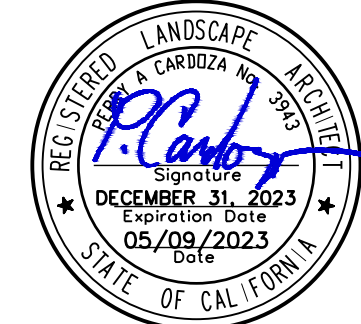
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CHECKER  
T. MUNOZ  
DESIGNER  
T. MUNOZ  
DRAFTER  
J. GUADARRAMA



SCALE: 1" = 10'-0"



DATE	MARK	DESCRIPTION
		REVISIONS



PERRY A CARDOZA  
PROJECT ENGINEER

LOS ANGELES COUNTY PUBLIC WORKS

AUBREY AUSTIN PARK IMPROVEMENT  
LANDSCAPE  
PLANTING PLAN

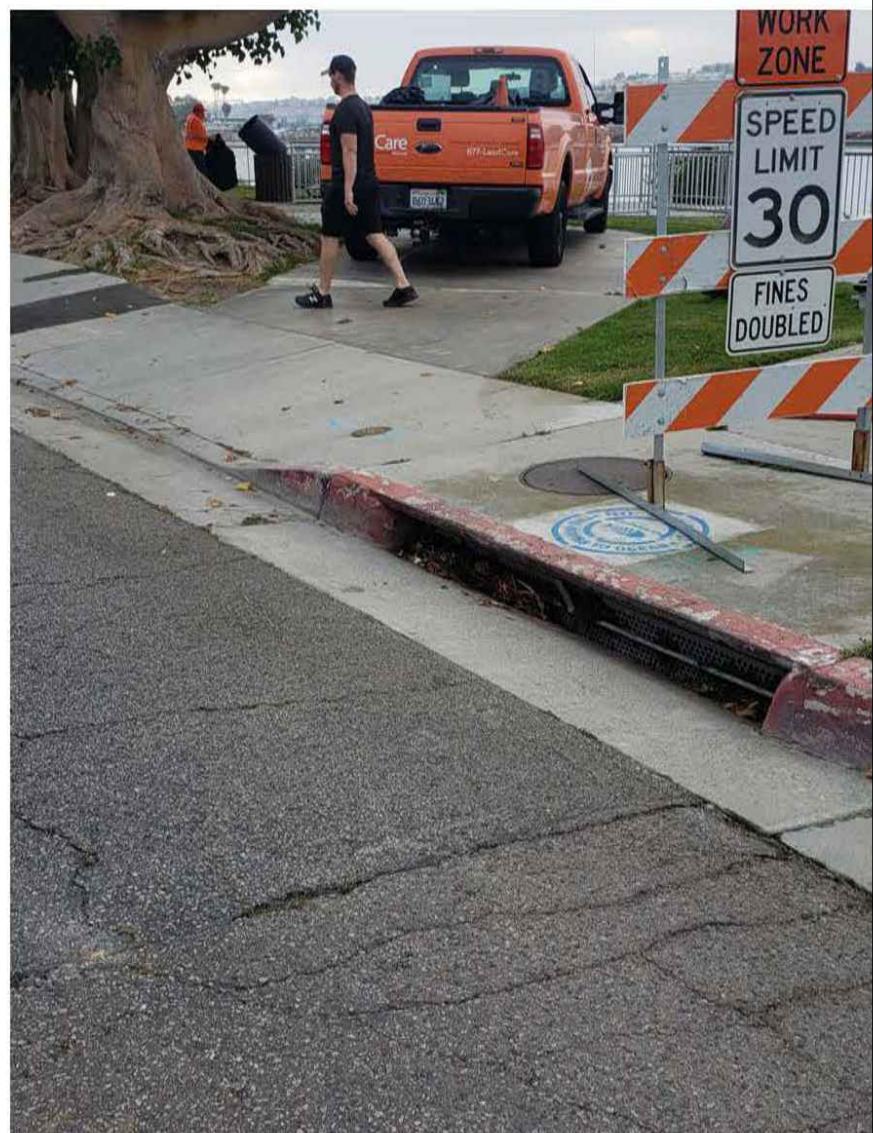
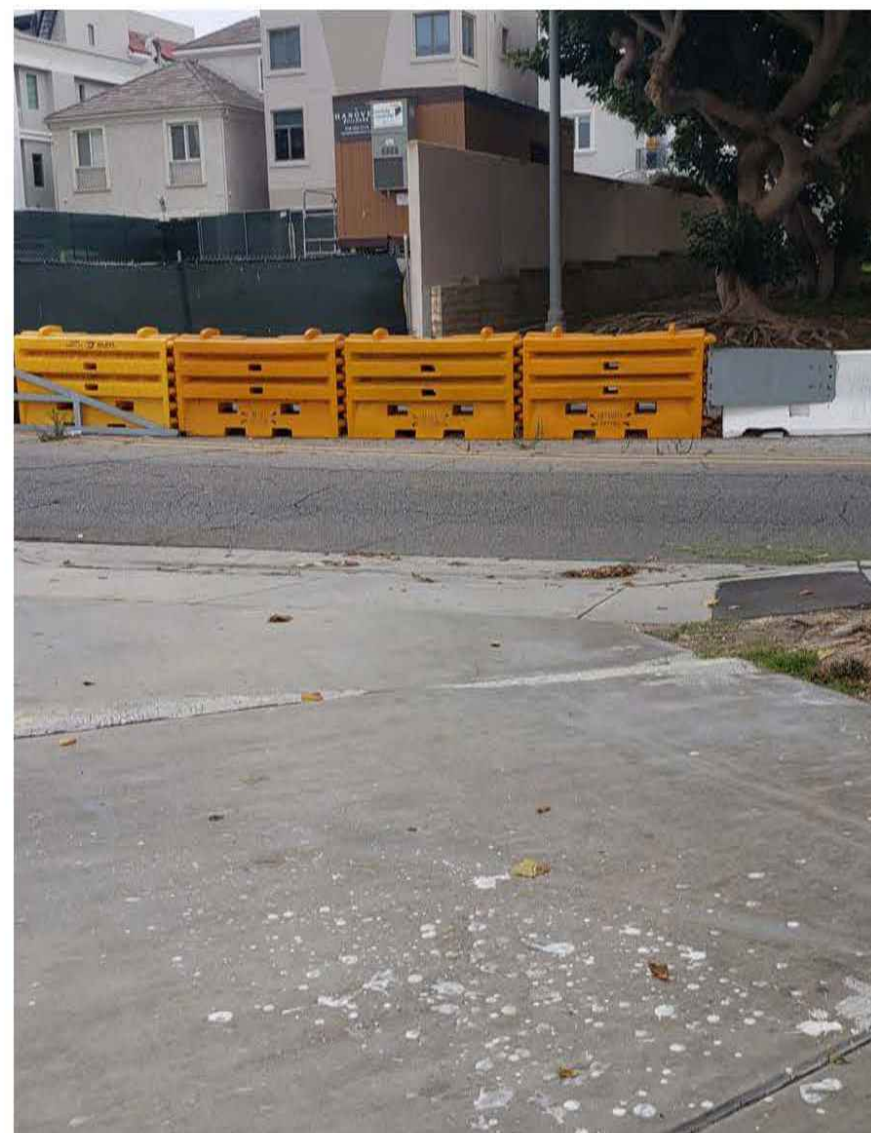
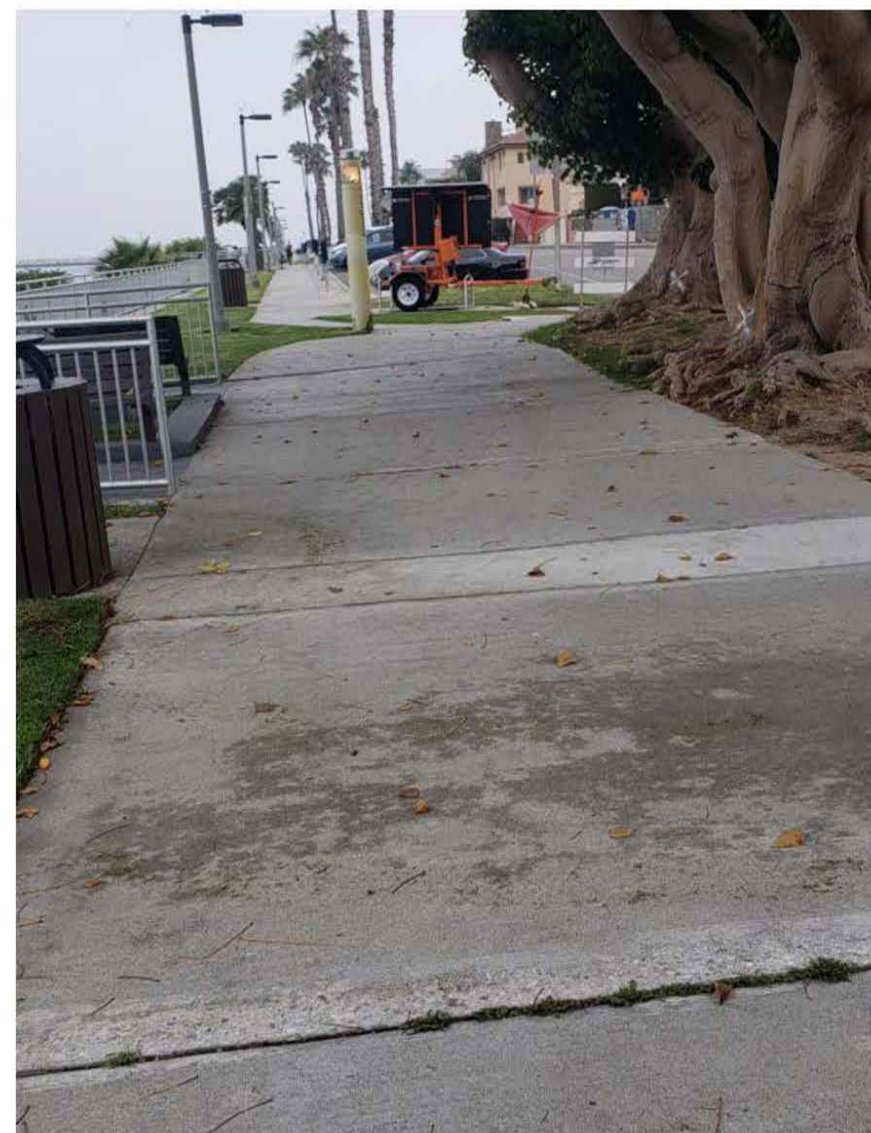
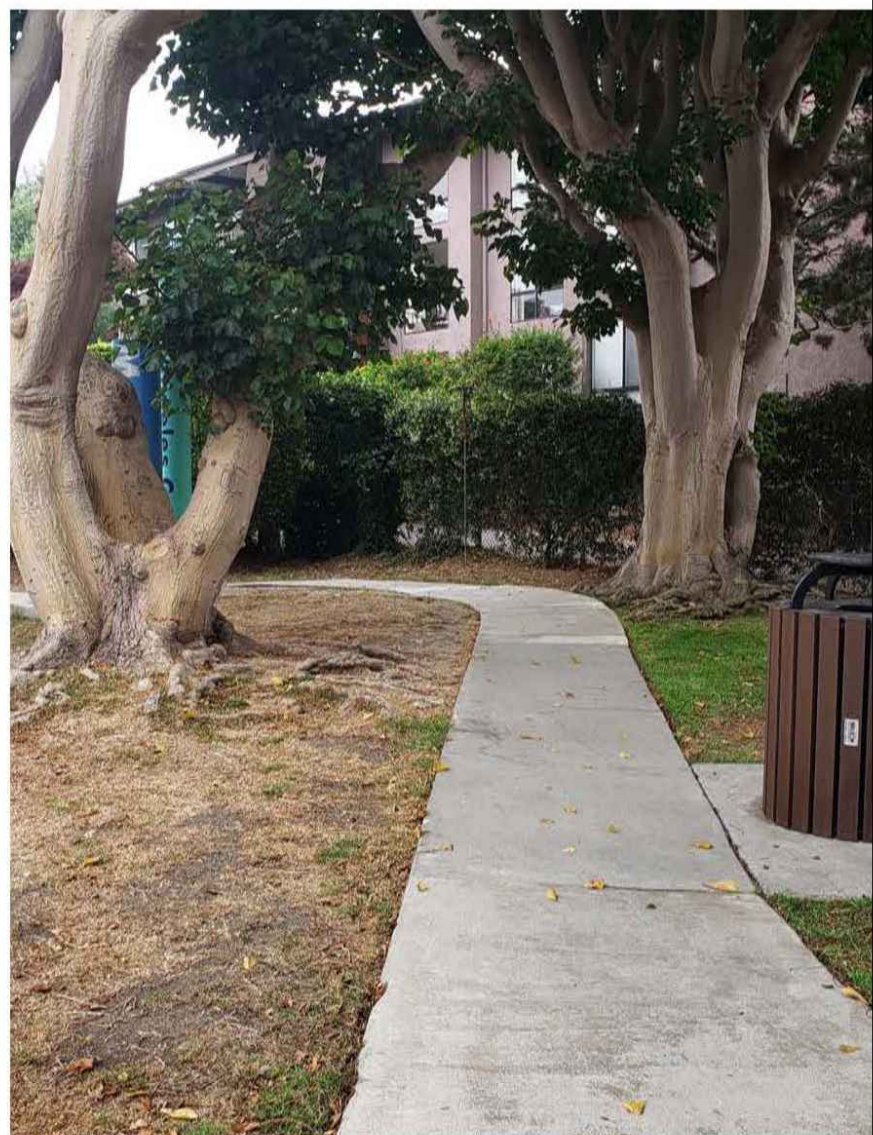
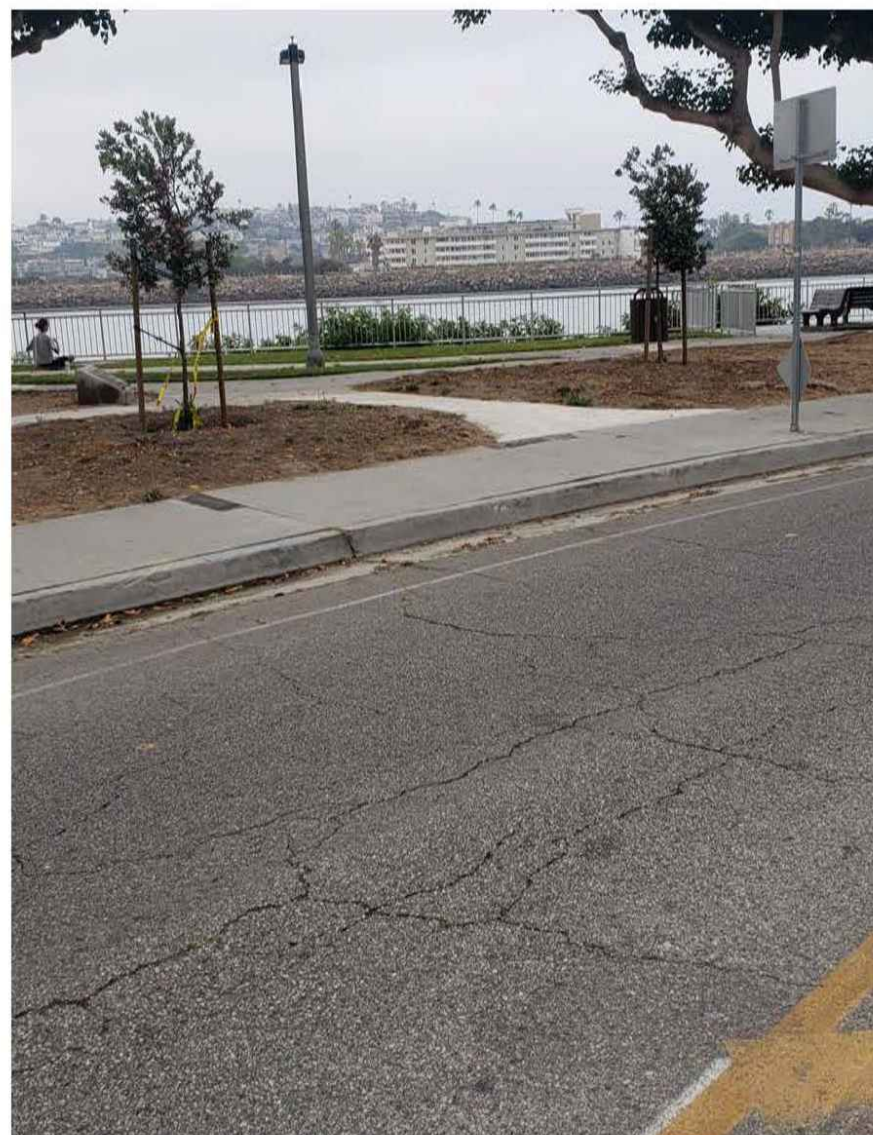
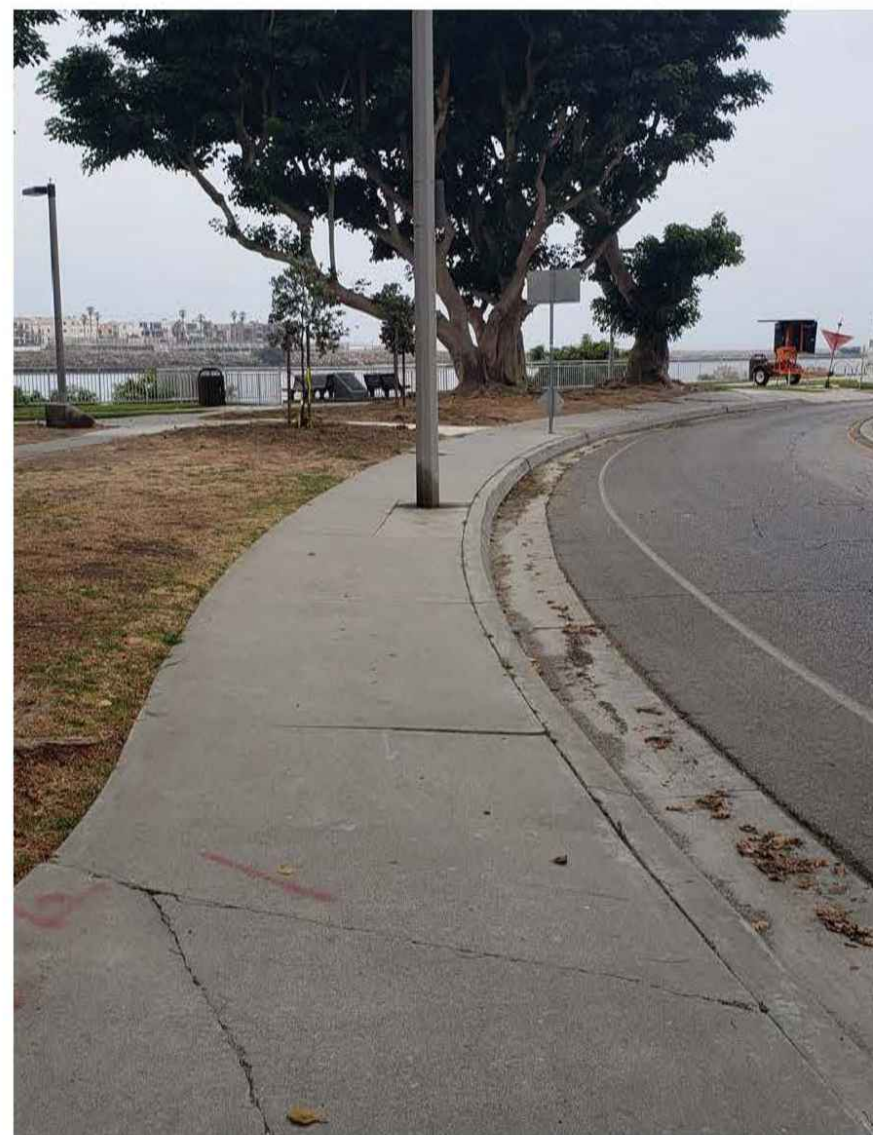
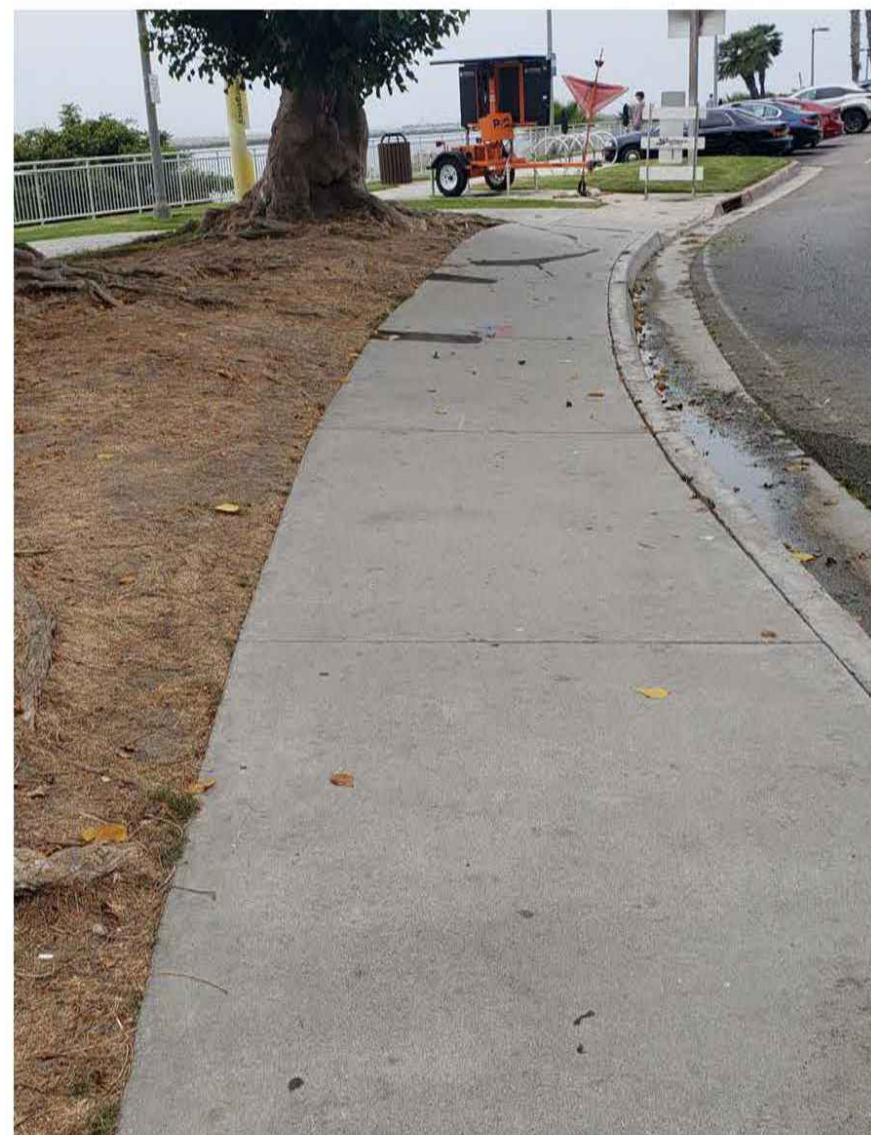
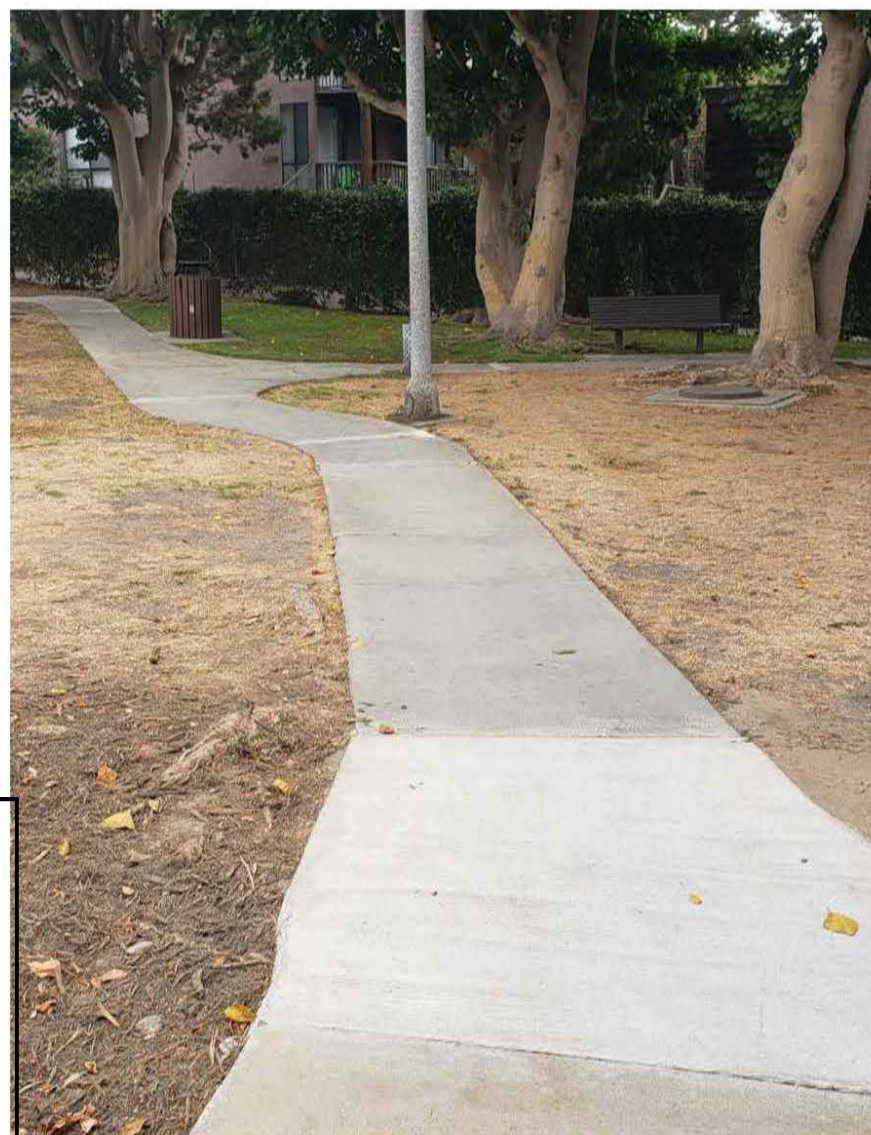
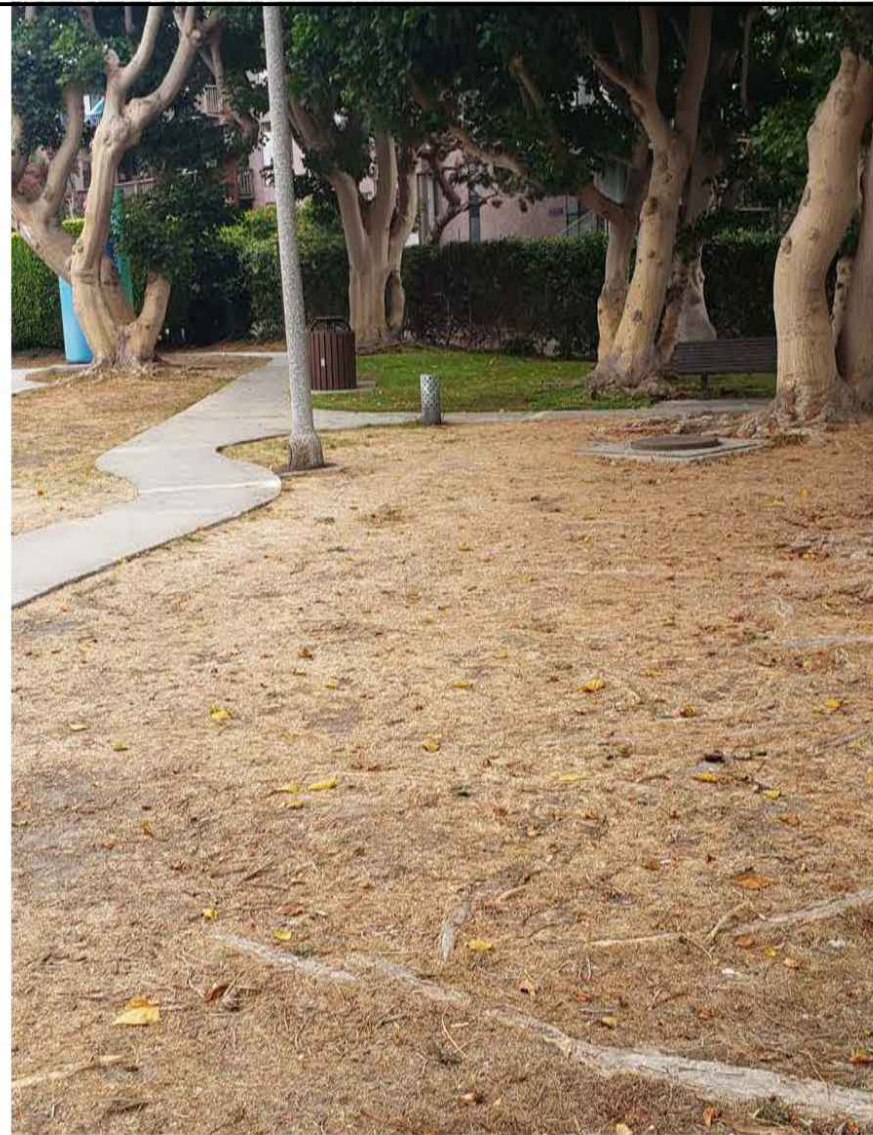
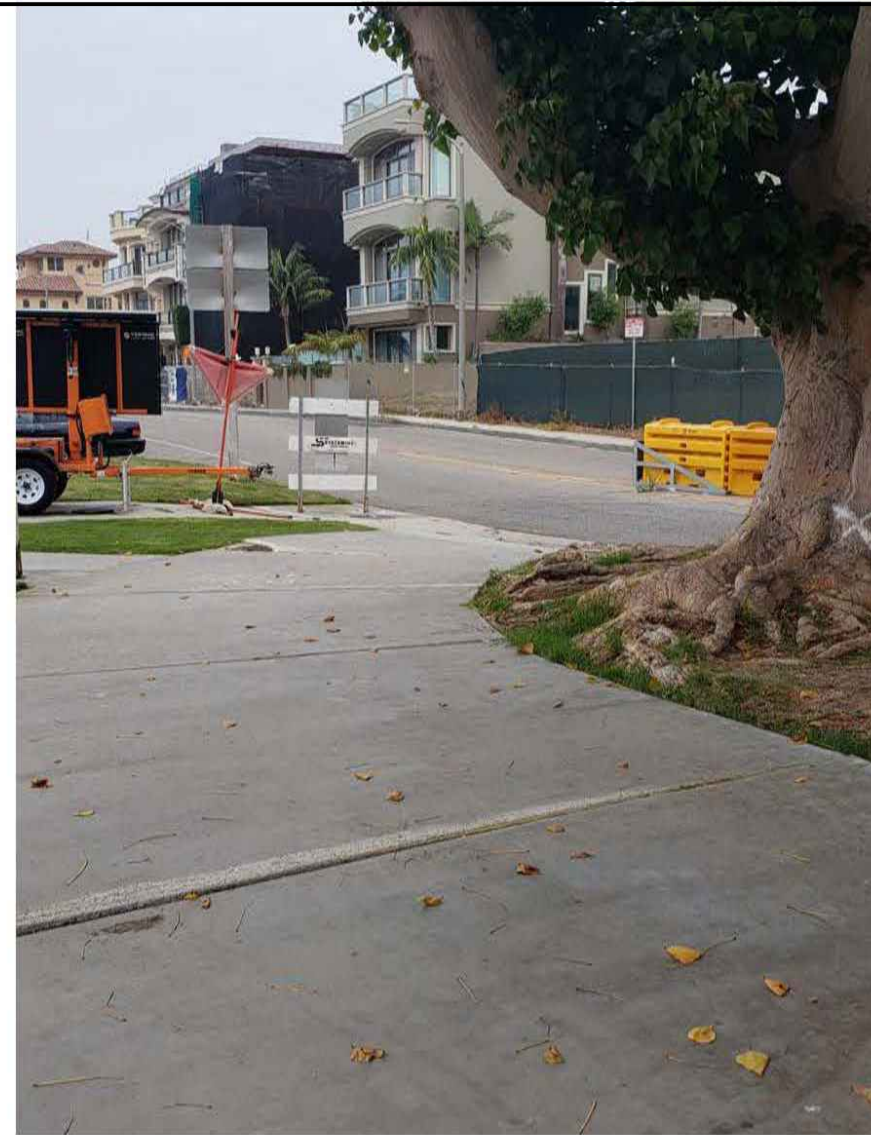
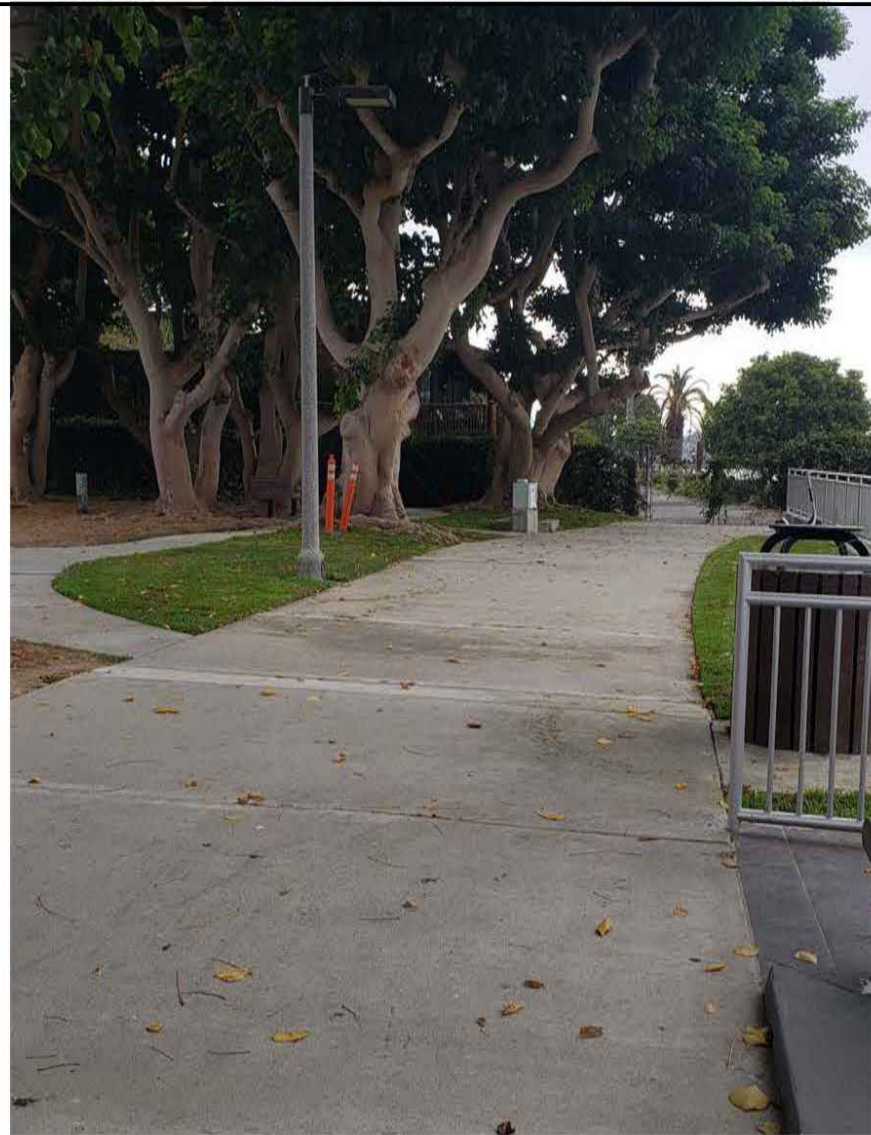
DWG XX-X-XXX.X

PD XXXXXXX

SHEET 2 OF 4

UNOFFICIAL AND SUBJECT TO CHANGE  
DATE: 05-09-2023





CADD PROJECT FILE NAME

CHECKER

DESIGNER

**DRAFTER**

T. MUNOZ

T. MUNOZ

J. GUADARRAMA

nuvis  
LANDSCAPE  
ARCHITECTURE

[illegible]

LOS ANGELES COUNTY PUBLIC WORKS

# AUBREY AUSTIN PARK IMPROVEMENT

## LANDSCAPE

### EXISTING SITE AREAS OF IMPROVEMENTS





BENCH



ENRICHED CONCRETE PAVING



SEDIMENTARY CONCRETE WALL



BENCH



SEDIMENTARY CONCRETE  
PODIUM



DECOMPOSED GRANITE

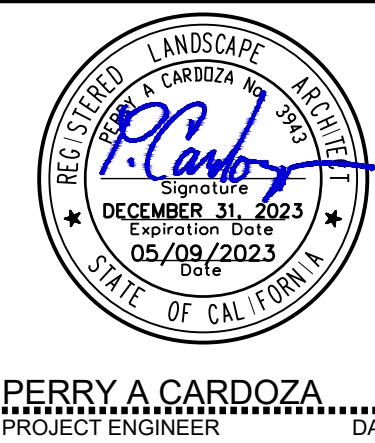


TRASH RECEPTACLE

CADD PROJECT FILE NAME  
CHECKER T. MUNOZ  
DESIGNER T. MUNOZ  
DRAFTER J. GUADARRAMA



DATE	MARK	DESCRIPTION
REVISIONS		



PERRY A. CARDOZA  
PROJECT ENGINEER

LOS ANGELES COUNTY PUBLIC WORKS		
AUBREY AUSTIN PARK IMPROVEMENT		
LANDSCAPE		
PHOTO IMAGERY / INSPIRATION DESIGN / OPTIONS		
DWG XX-X-XXX.X	PD XXXXXXX	SHEET 4 OF 4

UNOFFICIAL AND SUBJECT TO CHANGE  
DATE: 05-09-2023









Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 5E - PARCELS HS & 91- MARINA "MOTHER'S" BEACH  
RESTROOM – MOTORIZED BOAT STORAGE – DCB #23-011 –  
CONCEPTUAL DESIGN CONSIDERATION OF PROPOSED SITE  
IMPROVEMENTS**

Item 5E on your agenda is a submittal from the Department of Beaches and Harbors (DBH), seeking conceptual design approval of site improvements to Marina "Mother's" Beach (Marina Beach) restroom and non-motorized boat storage facilities located along Palawan Way.

## **PROJECT OVERVIEW**

### Background

On February 11, 2016, your Board approved a renovation project at Marina Beach which included the replacement of the existing picnic shelters and associated amenities, renovations of the adjacent restrooms, resurfacing 1,600 feet of waterfront promenade, and installing new landscaping, lighting, and signage.

### Existing Conditions

Marina Beach, commonly known as Mother's Beach, is a .12-acre man-made sandy beach located at the end of Basin D. Public amenities at the beach include picnic shelters, tables, barbeque grills, and restrooms along the western shore, as well as restrooms, a vacant office building, and non-motorized boat storage areas along the northeastern shore, at Palawan Way. The general land use and urban design recommendations for this area aim to realize a visitor-serving atmosphere with an emphasis on recreation and non-motorized boating activities.

### Proposed Project

The proposed project would include renovation of an existing 1,320 square foot restroom and office building to comply with current building codes, upgrades to the boat storage area, modifications to the existing walkway along the facility's perimeter adjacent to Palawan Way, and the inclusion of new amenities, hardscape, and landscaping.





## **BUILDING DESIGN**

DBH proposes to renovate the existing restroom facility and vacant office space located at 14110 Palawan Way. Exterior walls along the beach-facing side of the building would be removed on three sides to create a 750 square foot covered, open-air, functional community space that could double as an outdoor classroom and staging area. The space would also include seating benches, two new 15' tall vertical oar storage cabinets, two new two-sided club storage cabinets, a new boat wash area, a public rinse off shower, a lockable hose bib, an accessible walkway, planters, a janitor's room, storage room, and an electrical equipment enclosure. The new boat wash area would be designed to capture and clean runoff before it enters the harbor to improve harbor water quality. DBH also proposes to renovate the existing restrooms to include ADA conforming door widths for building accessibility, in addition to new skylights.

## **SITE DESIGN**

### Amenities

The proposed project includes replacement and reconfiguration of the stacked boat racks to the east of the building to increase storage capacity. Stormwater capture and filtration systems would also be installed to advance water quality improvement goals for the Marina. Bike racks, seat walls, designated scooter parking, a new lengthened ADA ramp and ADA mat for accessible water access, and a new water bottle refill station and picnic table would also be installed at the site. In addition, part of a fence adjacent to a neighboring pocket park would be removed to provide better pedestrian connectivity between the two areas.

### Materials

All proposed material and color choices are influenced by the water and the surrounding marine environment. Exterior finishes on the restroom would consist of perforated metal screening and structural columns in hues of blue, white, and gray.

### Hardscape

DBH proposes to upgrade the existing walkway adjacent to the restroom building to comply with current accessibility standards. New curbs and guardrails would be installed along the accessible path, a lengthened ADA ramp would be installed, and the adjacent crosswalk would be revised to connect to the accessible path. To the east of the restroom building, improvements would include the installation of a new 10' accessible sidewalk, a new driveway near the existing boat dock, and a vehicle rated concrete plaza with a distinct scoring pattern that includes a diminishing raised curb with bollards. In addition, the boat storage areas would be regraded to flatten the slope.

To the west of the restroom building, DBH proposes to install a 10' wide promenade at the west corner of the project area that would extend along Palawan Way, to the restroom building. Decorative paving to match the existing promenade design at Marina Beach would be installed along the promenade section adjacent to Jamaica Bay Inn. New concrete steps for boat storage access would also be added to the site.



### Landscape

New trees, shrubs, groundcover, and biofiltration planters would be installed throughout the project area, including new 40' tall palm trees along Palawan Way.

### **STAFF REVIEW**

Staff finds that the proposed project is generally consistent with the Marina del Rey Design Guidelines. DBH proposes to enhance the non-motorized boating amenities along the northeastern shore of Marina Beach by replacing an aging restroom and vacant office facility with a modern, attractive, covered gathering space and renovated restrooms that would complement the surrounding marine environment. At the beach, accessibility improvements would include easy access to the restroom and a paved ADA ramp to the waterline. The proposed improvements would help establish more pedestrian connectivity to the surrounding uses and also enhance the public's use and enjoyment of the waterfront.

As established in the Marina del Rey Design Guidelines, Marina Beach should continue to encourage recreation activities and launching areas for non-motorized watercraft, and new improved pedestrian linkages connecting the Marina Beach promenade to adjacent basin promenades should be provided. The proposed project would enhance ADA access at the beach and reconfiguration of the walkways would enhance pedestrian access to the Marina. Additionally, the proposed project supports the Marina del Rey Vision Statement by fulfilling the long-term implementation action item that was identified in the document regarding upgrading infrastructure and facilities at Marina Beach. The proposed improvements to the promenade also align with the document's recommendation to ensure a continuous pedestrian promenade along the waterfront, where possible.

### Board Briefings

A board briefing was held on June 22, 2021, with DBH staff and Board Member Cho. Comments resulting from the briefing included a recommendation that the elevation of the covered patio be lowered and expanded as much as possible toward the sand and basin to allow groups to provide outdoor classroom type activities. In addition, it was recommended that the posts supporting the outdoor patio adjacent to the restroom be moved out to the edges as far as possible to facilitate access for users of larger shells. Furthermore, it was recommended that the wash down area be retained in its current location and a new bioswale or other engineered system be added towards the waterbus dock to capture and clean runoff. It was also requested that DBH consider closing the current driveway exit onto Palawan Way, and instead creating a new exit driveway out to Palawan before the first tree shown in the concept drawings. In addition, it was recommended that a user survey be conducted to inform the reorganization of boat storage racks to maximize space efficiently. Additional comments were provided regarding stairway placement and opportunities for additional shelf storage. Staff has revised the project design to address the aforementioned comments and plans have been revised accordingly.



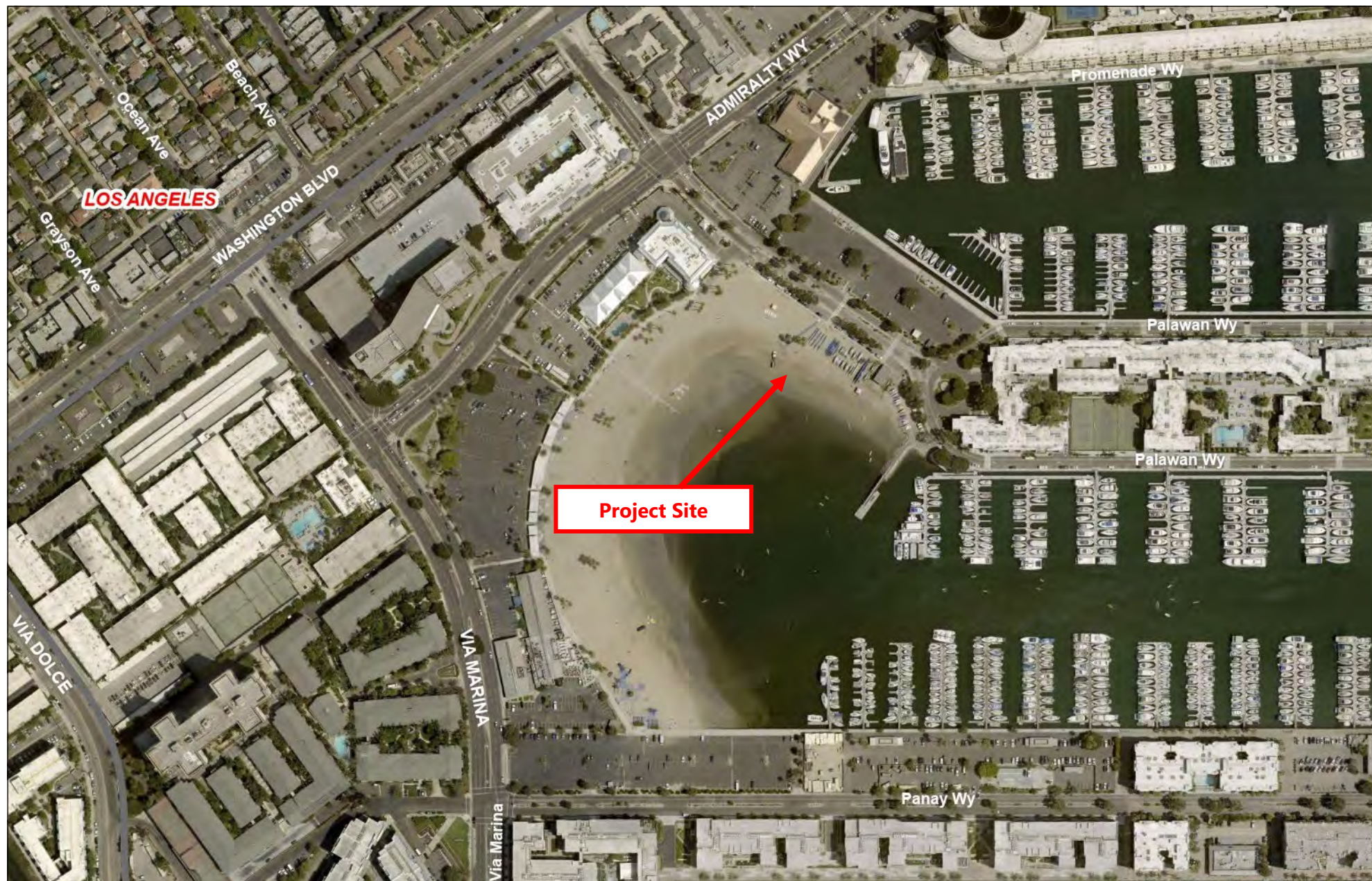
DBH has submitted the planned design of the proposed project for conceptual review and approval only and will return for final design approval at a future date.

**Staff requests APPROVAL of DCB #23-011, subject to the following condition:**

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) The Applicant shall return to the Design Control Board for Final Design approval.**

GJ:WO:ts





0 156 312 Feet

## Marina "Mother's" Beach

### Vicinity Map

Printed: 10/5/23



Disclaimer: This map represents a quick representation of spatial imagery or vector layers using GIS-NET. The map should be interpreted in accordance with the GIS-NET Public disclaimer statement. Printed with permission from the Los Angeles County Dept. of Regional Planning. All rights reserved.





MARINA BEACH EXISTING SITE PHOTOS





# MARINA BEACH EXISTING SITE PHOTOS





MARINA BEACH EXISTING SITE PHOTOS





## MARINA BEACH EXISTING SITE PHOTOS

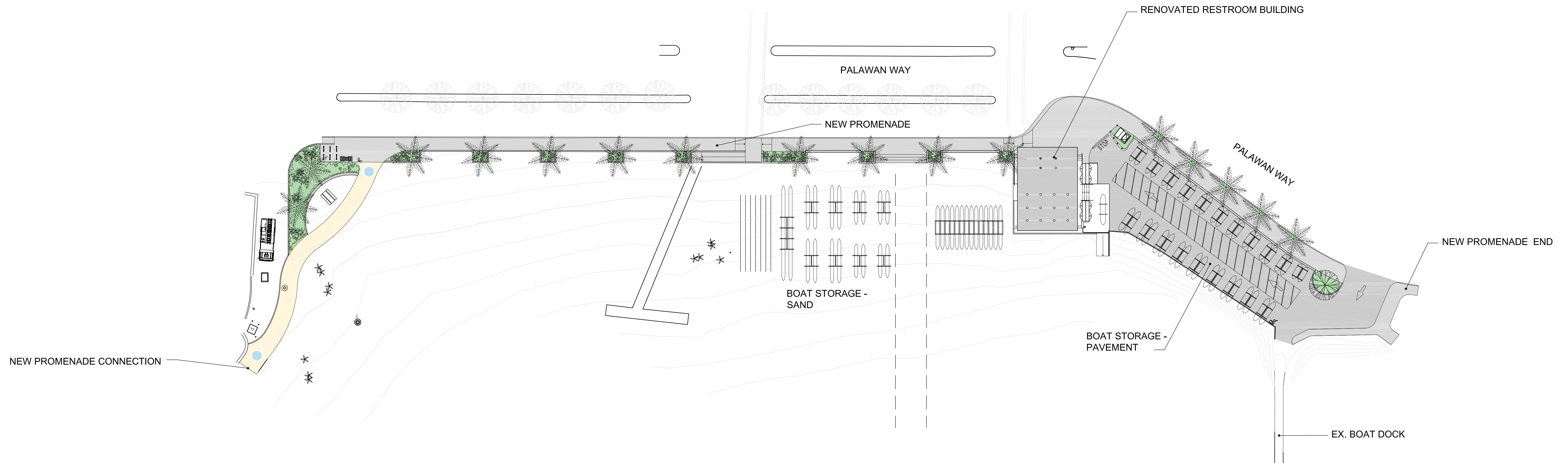




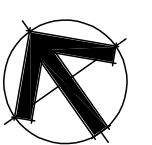
## MARINA BEACH EXISTING SITE PHOTOS







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SCALE 1"=32'



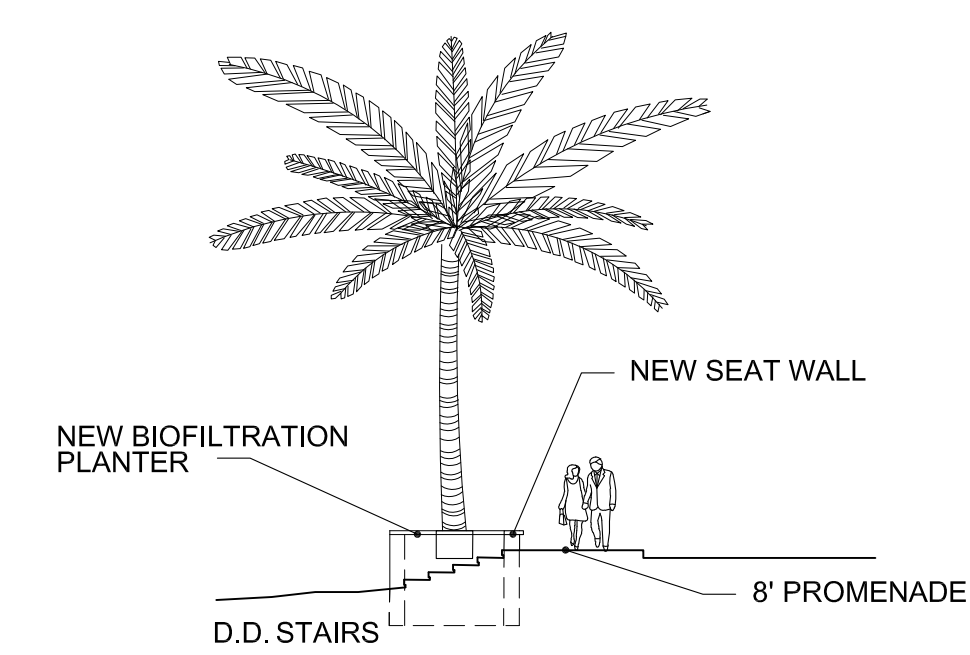
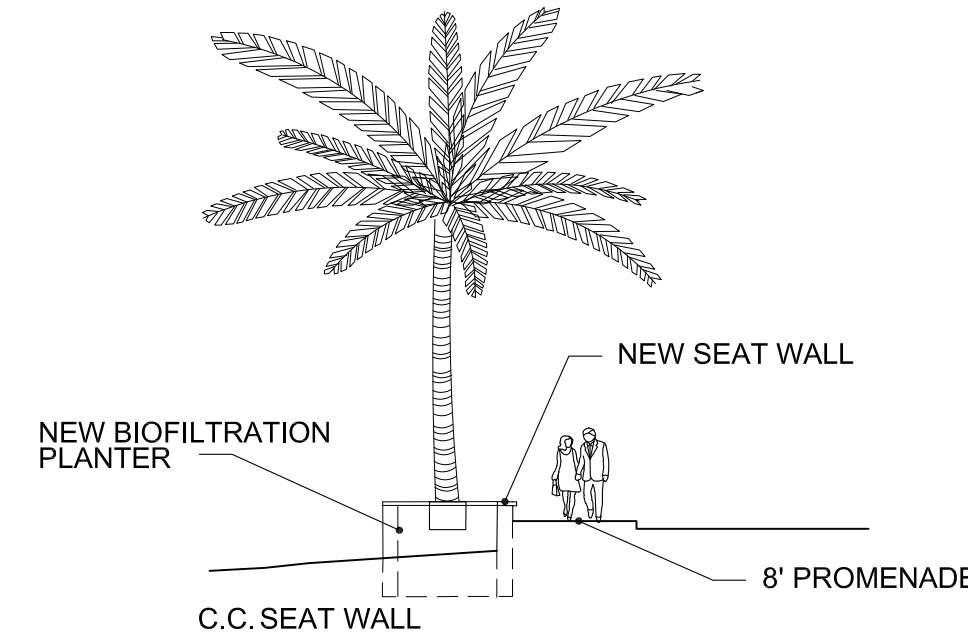
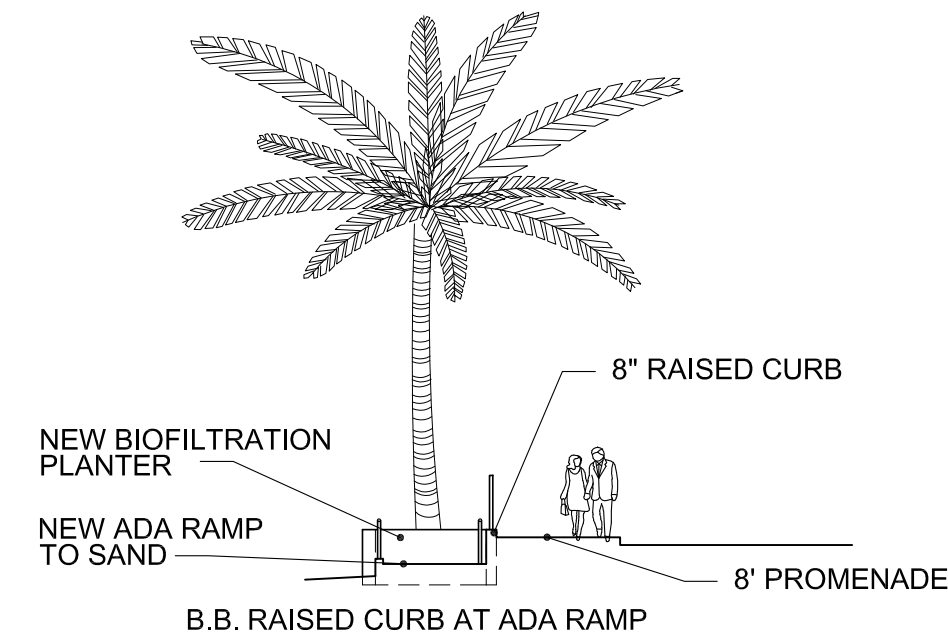
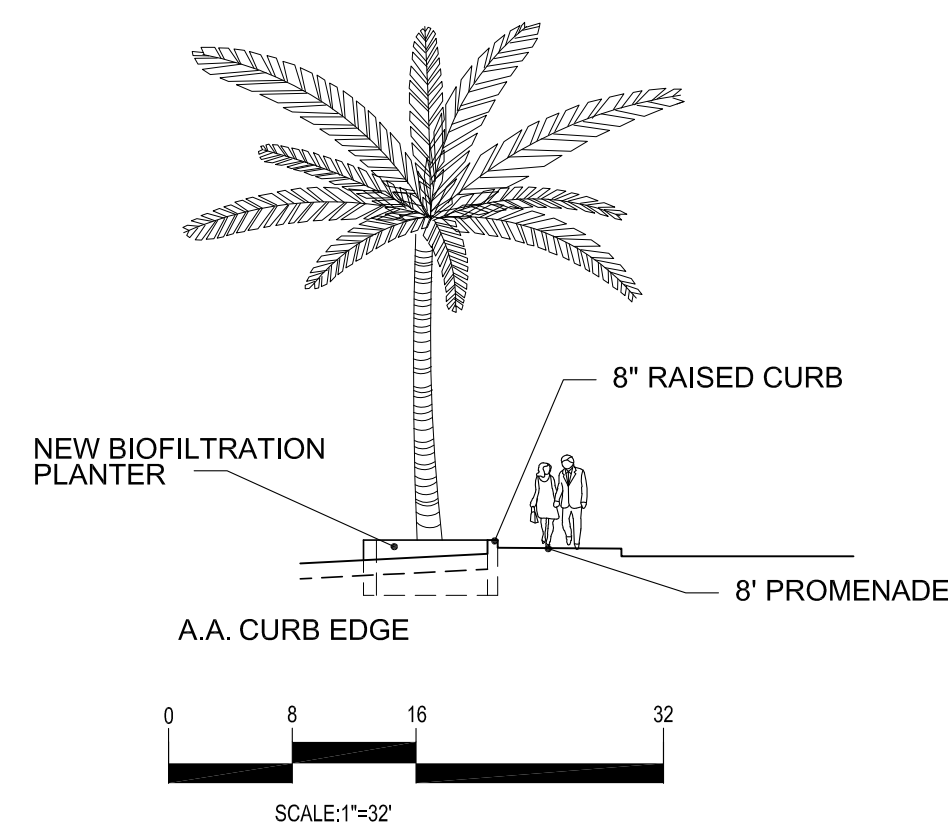
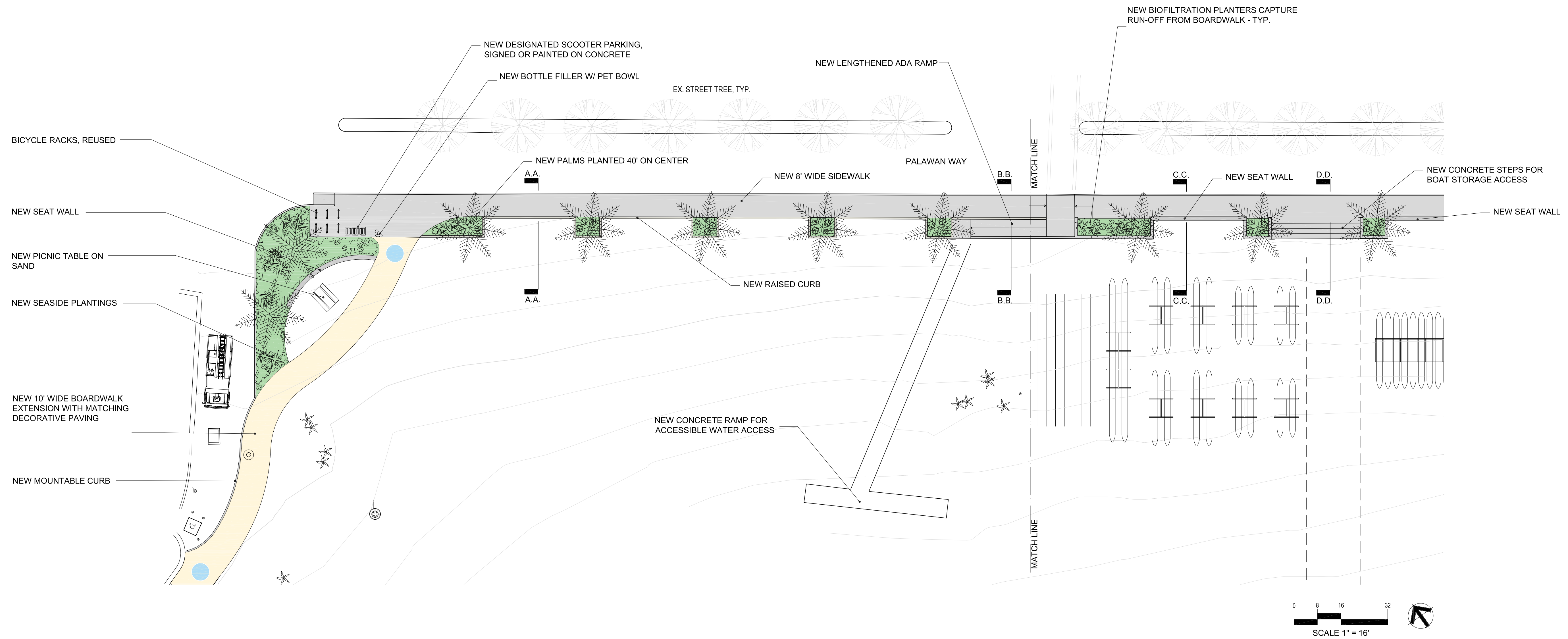
OVERALL SITE PLAN



**MOTHER'S BEACH**  
RESTROOM BOAT STORAGE RENOVATION & PROMENADE  
14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

SPARANO + MOONEY **ARCHITECTURE**





PARTIAL SITE PLAN



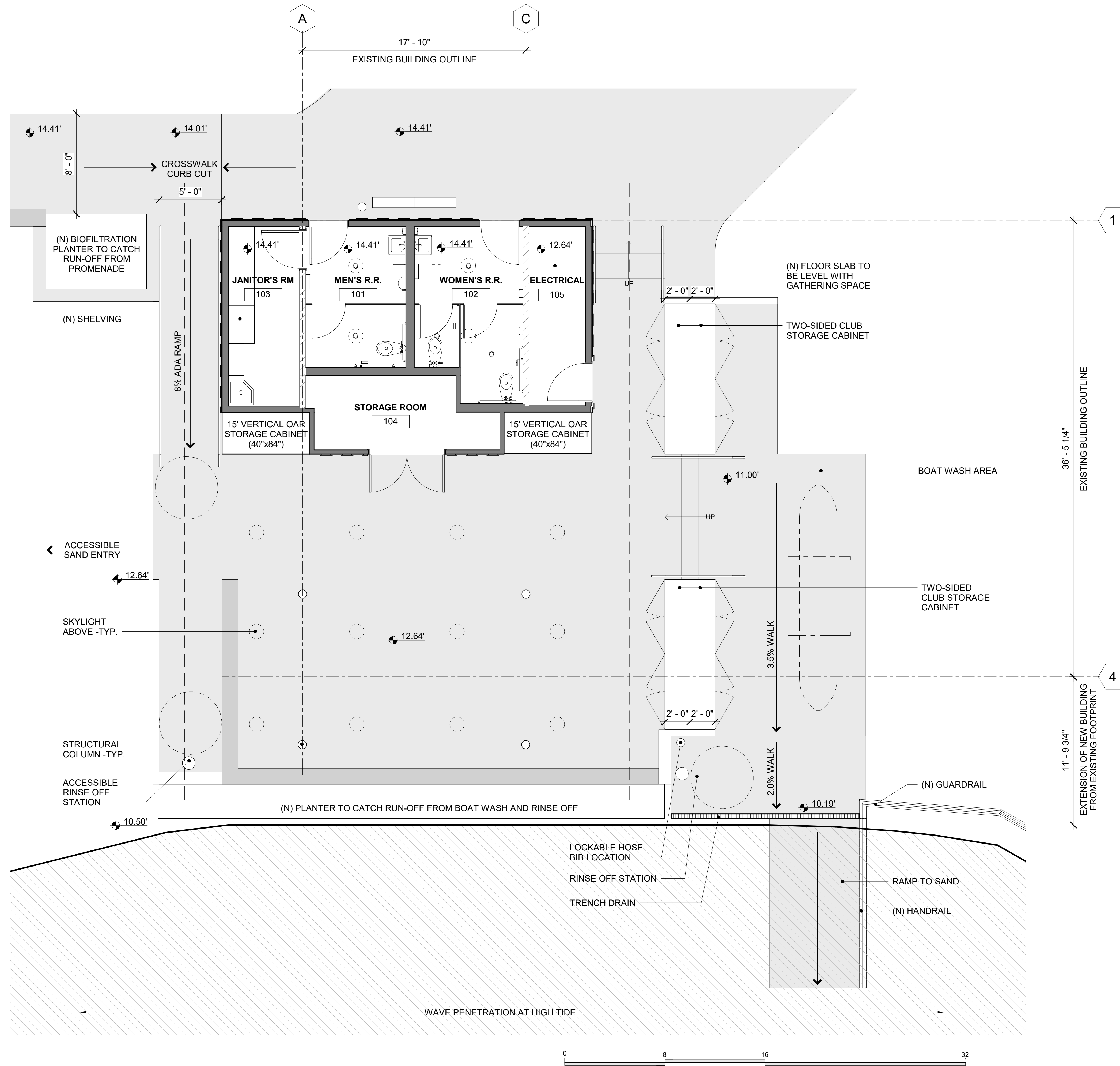
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 14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

SPARANO + MOONEY **ARCHITECTURE**









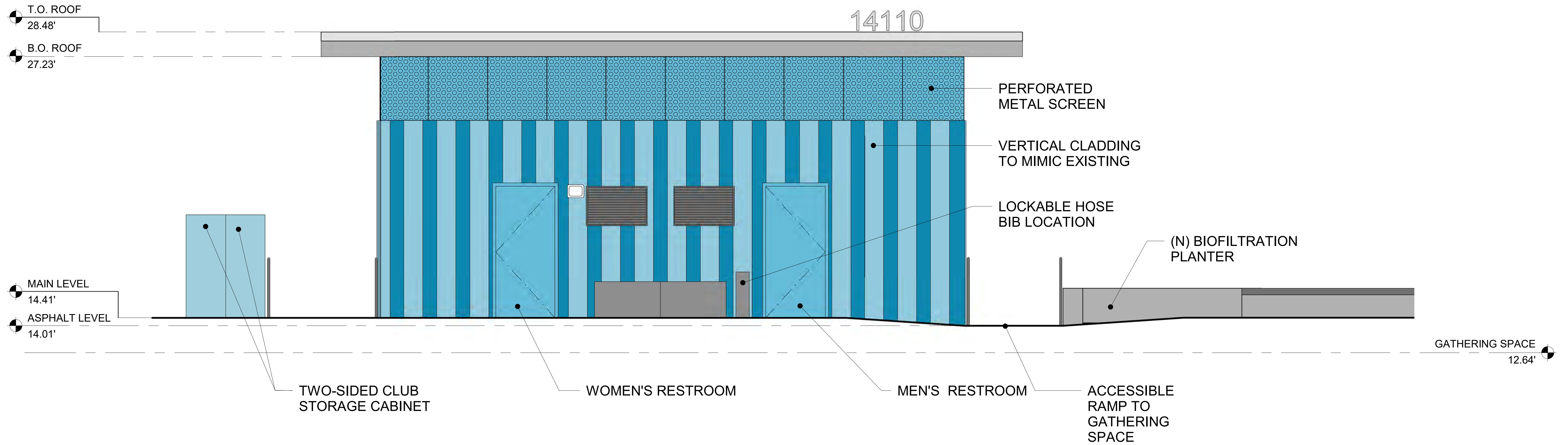
# MOTHER'S BEACH

RESTROOM BOAT STORAGE RENOVATION & PROMENADE  
14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

FLOOR PLAN

SPARANO + MOONEY ARCHITECTURE





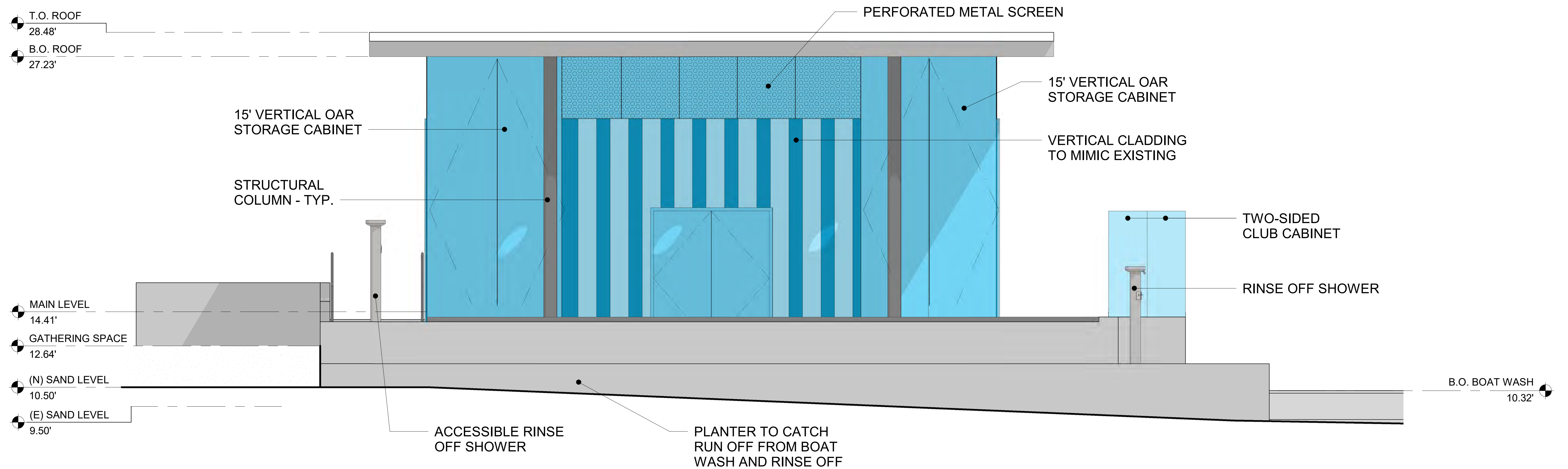
BUILDING - NORTH ELEVATION



**MOTHER'S BEACH**  
 RESTROOM BOAT STORAGE RENOVATION & PROMENADE  
 14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

SPARANO + MOONEY ARCHITECTURE

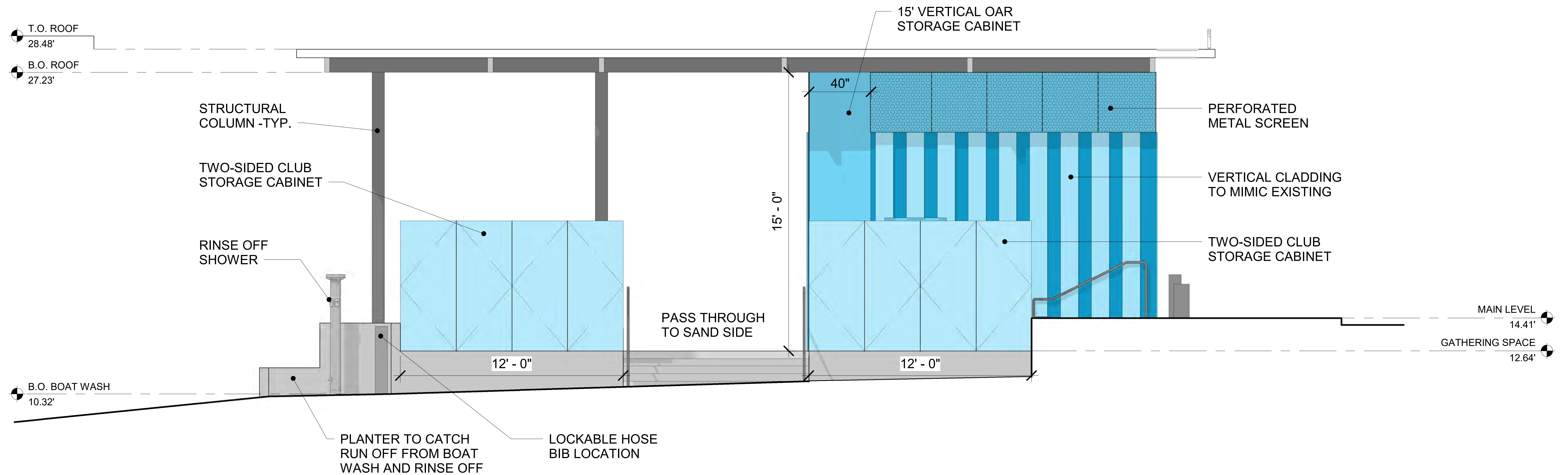




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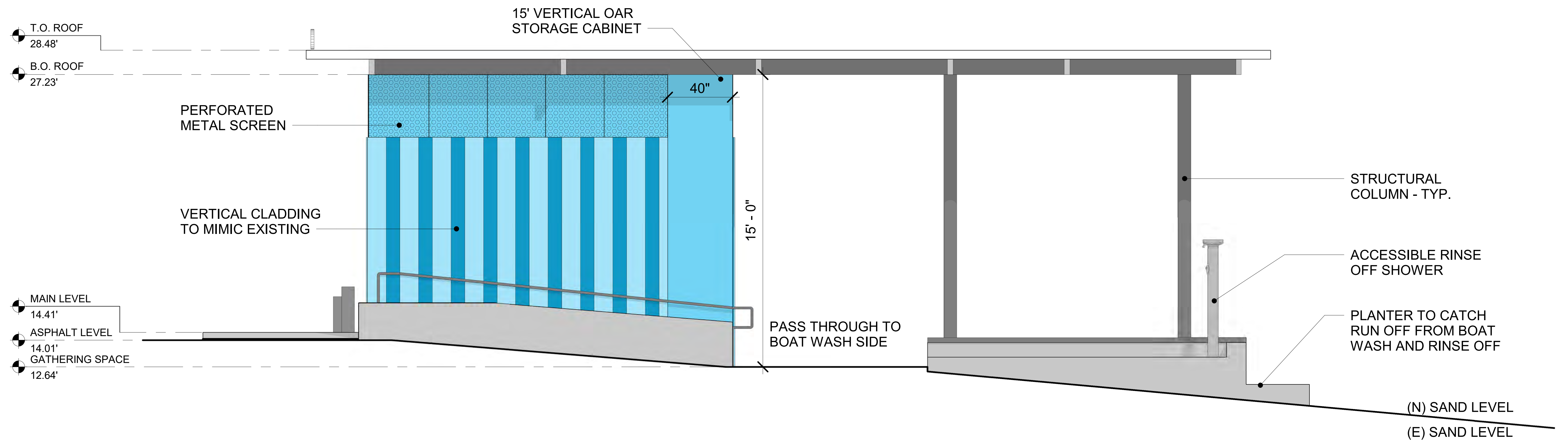
BUILDING - EAST ELEVATION



**MOTHER'S BEACH**  
 RESTROOM BOAT STORAGE RENOVATION & PROMENADE  
 14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

SPARANO + MOONEY ARCHITECTURE





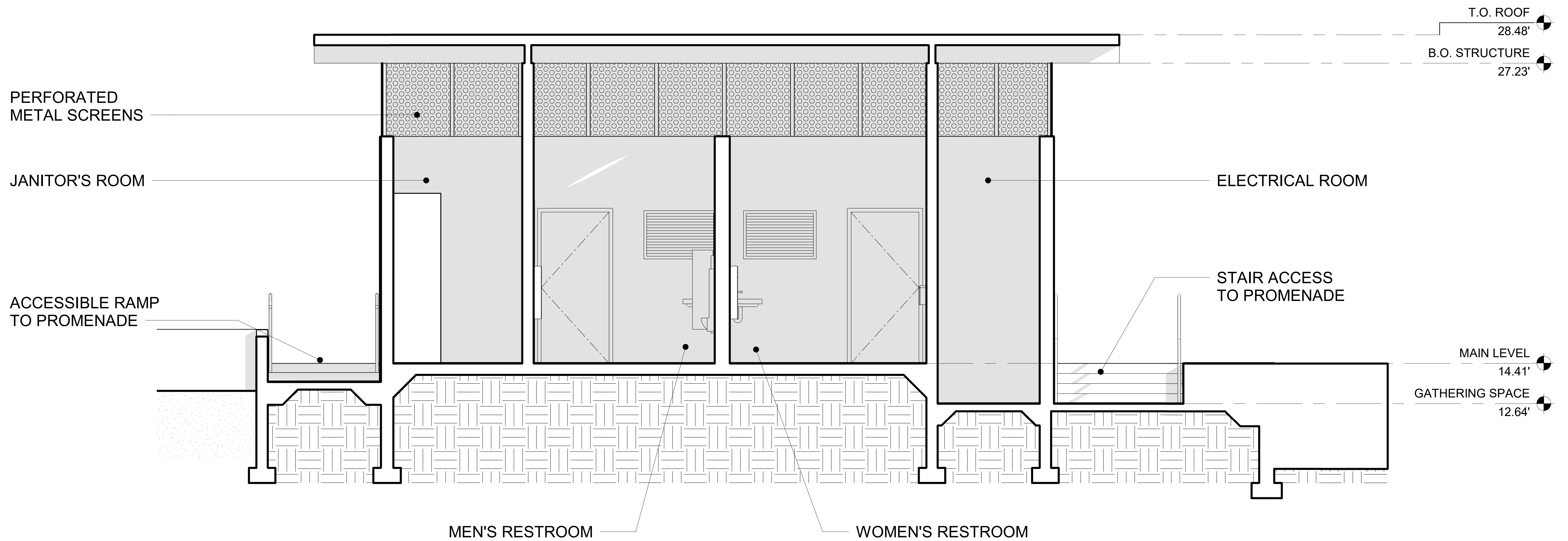
BUILDING - WEST ELEVATION



**MOTHER'S BEACH**  
RESTROOM BOAT STORAGE RENOVATION & PROMENADE  
14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

SPARANO + MOONEY **ARCHITECTURE**





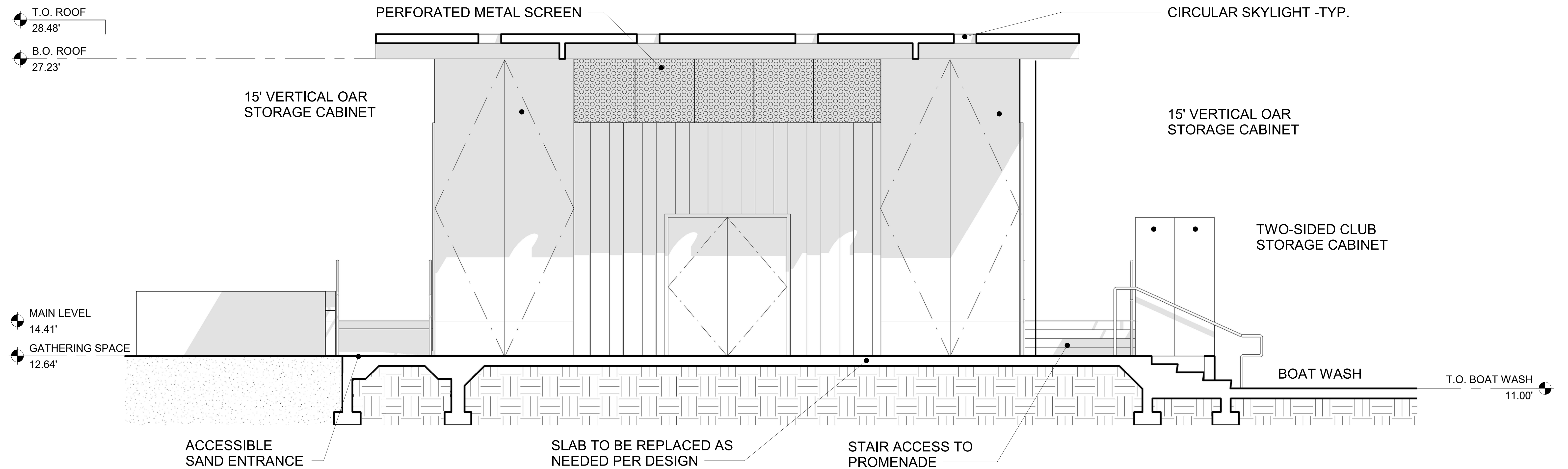
BUILDING - SECTION



**MOTHER'S BEACH**  
 RESTROOM BOAT STORAGE RENOVATION & PROMENADE  
 14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

SPARANO + MOONEY ARCHITECTURE

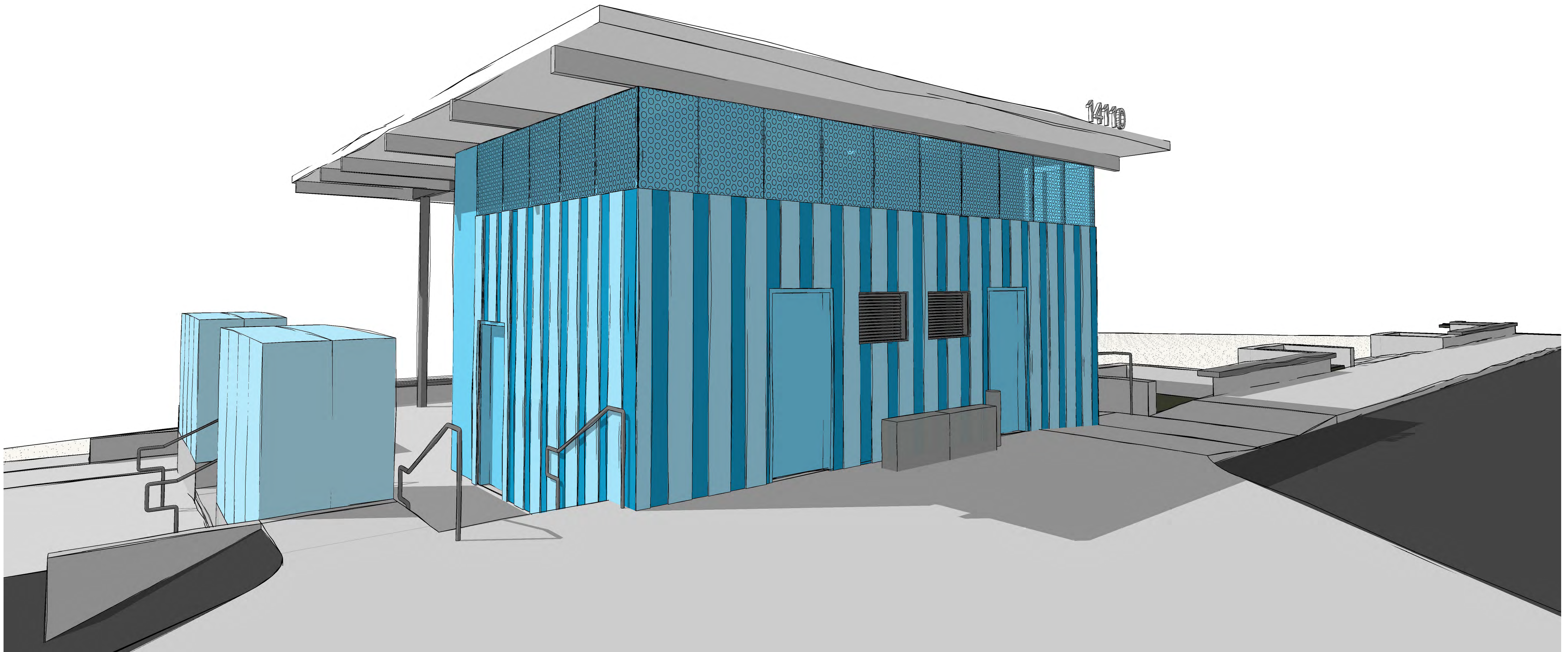




BUILDING - SECTION







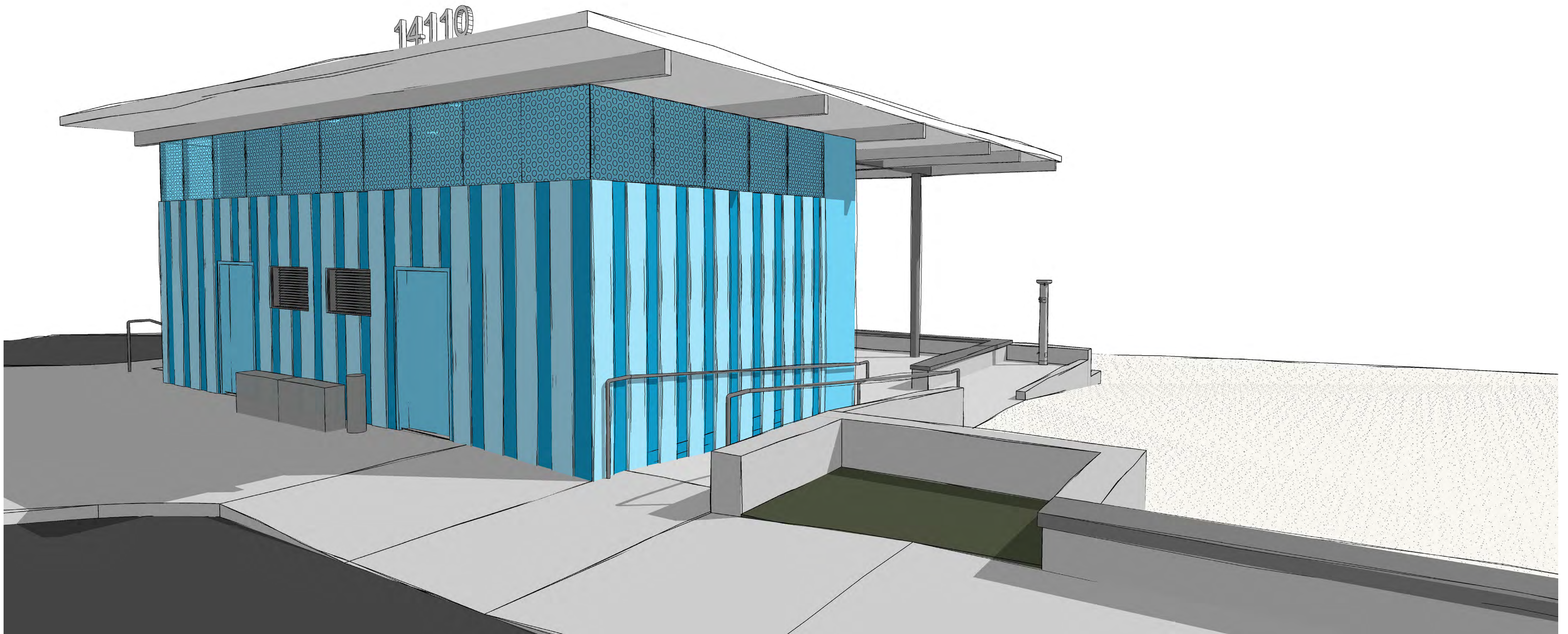
BUILDING - NORTH EAST VIEW



**MOTHER'S BEACH**  
 RESTROOM BOAT STORAGE RENOVATION & PROMENADE  
 14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

SPARANO + MOONEY ARCHITECTURE





BUILDING - NORTH WEST VIEW



**MOTHER'S BEACH**  
 RESTROOM BOAT STORAGE RENOVATION & PROMENADE  
 14110 W. PALAWAN WAY, MARINA DEL REY CA. 90292

SPARANO + MOONEY **ARCHITECTURE**





Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director

**SUBJECT: ITEM 5F – PARCEL 49M – MARINA DEL REY PARKING STRUCTURE -  
DCB #23-012 – CONCEPTUAL DESIGN CONSIDERATION OF  
PROPOSED CONSTRUCTION**

Item 5F on your agenda is a submittal from the Department of Beaches and Harbors (DBH), seeking conceptual design approval for new construction of a parking structure and associated site improvements. The project would be located on Parcel 49M at 13650 Mindanao Way.

## **PROJECT OVERVIEW**

### Existing Conditions

The project site is an existing 2.46-acre public surface parking lot, known as Marina Parking Lot #4, and is located near the southwest corner of the Mindanao Way and Admiralty Way intersection. The site is located within an area developed with an assortment of uses including parks and recreational elements, boating facilities, retail, restaurants, and parking areas. North of the site is the Boardwalk Marina del Rey Shopping Center, which contains a Trader Joe's grocery store, retail, and restaurant uses. South of the site is a boat launch, parking area, and mast-up dry boat storage. To the east is the Marvin Braude Bike Path and the Marina del Rey Visitors Center and to the west is a surface parking lot, dry boat storage, and Burton Chace Park.

### Proposed Project

The proposed project consists of site improvements including the construction of a two-story parking structure, vehicular access and circulation points, an overlook, solar panels, and landscape design improvements. Additionally, the proposed structure would function as a mobility hub to encourage Marina visitors to “park once” and switch to a non-vehicular mode of travel. The mobility hub includes bicycle and pedestrian improvements adjacent to the Marvin Braude Bike Path, a pedestrian plaza, bike racks, a bike share station, bike lockers, electric vehicle parking, and motorcycle parking.





## **BUILDING DESIGN**

### **Building**

The proposed two-story, three level, parking structure would be approximately 510,000 square feet and 43' tall as measured from the top of the solar panels. The solar panels would shade the third parking level. The proposed structure would contain 513 parking spaces, which would result in 372 net new parking spaces. Decorative façade features would include ship masts, cables, and ship sails. The parking structure would include two stairwells at the northeast and northwest portions of the building, along with an elevator at the northwest corner of the building adjacent to the stairwell for easy level accessibility and ADA compliance. Two parking pay stations would be located on the first level of the structure near each of the stairwells. The proposed structure would include an observation balcony at the northwest corner of the third level with a view towards Burton W. Chace Park and the Marina, which would provide views of boating activities. Furthermore, the structure would include a separate reversible entrance and exit with a barrier gate on the southwestern area of the structure to assist with the ease of traffic congestion during special events.

The proposed parking structure façade would be composed of perforated aluminum panels, perforated metal panels, textured panels, ventilated façade mesh, white aluminum panels, canopy frame, teakwood, stainless steel, and ceramic tile materials. The proposed colors for the structure would include hues of blue, white, gray and green.

## **SITE DESIGN**

### **Hardscape**

The proposed site is fully developed and is almost entirely covered in impervious asphalt, with limited areas of landscaping. The proposed project would include resurfacing a portion of the existing Marvin Braude Bike Path which is located along the northern area of the structure, adjacent to the Marina del Rey Visitors Center. Additionally, the proposed project would include improved bicycle markings and a new bike path crossing at Fiji Way. Bicycle crossing identification markers would include a green striped two-lane bike way crossing along Mindanao Way at the entrance of the property. The project would also include the addition of pedestrian crossings adjacent to the bike way crossing along Mindanao Way.

The project proposes to install a wood boardwalk material over a bioswale at the northeast and northwest entrance to the parking structure along Mindanao Way, with additional wood material used at the southeast entrance. The bike path would be composed of dark colored pavers and concrete. The proposed boardwalk area would install pavers with alternating textures. The proposed project would include a circular walk area composed of blue and green accented pavers located along the east side of the structure. The proposed project would also include the installation of a new path to the nearby visitors center which would cross the existing bike path.



### Amenities

The project proposes to install a food truck parking area at the rear of the circular walk adjacent to the parking structure. In addition, a trellis would be installed along the northeast corner of the structure near the bike station and concrete backed and backless bench seating would be installed around the grass mounded lawn area. A picnic area would also be included, consisting of white fixed sunshade dining tables near the southeast boardwalk area. The project would serve as a mobility hub which would include bike racks, bike lockers, bike rental spaces, and a bike share station located at the northeast corner of the structure's first floor. A park-and-ride lot for users of the nearby transit facilities would also be included, in addition to a transit information kiosk. In addition, the project would include one combined entrance and exit along Mindanao Way.

### Landscape

The proposed project would include the installation of twelve trees, new planters with built in seating, and vine-like plants on the building facade. In addition, a bioswale would be installed along the face of the building facing Mindanao Way and include ornamental grasses. DBH proposes new landscaping throughout the site which would consist of the following trees, shrubs, and groundcover:

Proposed Trees, Shrubs, and Groundcover	
Botanical Name	Common Name
Bauhinia purpurea	Purple Orchid Tree
Salvia yangli	Russian Sage
Euphorbia	Spurge
Calandrinia grandiflora	Rock Purslane
Carex praegracilis	Field Sedge
Cissus antarctica	Kangaroo Vine
Elymus	Wild Rye
Cotyledon orbiculata	Pig's Ear
Tabebuia Rosea	Pink Trumpet Tree

### Public Art

DBH proposes to install public art along the parking structures' building façade. The Los Angeles County Department of Arts and Culture will lead the development and selection of artwork to be included in the project, with the assistance of a committee composed of local artists, County staff, and relevant community representatives.

### **SIGNAGE**

Signage at the site would include pedestrian and bicycle oriented freestanding directories, bicycle crossing signs, signage for proper traffic circulation, and a monument sign to identify the structure. The proposed site would include signage that is consistent with the Marina's branded identity, such as wayfinding signage directing the public to points of interest in the Marina, promenade entry points, activity districts, mobility hubs, WaterBus



landings, bicycle rentals, waterfront accessways, and recreational boating. Additionally, the site would include interpretive signage, which could include elements that highlight topics such as native wildlife, vegetation, and history.

### **STAFF REVIEW**

Staff finds that the proposed project is generally consistent with the Marina del Rey Design Guidelines. Burton W. Chace Park is a popular Marina del Rey destination, frequented by thousands of County residents and visiting patrons each year. As established in the Marina Del Rey Design Guidelines, Burton W. Chace Park should provide a variety of experiences that relate to the marine environment and encourage walking, picnicking, special events, and educational features. In addition, the parcels adjacent to the park were rezoned in 2012 to accommodate an expansion of the park in the future. As such, DBH proposes to construct the parking structure to provide parking that will serve the current and future demand of the park. The design would serve as a mobility hub to the Marina del Rey community and installation of the structure and additional amenities would provide for better connectivity of the existing pedestrian and bicycle infrastructure through the provision of mobility hub features such as bike racks, bike storage, bike rental spaces and bike share stations.

In addition, the project would use decorative pavement treatments with unique paving designs, wayfinding signage would be provided at the entrance that directs the public to points of interest throughout the Marina, including the promenade entry points and bicycle path, and planting strips between the sidewalk and travel lanes would be provided to buffer pedestrians from moving vehicles. DBH proposes to install an overlook at the third level of the structure for viewing the waterfront and the building façade would be softened through the use of landscaping and public art. Furthermore, awnings and canopies would be incorporated at the entrance of the building, adjoining pedestrian walkways and at building access points.

### **Board Briefings**

Two separate board briefings meeting were held on September 20, 2023, with DBH staff and members of your Board. The first meeting included Board Members Cho and Brooks-Petty, while the second meeting included Chair Coffee and Board Member Suetsugu. Overall, your Board expressed general support for the project design. However, your Board expressed a concern that the design seemed busy and may not fit into the neighboring context. It was also recommended that the wave structure above the bike share station be turned into a canopy and possibly extended. In addition, it was recommended that the interpretive signage contain educational information about the art proposed for the building façade. Furthermore, your Board expressed general concerns about traffic congestion in the area and recommended that the selected landscaping match the existing conditions of the area.

DBH has submitted the design of the proposed project for conceptual review and approval only and will return for final design approval at a future date.



**Staff requests APPROVAL of DCB #23-012, subject to the following condition(s):**

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**

GJ:WO:ts



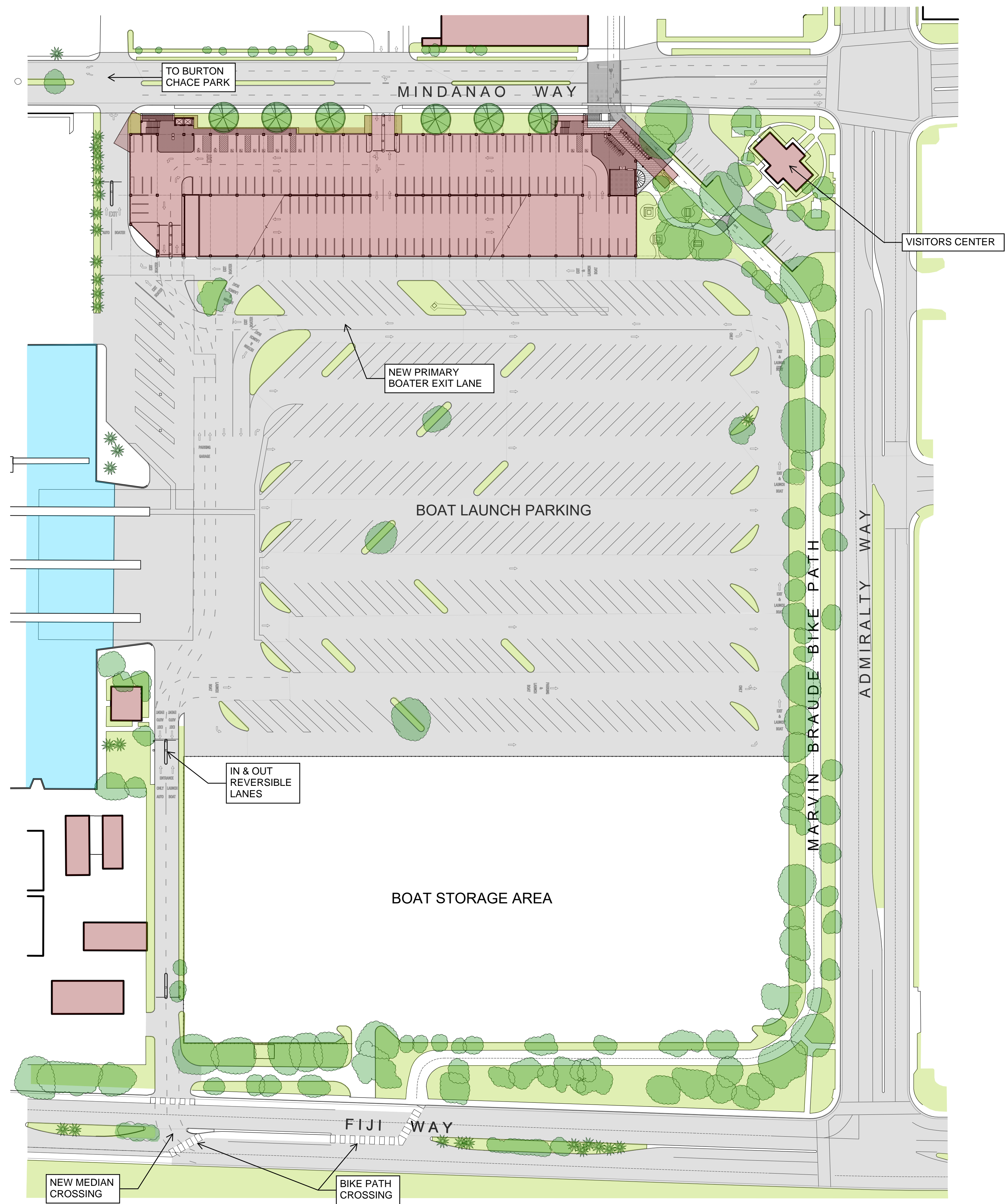
# NEW MDR PARKING STRUCTURE



DEPARTMENT OF  
**BEACHES & HARBORS**  
Caring for Your Coast Los Angeles County

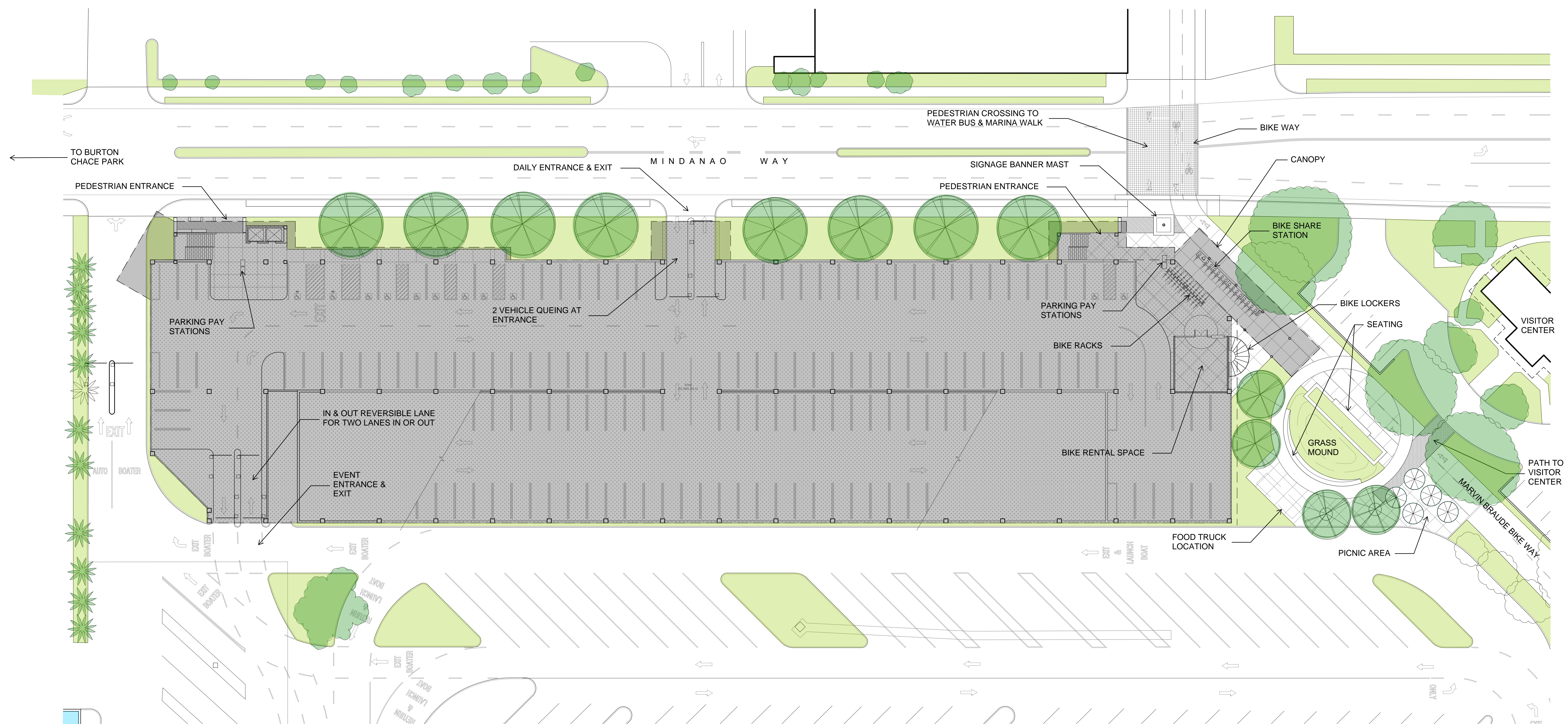






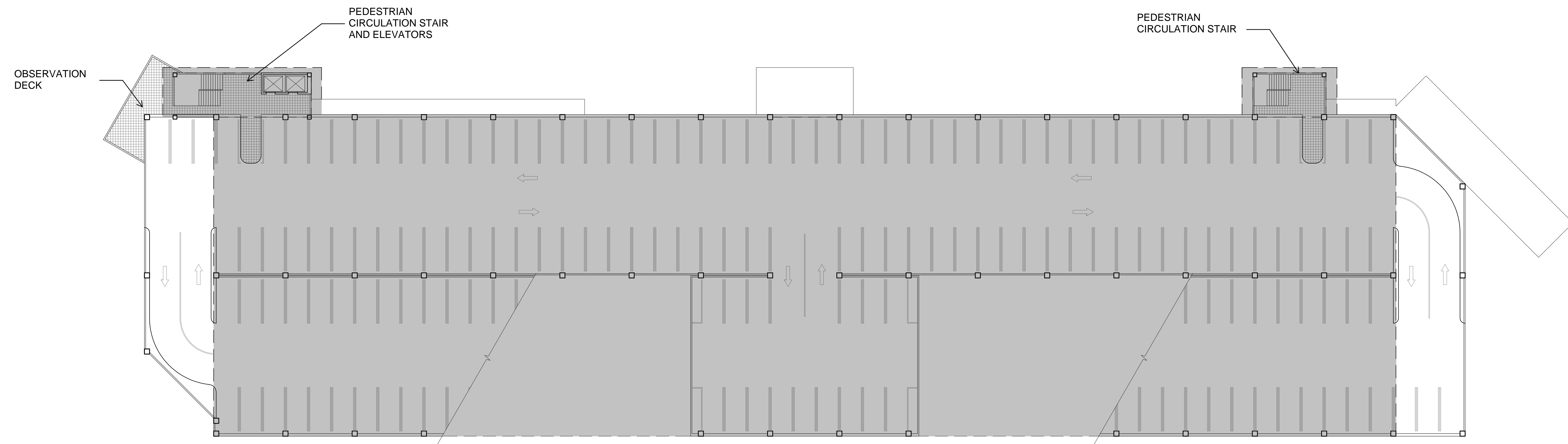
# NEW MDR PARKING STRUCTURE OVERALL SITE PLAN



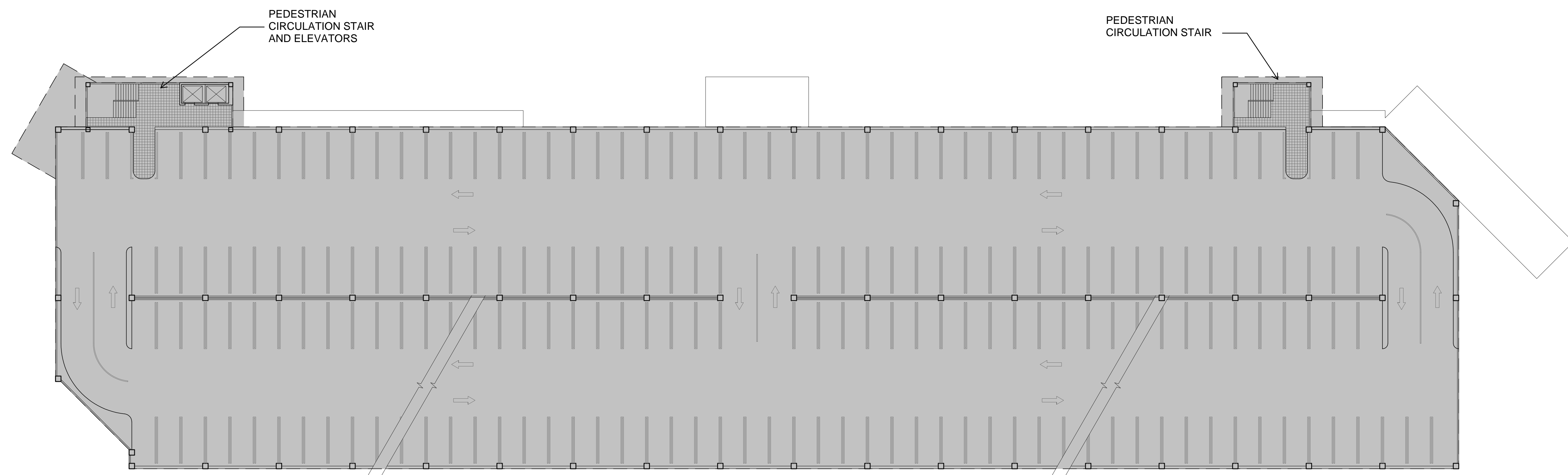


# NEW MDR PARKING STRUCTURE GROUND LEVEL PLAN





THIRD LEVEL



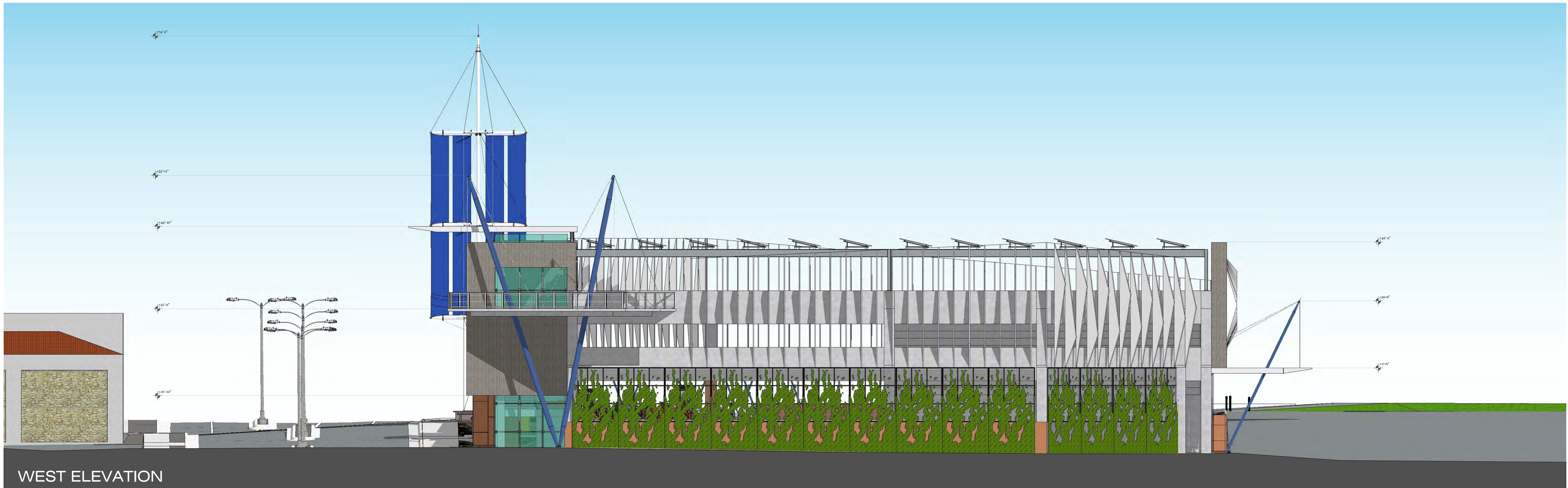
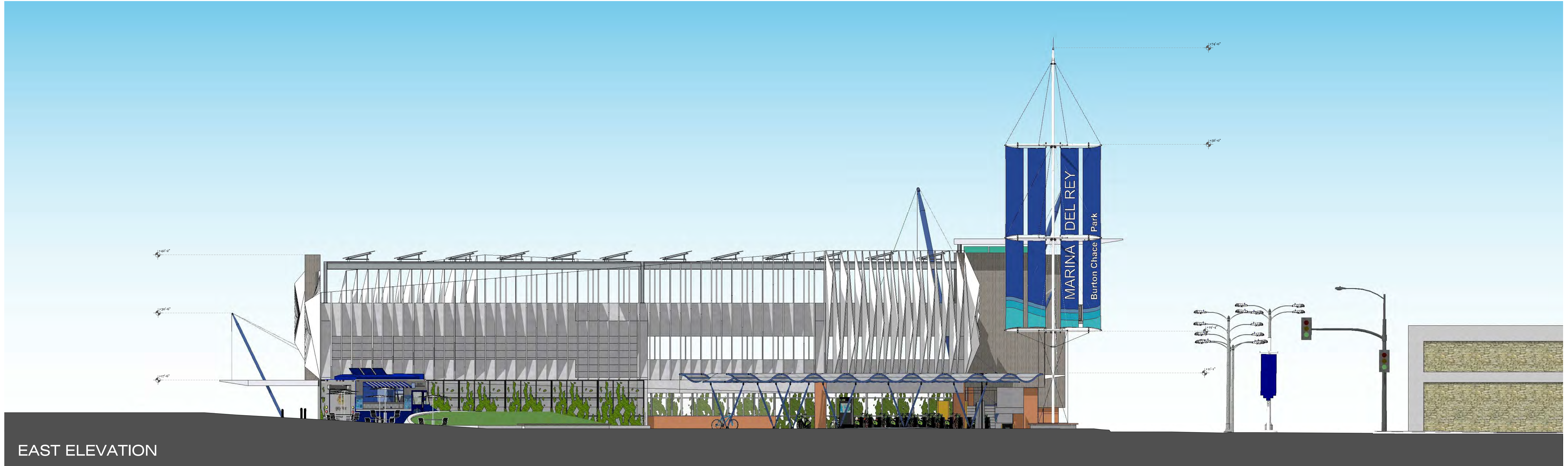
SECOND LEVEL

# NEW MDR PARKING STRUCTURE UPPER LEVEL PLANS



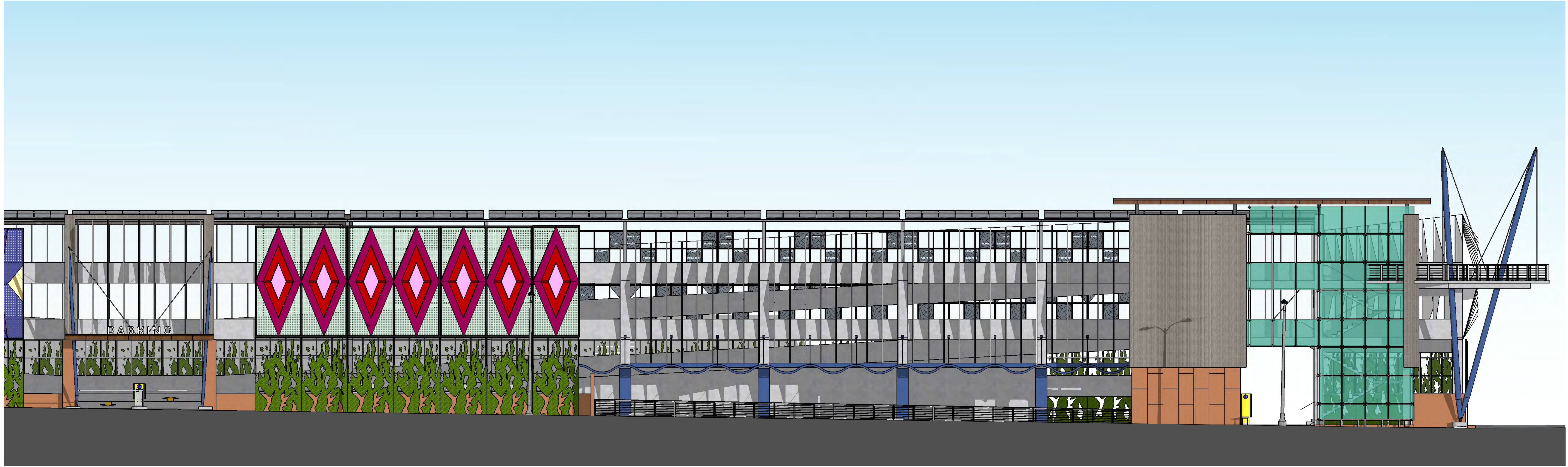






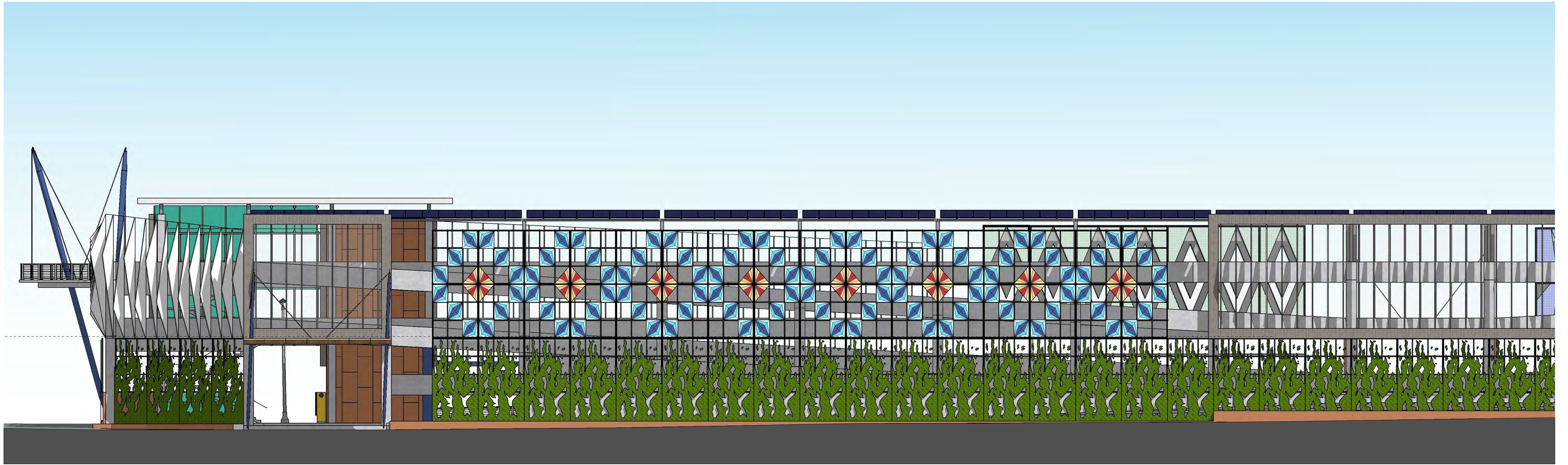
# NEW MDR PARKING STRUCTURE ELEVATIONS





**NEW MDR PARKING STRUCTURE** NORTH ELEVATIONS





**NEW MDR PARKING STRUCTURE** SOUTH ELEVATIONS





<https://www.discoverlosangeles.com/sites/default/files/styles/hero/public/images/2020-02/Marina%20del%20Rey%20aerial%20view.jpg?itok=EM0i-Vol>



<https://www.leadingtaxgroup.com/wp-content/uploads/2018/01/Marina-Del-Rey.jpg>



[https://live.staticflickr.com/7678/17182339740\\_e375e6e22c.jpg](https://live.staticflickr.com/7678/17182339740_e375e6e22c.jpg)



<https://luxuryliners.com/wp-content/uploads/Marina-del-Rey-Yacht-Rentals-85-Schooner-Sailing-2.jpg>



<https://i.pinimg.com/originals/0b/98/7b/0b987b32735569174e0e7301da05158c.jpg>



## NEW MDR PARKING STRUCTURE SHIP MASTS AND CABLES / SHIP SAILS





<https://luxuryliners.com/wp-content/uploads/Marina-del-Rey-Yacht-Rentals-85-Schooner-Sailing-2.jpg>



<https://smbasblog.files.wordpress.com/2020/05/chumash-boat-.png?w=768>



<https://luxuryliners.com/wp-content/uploads/Marina-del-Rey-Yacht-Rentals-85-Schooner-Sailing-2.jpg>



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<https://luxuryliners.com/wp-content/uploads/Marina-del-Rey-Yacht-Rentals-85-Schooner-Sailing-2.jpg>

**NEW MDR PARKING STRUCTURE** TONGVA NATIVE INDIGENOUS CULTURE ART PATTERNS AND TEXTURES





OCEAN WAVES



BALLONA CREEK NATURAL ENVIRONMENT



<https://www.ballonafriends.org/habitat>

**NEW MDR PARKING STRUCTURE** OCEAN WAVES / NATURAL RESERVE





UHPC TEXTURED PANELS



VENTILATED FACADE MESH - PTFE FABRIC



PERFORATED METAL PANEL



PERFORATED ALUMINUM PANEL

NEW MDR PARKING STRUCTURE MATERIALS' PALLETTE





WHITE ALUMINUM PANEL



CANOPY FRAME



TEAK WOOD



STAINLESS STEEL



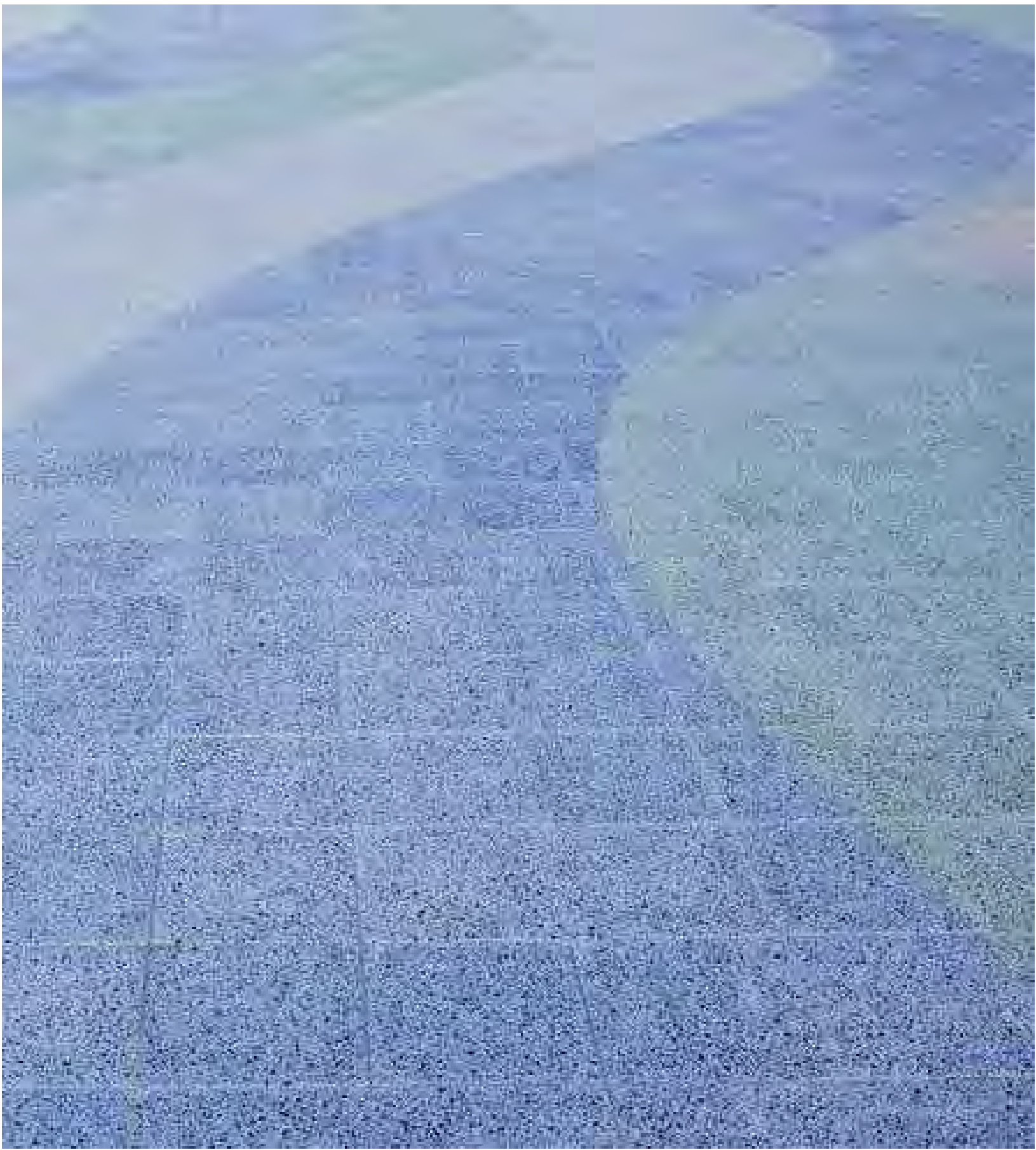
CERAMIC TILE

NEW MDR PARKING STRUCTURE MATERIALS' PALLETE





BLUE / GREEN 'OCEAN' ACCENT PAVER



BLUE / GREEN 'OCEAN' ACCENT PAVER



WOOD BOARDWALK



TWO SIDED INTERPRETIVE SIGN



BACKED CUSTOM BENCH SEATING



BACKLESS CUSTOM BENCH SEATING



FIXED SUNSHADE DINING TABLE

# MDR NEW PARKING STRUCTURE SCHEMATIC HARDSCAPE IMAGES





PURPLE ORCHID TREE



EUPHORBIA and RUSSIAN SAGE



ROCK PURSLANE and PIG'S EAR



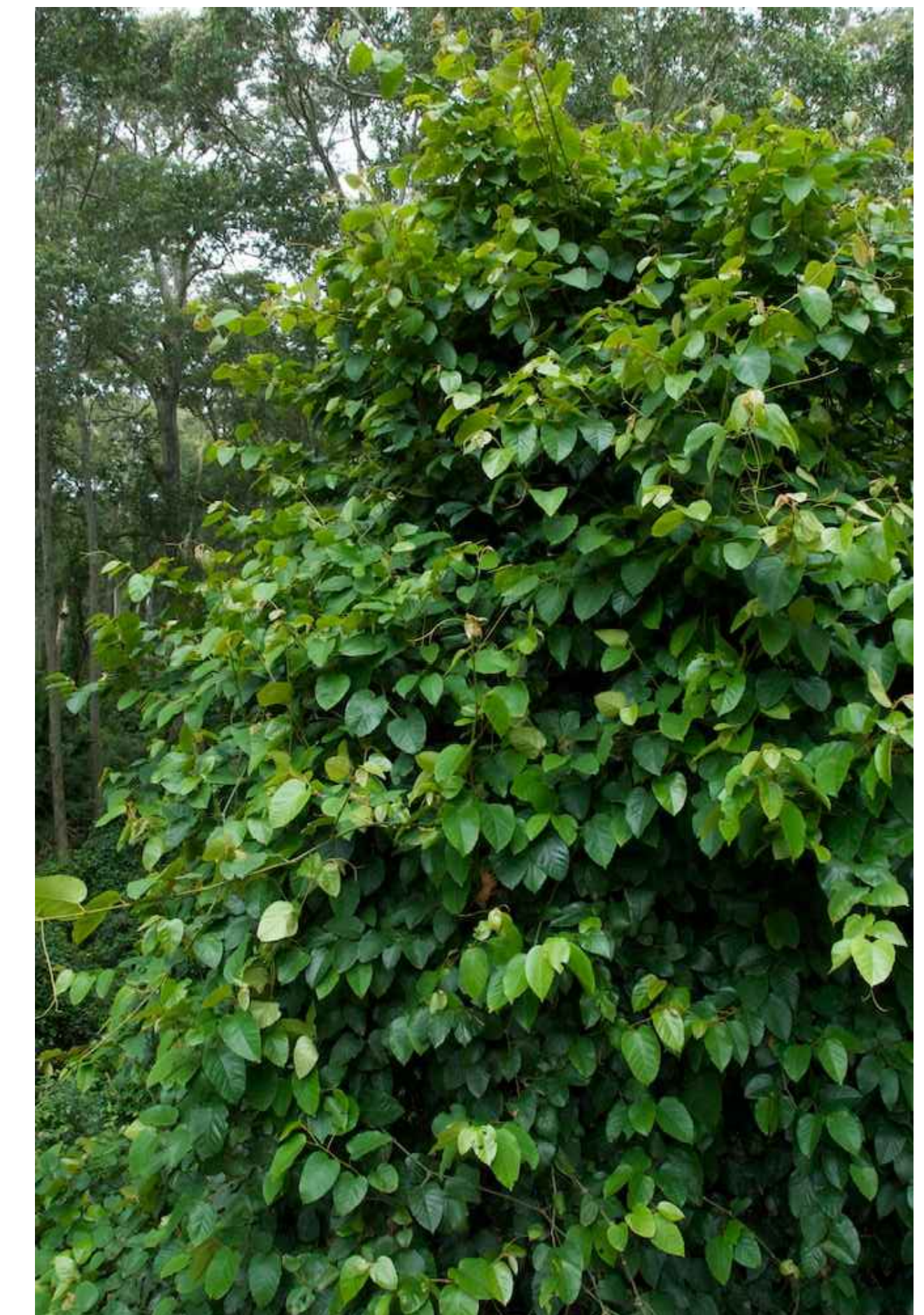
PINK TRUMPET TREE



FIELD SEDGE



WILD RYE



KANGAROO VINE

# MDR NEW PARKING STRUCTURE SCHEMATIC PLANT PALETTE





**NEW MDR PARKING STRUCTURE** VIEW FROM ADMIRALTY WAY CORNER





**NEW MDR PARKING STRUCTURE** VIEW FROM ACROSS MINDANAO WAY AT EAST END





**NEW MDR PARKING STRUCTURE** VIEW AT EAST END, LOOKING TOWARDS CHACE PARK





**NEW MDR PARKING STRUCTURE** VIEW LOOKING WEST ACROSS ADMIRALTY WAY





## NEW MDR PARKING STRUCTURE AT WEST END OF MINDANAO WAY LOOKING EAST





**NEW MDR PARKING STRUCTURE** VIEW OF PARKING ENTRANCE ACROSS MINDANAO WAY





**NEW MDR PARKING STRUCTURE** LOOKING NORTH ALONG THE BRAUDE BIKE WAY





**NEW MDR PARKING STRUCTURE** VIEW OF BIKE SHARE CANOPY FROM BIKE WAY





**NEW MDR PARKING STRUCTURE** VIEW FROM BIKE WAY ACROSS MINDANAO WAY





## NEW MDR PARKING STRUCTURE VIEW OF PARKING ENTRANCE





**NEW MDR PARKING STRUCTURE** VIEW OF EAST PEDESTRIAN ENTRANCE





**NEW MDR PARKING STRUCTURE** VIEW OF WEST PEDESTRIAN ENTRANCE





**NEW MDR PARKING STRUCTURE** SOUTH ELEVATION FROM BOAT LAUNCH PARKING





**NEW MDR PARKING STRUCTURE** VIEW OF PARKLET FROM LAUNCH BOAT PARKING





**NEW MDR PARKING STRUCTURE** VIEW OF PARKLET FROM BIKE WAY





**NEW MDR PARKING STRUCTURE** VIEW FROM BASIN G DOCKS LOOKING SOUTH





Caring for Our Coast

**Gary Jones**  
Director

**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director

SUBJECT: **ITEM 6A - ONGOING ACTIVITIES REPORT**

**BOARD ACTIONS ON ITEMS RELATING TO MARINA DEL REY**

On August 8, 2023, the Board of Supervisors (BOS) approved an assignment of the Parcel 132S lease to Crescendo Pacific Marina LLC and authorized the Director of Beaches and Harbors to execute any consents, estoppels, and related documentation, necessary to effectuate the assignment. Furthermore, the BOS approved an increase in the general liability insurance coverage limits and instructed the Chair to sign an amendment to the lease for Parcel 132S to additionally include compliance with the County's Labor Peace Policy and the Prevailing Wage laws, an additional remedy permitting the County to seek specific performance against LAACO, LTD in the event the lessee fails to properly maintain and repair the project's improvements.

**REGIONAL PLANNING COMMISSION'S CALENDAR**

No items related to Marina del Rey were on the July, August, or September 2023 Regional Planning Commission's agenda.

**CALIFORNIA COASTAL COMMISSION CALENDAR**

No items related to Marina del Rey were on the July, August, or September 2023 California Coastal Commission agenda.

**FUTURE MAJOR DESIGN CONTROL BOARD ITEMS**

There are no future major Design Control Board items at this time.

**SMALL CRAFT HARBOR COMMISSION MINUTES**

The April, May, and July 2023 Small Craft Harbor Commission meeting minutes are attached. The June and October meetings were cancelled. The August and September 2023 meeting minutes are pending.

**REDEVELOPMENT PROJECT STATUS REPORT**

The updated "Marina del Rey Redevelopment Projects Report" is attached.

GJ:WO:lr

Attachments (3)





**SMALL CRAFT HARBOR COMMISSION MINUTES**  
**SPECIAL NIGHT MEETING**  
**April 20, 2023**

**Commissioners:** Nathaniel Salazar, Chair; Gregory Gorman, Vice Chair; Bernard Kozacik Allyn Rifkin; Richard Montgomery (excused absence)

**Department of Beaches and Harbors (DBH):** Amy Caves, Chief Deputy Director; Steve Penn, Chief of Asset Management Division; Susana Graether, Chief Property Manager; Amir Tadros, Senior Real Property Agent

**Item 1 - Call to Order and Pledge of Allegiance**

Chair Salazar called the meeting to order at 6:00 pm, followed by the Land Acknowledgement Statement and the Pledge of Allegiance. Susana Graether read the hybrid meeting procedures.

**Item 2 – New Business**

LCDR Braden Rostad, U.S. Coast Guard; presented about Vessel Types, valid bareboat charters, and the Coast Guard Law Enforcement Authority.

Susana Espinosa, Department of Beaches and Harbors, presented information about the Russell Walker WATER Youth Program and spoke of sailing camps, and single-day programs for youth from high-need areas and on probation.

Daniel Ginzburg, FantaSea Yachts, gave a presentation on his charter company, highlighting its fleet, staff, and charter services.

Keith Lambert, Marina del Rey Anglers, presented about his fishing club which includes a Kids' fishing program, Veterans fishing program, and White Seabass Pen project. He announced the 48<sup>th</sup> Marina del Rey Annual Halibut Derby and encouraged the public to attend on June 3<sup>rd</sup> and June 4<sup>th</sup>, 2023.

Bennet Samson, Fairwind Yacht Club, presented information about the yacht club, a cooperative made up of 600 plus members half of whom are in Marina del Rey and the other half is in Channel Islands harbor. The club maintains a fleet of 40-plus sailing vessels and offers sailing experiences and American Sailing Association training at no additional cost to its members.

Kurtis Sundblom and Nathan Mai, Boys and Girls Club of West Gabriel Valley & Eastside, presented the organization's history, impact on the community, and community partnerships. They highlighted the program elements such as the anatomy of the Hobie Wave, kayaking and paddle boarding, and the anatomy of a boat.

Jamie Hedlund, Los Angeles Rowing Club, gave a presentation about the organization's goals, learn-to-row program, and their crews' competition in the San Diego Crew Classic. He spoke of their need for additional rack storage space and the possibility of collaborating with DBH staff and stakeholders to bring a community boat house to the Marina.



Colin Kurcz, Charter Operators of Marina del Rey California Association (COMCA), presented the association's purpose and what they provide to the community. He provided information on two types of memberships, regular membership comprised of individuals involved in the charter boat industry, and associate membership comprised of individuals, or associations whose participation and expertise are known as supportive of the charter boat industry.

Brendan Huffman, Del Rey Yacht Club, gave a presentation on the club's history and commitment to inclusivity. He emphasized that no one is turned away due to financial hardship and spoke about their pride in giving back by partnering with local youth groups.

Carolene Bookman, the Mariners Outreach Foundation, gave a presentation on the foundation's purpose to help Catalina Island children have more mainland experiences and attain higher education.

Eduardo Silvestre, California Yacht Club, presented on the club's mission and values like community and friendly competition, continuous learning, and care for the ocean. He spoke of their programs, partnerships, and scholarships available.

Steve Curran, Marina del Rey Yacht Sales, gave a presentation on the history of Marina del Rey and its partnerships. He spoke of the need for a good boating center, having a boater within the DBH staff, and restarting the MarinaFest.

Jun Dolor, Pacific Ocean Management (POM), gave a presentation on Dock 55 Landing's use, requirements for a new application, renewal of the current licensee, Dock 55 booking procedure, landing fee, and basic charter limitations.

Mr. Rifkin and Chair Salazar asked if there would be another presentation on Dock 55 at a later meeting.

Mr. Penn replied that it will be placed on a future meeting agenda.

Lauren Decker, Marina Outrigger Canoe Club, presented on the club's history and noted the organization is supported by membership fees, sponsorships, and donations. They are passionate about protecting the environment and keeping it clean and safe.

Captain Alex Balian, Paradise Bound Yacht Charters, spoke of his U.S. Navy career, sea experience, and Paradise Bound Yacht Charter services. He noted the positive experience within the charter community in Marina del Rey harbor.

Chair Salazar solicited the Commissioners for their comments and input regarding any of the presenters.

Mr. Rifkin reported communication received about the possibility of additional bicycle access in Marina del Rey and requested placing it as an item on a future agenda.



Chair Salazar requested another presentation from POM, spoke about the Mariners Outreach Foundation, and requested additional information about the water program. He noted LA Rowing Club's need for additional rack space and stated that the commission would work with DBH staff to address concerns.

**Item 3 – Communication from the Public**

Damien McCloud, Spin Out Fitness, Spoke of their business that provides bikes that float and travel from two to five knots, they are human-powered. They are looking for a home in Marina del Rey and guidance and support from the community and commissioners to find a location for the business.

Alex Gruft, Marina del Rey Yacht Brokers, introduced himself and the organization to the commission and spoke of their mission.

Brad Falkenstein, City Cruises, spoke of their charter services and announced the complete renovation of their flagship yacht, The Entertainer.

Dan Ericson, Marina del Rey Sport Fishing, briefly described fishing trips, fleet, and private charters.

Jessalyn Waldron, Constituent Services Deputy for the Board of Supervisor Holly Mitchell, Second District, Introduced herself and mentioned her office in the park is open should anyone want to say hello.

**Adjournment**

Chair Salazar adjourned the meeting at 7:26 pm.



**SMALL CRAFT HARBOR COMMISSION MINUTES**  
**May 10, 2023**

**Commissioners:** Nathaniel Salazar, Chair; Bernard Kozacik; Allyn Rifkin; Richard Montgomery; Gregory Gorman, Vice Chair; (excused absence)

**Department of Beaches and Harbors (DBH):** LaTayvius Alberty, Deputy Director; Steve Penn, Chief of Asset Management Division; Susana Graether, Chief Property Manager; Ivy Bordenave-Priestly, Lease Specialist; Amir Tadros, Senior Real Property Agent

**County:** Parjack Ghaderi, Principal Deputy County Counsel

**Item 1 - Call to Order and Pledge of Allegiance**

Chair Salazar called the meeting to order at 10:00 am, followed by the Land Acknowledgement Statement and the Pledge of Allegiance. Ivy Bordenave-Priestly read the hybrid meeting procedures.

Steve Penn introduced the new DBH Deputy Director, LaTayvius Alberty, and Ivy Bordenave-Priestly who will replace Susana Graether. Ms. Graether will transfer to the CEO's office starting next month.

**Item 2 – Approval of Minutes**

Mr. Rifkin inquired about April 20, 2023, Special Night Meeting minutes.

Steve Penn replied that the April 20, 2023 meeting minutes will include a summary of all the activities and will be provided at the next meeting.

**Motion to approve March 8, 2023, Meeting Minutes by Mr. Rifkin, seconded by Mr. Kozacik.**

**Ayes: 4, Chair Salazar, Vice Chair Gorman, Mr. Kozacik and Mr. Rifkin**  
**Abstain: 1, Mr. Montgomery**

**Item 3 – Communication from the Public**

There was no communication from the public.

**Item 4 – Communication with the Commissioners**

Mr. Rifkin disclosed communication from Allen Abses, an urban planner, regarding modifications to the bicycle plan and suggested adding the topic to a future meeting agenda.

Steve Penn noted that the Marina del Rey bike path is under the jurisdiction of the Department of Public Works (DPW); however, DBH would be glad to assist in receiving the information and passing it to DPW.

Chair Salazar disclosed communication from Lory Klaidman.

**Item 5a – Marina Sheriff**

Sergeant Ron Knolls presented the Sheriff's report.



**Item 5b – MdR and Beach Special Events**

Catrina Love reported on the Beach Eats, the COVID-19 clinic, and Beach Shuttle. She announced the return of Culture Jam and the Marina del Rey Water Bus.

**Item 5c – Marina Boating Section Report**

Michael Blenk reported that Anchorage 47 has zero 42-feet, four 38-feet, three 34-feet, four 28-feet, nine 24-feet, and three 22-feet vacant slips available. Parcel 77 powerboat storage is full, and Mast-Up storage has 35 spaces available.

**Item 5d – Marina del Rey Maintenance Report**

Jose Bedolla reported on the Electric Vehicle (EV) station project for the DBH administration building and Lot 5. He gave a status report for Dock 77 design construction, Aubrey Austin Junior Park improvement project, Boat Launch Ramp general improvements, Chace Park improvements, Fiscal Building improvements project, Marina del Rey parking structure, Mother's Beach boat storage improvements, and Seawall voids repair-phase II.

**Item 6a – Report on Dock 55 Charter Boat Operation Management**

Jun Dolor and Debra Fixen presented the report.

Colin Kurez, Calico Yacht Charter, spoke about the recent changes in the contract between DBH and POM and commented that the landing fee increase of \$150 will drive customers to use illegal charters.

Ryan Kirk, Tiki Boat MdR, LLC, asked questions about Dock 55's financial operations.

Pam Gore, COMCA, read her letter and submitted it to be included as part of the record, and requested lowering the landing fee increase.

Gustavo Santi, Charters 2000, spoke of affordable priced charters and the effects the increased fee will have on his business. He requested a hold on the fee increase and suggested that DBH and 2<sup>nd</sup> District office have a meeting to discuss it.

Captain Alex Balian, Paradise Bound Yacht Charters, spoke of Dock 55's impact on the success of the charter industry in Marina del Rey and the importance of keeping the ease of use at Dock 55.

Joss Martinez, California Dream Tours, requested consideration of his COI boat which carries more than twelve passengers. He explained that Dock 55 only allows 12-passenger charters, and he's requesting permission to carry two additional passengers.

Kevin Wang, Sailway Charter, disagreed with the landing fee increase, expressed concern for Dock 55's goals, and suggested opening a new dock specifically for charter companies with high-end customers.

Marc Andelman expressed concern for the boat charter customers due to the landing fee increase and pondered the idea of charter customers being targeted or excluded.



Robert F. Zales, National Association of Charterboat Operators, spoke about their organization's mission and purposes. Expressed concern regarding the landing fee increase and suggested alternative methods to increase the fee to a reasonable amount.

Britanny Emery shared her concerns regarding the price increase and its potential to cause businesses to go out of business.

Ben Wang spoke of his issues with the price increase and requested DBH place a hold on the increase.

Baky spoke about the fee increase potentially increasing illegal charter services.

Mr. Rifkin requested clarification as to the commission's authority on the item and asked for direction as to how to address this item due to it not being an action item.

Steve Penn replied that the commission is an advisory body; however, DBH staff and the Board of Supervisors (BOS) highly regard the commission's advice and recommendations. The staff takes the commission's guidance as the direction of DBH operations.

Mr. Rifkin asked about the Request For Proposal and how Pacific Ocean Management (POM) was selected and requested a report on the criteria for selection.

Amir Tadros clarified that there is no fee increase. He explained that the fee has remained the same since the inception of Dock 55 in 2017. He further explained that It has always been six percent of the gross receipts or the minimum of \$50. The six percent fee remains the same; however, the cost to charter a vessel has increased. The number of improvements and allowances for passengers has doubled. Lastly, he explained that there was a high demand for charter services during the pandemic, and yet the six percent fee remains the same.

Steve Penn explained the RFP process and noted that POM rated the highest score. He also suggested providing RFP documents or a presentation regarding the RFP process.

Mr. Kozacik inquired about the length of time a new charter company has to wait to operate out of Dock 55.

Jun Dolor replied that the last charter company waited approximately two years.

Mr. Kozacik asked how many charter trips in the summertime per day and the average cost.

Jun Dolor replied about 50 trips per day and an average charter cost between \$1200-\$1500 for a two-hour to four-hour trip.

Mr. Kozacik asked if the fee increase affect the current bookings.

Mr. Dolor replied that it will not affect any of the charter companies until a new contract is signed.



Mr. Montgomery asked about the enforcement of illegal charters.

Amir Tadros replied that DBH works closely with the US Coast Guard and Harbor Master which translates to constant enforcement.

Chair Salazar asked if the BOS shares the same thoughts as the DBH staff regarding the landing fee increase. He requested charter rates from comparable marinas and accurate calculations for the landing fee increase.

Debra Fixen noted that the numbers provided during the public comment period were inaccurate. She pointed out that the six percent fee remained the same and the minimum fee was increased to cover the cost due to a 243% expense increase.

Mr. Penn summarized the charter operators, dock management, and County staff points of view and stated that the driving force behind the increase of the landing fee from \$50 to \$150 is the higher capacity compared to 2017 when the dock was first constructed. He explained that the foot traffic, parking lots, and increased business led to wear and tear, increased operating expenses, and a higher workload. He further explained that the County's cost also increased as the County owns and maintains the dock, which is a public resource and is funded by taxpayers' money. He further explained that during the analysis they didn't believe there would be a substantial economic impact on the charter operators because of the comparison of six percent to \$150, he noted that the breaking even point results approximate at \$2500.00. When using that amount including gratuity and all other costs the amount surpasses the even point. Which means charter operators are paying more than \$150 already.

Mr. Montgomery suggested continuing the item to the next meeting.

Mr. Penn and Ms. Alberty stressed the importance of open communication and understand the concern about the increase and stated that staff would instruct POM to hold off on the increase of the landing fee until further discussions were held. DBH will review documentation submitted from POM and any charter operator, and also conduct outreach with operators prior to implementing any fee increase. An update of this matter would be brought back at the next Commission meeting.

**Motion to reagendaize the item to the next meeting by Chair Salazar, seconded by Mr. Rifkin.**

**Ayes: 4, Chair Salazar, Mr. Montgomery, Mr. Kozacik, and Mr. Rifkin**  
**Abstain: 0**

#### **Item 7a – New Business**

None

#### **Item 8 – Staff Reports**

Steve Penn presented the staff report.



**Adjournment**

Chair Salazar adjourned the meeting at am.



**SMALL CRAFT HARBOR COMMISSION MINUTES  
SPECIAL MEETING  
July 25, 2023**

**Commissioners:** Nathaniel Salazar, Chair; Gregory Gorman, Vice Chair; Bernard Kozacik; Allyn Rifkin (participated remotely); Richard Montgomery

**Department of Beaches and Harbors (DBH):** Amy Caves; Chief Deputy Director; LaTayvius Alberty (participated remotely), Deputy Director; Steve Penn, Chief of Asset Management Division; Ivy Bordenave-Priestly, Lease Specialist; Amir Tadros, Senior Real Property Agent

**County Counsel:** Sevanna Hartonians (participated remotely), Parjack Ghaderi (participated remotely)

**Item 1 - Call to Order and Pledge of Allegiance**

Chair Salazar called the meeting to order at 10:00 am, followed by a roll call for commissioners' attendance in person and motion to approve Commissioner Rifkin to participate remotely, followed by the Land Acknowledgement Statement and the Pledge of Allegiance. Ivy Bordenave-Priestly read the hybrid meeting procedures.

**Item 2 – Approval of Minutes**

**Motion to approve April 20, 2023, and May 10, 2023, Meeting Minutes by Vice Chair Gorman, seconded by Mr. Kozacik.**

**Ayes: 4, Chair Salazar, Vice Chair Gorman, Mr. Kozacik and Mr. Rifkin  
Abstain: 1, Mr. Montgomery (April Minutes)**

**Item 3 – Communication from the Public**

Denise George spoke of the need to mark the north entrance to the channel for safety.

**Item 4 – Communication with the Commissioners**

Mr. Rifkin and Mr. Gorman disclosed communication from COMCA.

Mr. Kozacik disclosed communication from COMCA, boat charters, and Lessees regarding Marina del Rey Affordable Housing Policy Updates.

Chair Salazar disclosed communication from COMCA.

**Item 5a – Marina Sheriff**

Sheriff submitted the report on file without oral presentation.

**Item 5b – MdR and Beach Special Events**

Catrina Love reported on the Fire Works Show on July 4<sup>th</sup>, Summer Concerts, MdR for All, and the return of Marina Movie Night.

Vice Chair Gorman praised the concerts and encouraged everyone to attend.



**Item 5c – Marina Boating Section Report**

Michael Blenk reported that Anchorage 47 has four 34-feet, three 30-feet, four 28-feet, nine 24-feet, five 27-feet, and six 22-feet vacant slips available. Parcel 77 powerboat storage is full, and Mast-Up storage has 39 spaces available.

**Item 5d – Marina del Rey Maintenance Report**

Jose Bedolla reported on the U.S. Army Corps of Engineers' maintenance dredging efforts and mentioned that DBH will deliver a dredging presentation at a future commission meeting.

**Item 7a – Parcel 132 (California Yacht Club) Lease Assignment and Lease Amendment No. 14**

Arnulfo Delgado presented this item.

Vice Chair Gorman asked the assignee to address the commissioners.

Colin Shepard and Jeffrey Weiss introduced themselves.

Vice Chair Gorman expressed his disappointment with the previous lessee and their refusal to open the promenade as required by their lease. He asked if the proposed assignee is prepared to open the promenade.

Mr. Shepard replied that they are fully committed to opening the promenade.

Vice Chair Gorman requested that they provide a timeline, plans, and regular updates regarding the promenade within 90 days.

Steve Penn advised that there is a timeline as part of the lease amendment and staff would return to provide a status of the project at the Commission's request.

Mr. Montgomery inquired as to why there was no extension or participation fee.

Amy Caves replied that the 1965 lease does not provide for these fees.

**Motion to endorse this item and for staff to provide the plan and timeline for the updates regarding the progress of opening up the promenade for public access by Vice Chair Gorman, seconded by Mr. Kozacik.**

**Ayes: 5, Chair Salazar, Vice Chair Gorman, Mr. Kozacik, Mr. Rifkin, and Mr. Montgomery**

**Item 7b – April Special Night Meeting Public Comments Summary**

Steve Penn presented the staff report.

**Item 8 – Staff Reports**

Steve Penn presented the staff report.



Lori Klaidman objected to the increased landing fee due to the hardship it will cause her charter business.

Pam Gore spoke of the landing fee and how it is unreasonable for the Dock 55 charter operators.

Gustavo Santi spoke about his financial hardship due to the increase in the landing fee.

Captain John spoke of Pacific Ocean Management's conflict of interest with managing Dock 55 and Fisherman's Village docks.

Mr. Montgomery requested the Sheriff attend the next meeting to explain the liveaboard report.

Mr. Penn replied affirmatively.

Chair Salazar addressed the landing fee issue and requested a water safety video.

Mr. Penn encouraged the public to continue to voice their concerns, suggestions, and comments at the Small Craft Harbor Commission meetings.

### **Adjournment**

Chair Salazar adjourned the meeting at 11:01 am.



**Marina del Rey Redevelopment Projects Report  
As of October 18, 2023**

<b>Parcel No. Project Name</b>	<b>Representative</b>	<b>Redevelopment Proposed</b>	<b>Massing and Parking</b>	<b>Status</b>
<b>113</b> -- Mariner's Village	Mark Wagner	<ul style="list-style-type: none"> <li>* Renovation of 981 apartments</li> <li>* Improvements to promenade</li> </ul>	<p><b>Massing</b> – Existing buildings to remain.</p> <p><b>Parking</b> – Existing parking to remain.</p>	<p><b>Proprietary</b> – Item opened on 9/23/2013. On October 30, 2018, the Los Angeles County Board of Supervisors approved an option for an amended at restated lease. The revised project will include 20% affordable units. The Option for the Amended and Restated Lease was extended for one year, until October 29, 2023, at the October 18, 2022 Board of Supervisors Meeting. Lessee submitted notice of its intent to exercise its Option to extend the Amended and Restated Lease on September 14, 2023. The County is currently reviewing the option exercise documents.</p> <p><b>Regulatory</b> – The Regional Planning Commission approved an after-the-fact Coastal Development Permit (CDP) for the previous removal of waterbird nests. The appeal of that CDP was approved by the Coastal Commission in September 8, 2021. Lessee is tentatively scheduled to present at the Marina del Rey Design Control Board meeting scheduled for January 19, 2022. Lessee's presentation at Jan 19, 2022's DCB meeting was continued to allow more time to review the proposal. Staff scheduled ex-parte meetings with Meg Coffee and Chair Cho. Lessee's design plans were approved at the March 2022 DCB meeting.</p>





Caring for Our Coast

**Gary Jones**  
Director


**Amy M. Caves**  
Chief Deputy Director

**Carol Baker**  
Deputy Director

**LaTayvius R. Alberty**  
Deputy Director

October 18, 2023

TO: Design Control Board

FROM: Gary Jones, Director 

SUBJECT: **ITEM 6B – MARINA DEL REY SPECIAL EVENTS**

## **MARINA DEL REY EVENTS**

### **BURTON CHACE PARK YOGA CLASS**

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey  
Sundays, 9:30 a.m. – 10:30 a.m. | Instructor: Anastasia  
Friday, October 13, 6:00 p.m. – 7:00 p.m. | Instructor: Aimee  
Cost: \$10 per class

Connect with nature and community through a yoga session at the water's edge. Yoga classes are offered to all, regardless of age or ability. Children should be able to follow along or sit quietly with a parent or guardian. Students must bring their own mats, water, and sunscreen. Pre-registration required for each class by emailing [chacepark@bh.lacounty.gov](mailto:chacepark@bh.lacounty.gov).

For more information: Call (424) 526-7910 or email [chacepark@bh.lacounty.gov](mailto:chacepark@bh.lacounty.gov)

### **BURTON CHACE PARK WALKING CLUB**

Burton Chace Park ♦ Lobby ♦ 13650 Mindanao Way ♦ Marina del Rey  
Tuesdays and Thursdays  
10:30 a.m. – 11:30 a.m.  
Cost: FREE

Looking for a new way to exercise? The Department of Beaches and Harbors (Department) offers a weekly walking group to help you get moving to increase your heart rate and daily step count while taking in beautiful views of the Marina del Rey harbor. Registration is required by emailing [chacepark@bh.lacounty.gov](mailto:chacepark@bh.lacounty.gov).





For more information: Call (424) 526-7910 or email [chacepark@bh.lacounty.gov](mailto:chacepark@bh.lacounty.gov)

**DRAWING & PAINTING CLASS**

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey  
Wednesdays  
5:00 p.m. – 6:30 p.m.  
Cost: FREE

The Department offers a free drawing and watercolor art class for beginners (ages 14 years and older). Classes are limited to 15 people and supplies are provided. Pre-registration is required for each class by emailing [chacepark@bh.lacounty.gov](mailto:chacepark@bh.lacounty.gov).

For more information: Call (424) 526-7910 or email [chacepark@bh.lacounty.gov](mailto:chacepark@bh.lacounty.gov)

**BURTON CHACE PARK ZUMBA CLASS**

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey  
Thursdays  
3:30 p.m. – 4:30 p.m.  
Cost: FREE

Ditch your boring workout and join the Department's free outdoor Zumba class at Burton Chace Park to get cardio-fit while moving to the rhythms of Latin-inspired dance and music! Each class is limited to 15 people. Pre-registration is required for each class by emailing [chacepark@bh.lacounty.gov](mailto:chacepark@bh.lacounty.gov).

For more information: Call (424) 526-7910 or email [chacepark@bh.lacounty.gov](mailto:chacepark@bh.lacounty.gov)

**BEACH EATS - GOURMET FOOD TRUCK EVENT**

Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey  
Thursdays, through October 26, 2023  
5:00 p.m. – 9:00 p.m.

Grab a bite at Beach Eats, the Department's gourmet food truck event in Marina del Rey that offers a variety of delectable savory foods and desserts. Food trucks rotate each week along with the assortment of menu options, including burgers, hot dogs, tacos, lobster rolls, and more. Paid parking is available for 50 cents for every 15 minutes.

For more information: Call (424) 526-7900 or visit [bestfoodtrucks.com/lots/beacheats](https://bestfoodtrucks.com/lots/beacheats)

**MARINA DEL REY FARMERS' MARKET**

Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey  
Saturdays  
9:00 a.m. – 2:00 p.m.



Each Saturday, the Department and Southland Farmers' Market Association present the Marina del Rey Farmers' Market, offering fresh, locally grown fruits and veggies (organic and conventional). Also, enjoy delicious prepared and prepackaged foods, and shop for artisanal crafts from local small vendors. Paid parking is available for 50 cents for every 15 minutes.

For more information: Call (424) 526-7900 or visit [marinadelrey.lacounty.gov](http://marinadelrey.lacounty.gov).

**FISHERMAN'S VILLAGE WEEKEND CONCERT SERIES**

13755 Fiji Way ♦ Marina del Rey  
Sponsored by Pacific Ocean Management, LLC  
Sundays  
2:00 p.m. – 5:00 p.m.

October 22  
Moving in Stereo (Cars Tribute Band)

October 29  
Reaction Band (R&B)

For more information: Call Pacific Ocean Management at (310) 306-0400

**COVID-19 VACCINE & BOOSTER, and MPOX VACCINE and FLU SHOT CLINIC**

Burton Chace Park Community Room ♦ 13650 Mindanao Way ♦ Marina del Rey  
Tuesday, October 24, 2023  
10:00 a.m. – 2:00 p.m.  
Cost: FREE

This free COVID-19 Vaccine and Booster Clinic is open to everyone 6 months and older, regardless of insurance or immigration status. Flu shots and Mpox vaccines are also available at this clinic. Minors must be accompanied by a parent/guardian. Make an appointment at [bit.ly/dbhvaccine](http://bit.ly/dbhvaccine). Walk-ups are welcome!

**Vaccines and boosters available:**

- Pfizer-BioNTech COVID-19 vaccine + Booster
- Moderna COVID-19 vaccine + Booster
- Mpox vaccine
- Flu Shots

For more information: Email [cms@bh.lacounty.gov](mailto:cms@bh.lacounty.gov).



**MARINA LIGHTS**

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey  
December 1 – 31, 2023  
Hours: 4:00 p.m. – 10:00 p.m.  
Cost: FREE

Burton Chace Park will be aglow in holiday lights from December 1<sup>st</sup> through New Year's Eve. Enjoy a leisurely stroll through the park with family and friends to view the nightly display of sparkling lights and décor.

For more information: Call (424) 526-7900 or visit [marinadelrey.lacounty.gov](http://marinadelrey.lacounty.gov)

**61<sup>st</sup> ANNUAL MARINA DEL REY HOLIDAY BOAT PARADE**

Saturday, December 9, 2023  
Burton Chace Park Festivities | 4:00 p.m. – 8:00 p.m.  
Holiday Boat Parade Fireworks | 5:55 p.m. – 6:00 p.m.  
Holiday Boat Parade - | 6:00 p.m. – 8:00 p.m.  
Cost: FREE

Watch beautifully lit and decorated boats sail along the harbor and usher in the holiday season from 6:00 p.m. to 8:00 p.m. A 5-minute fireworks show will kick off the parade at 5:55 p.m. from the south jetty. From 4:00 p.m. to 8:00 p.m., join the Department at Burton Chace Park for food truck fare, festive photo opportunities, and fun.

Best viewing spots: Burton Chace Park (13650 Mindanao Way) and Fisherman's Village (13755 Fiji Way).

For more information: Call (424) 526-7900 or visit [mdrboatparade.org](http://mdrboatparade.org)

**NEW YEAR'S EVE CELEBRATION**

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey  
December 31, 2022 – January 1, 2023  
7:00 p.m. – Midnight  
Cost: FREE

Come celebrate and ring in 2024 in Marina del Rey! All are invited to Burton Chace Park at 7:00 p.m. for a free NYE Glow Party featuring live entertainment, a DJ, photo booth, face painting, food trucks, and more! Broadcasts of the New Year's Eve countdown program will be screened, followed by a 10-minute firework show at 8:59 p.m. (for New York City) and 11:59 p.m. (for Los Angeles) from the Marina's south jetty.

For more information: Call (424) 526-7900 or visit [marinadelrey.lacounty.gov](http://marinadelrey.lacounty.gov)

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