

# MARINA DEL REY DESIGN CONTROL BOARD AGENDA

Wednesday, September 21, 2022, 1:30 p.m.

**AUDIO LINK DCB September 21, 2022 Meeting** 

## **NOTICE**

In accordance with Government Code § 54953 permitting the convening of public agency meetings in light of the Covid-19 pandemic, all regularly scheduled Design Control Board meetings will convene as virtual (online) meetings and by teleconference as determined by the Board.

## **OBSERVING THE MEETING**

To observe the meeting, go to <a href="http://beaches.lacounty.gov/watch-dcb-meeting">http://beaches.lacounty.gov/watch-dcb-meeting</a> (Zoom Meeting ID: 913 7426 1482) or dial (408) 638-0968 or (669) 900-6833.

## PROVIDING VERBAL PUBLIC COMMENT

To provide verbal public comment for the record during the meeting, go to <a href="http://beaches.lacounty.gov/watch-dcb-meeting">http://beaches.lacounty.gov/watch-dcb-meeting</a> (Zoom Meeting ID: 913 7426 1482) and staff will assist you via the Zoom chat feature.

If you are calling in to the meeting, send an email to DBHPlanner@bh.lacounty.gov with the agenda item number, first name, last name, email address, and phone number, and identify yourself as the applicant or not the applicant.

## PROVIDING WRITTEN PUBLIC COMMENT

To provide written public comment for the record, send an email to DBHPlanner@bh.lacounty.gov with your comment, the agenda item number, your first name and last name, email address, and phone number, and identify yourself as the applicant or not the applicant. Written comments submitted prior to 5 p.m. on the day before the meeting will be provided to the Design Control Board. Written public comments submitted after 5 p.m. on the day before the meeting will not be provided to the Design Control Board, but will be added to the public record.

## AUTHORITY TO HOLD THE MEETING BY TELECONFERENCE

The Design Control Board meeting is continuing to be held via teleconference consistent with the Board of Supervisors' findings on August 30, 2022, that 1) in accordance with Assembly Bill (AB) 361 Section 3 (e)(3), California Government Code Section 54953 (e)(3), that it reconsidered the circumstances of the State of Emergency due to the COVID-19 pandemic and that the State of Emergency remains active; and 2) that local officials continue to recommend measures to promote social distancing.

## 2. Approval of the August 17, 2022 Minutes

## 3. Consent Agenda

The Chair may entertain a motion by a Board member at the beginning of the meeting to approve certain non-controversial agenda items as consent agenda items unless held by a Board member or member(s) of the public for discussion or separate action.

## 4. Old Business

A. Parcel 50 – Waterside Shopping Center / The Shade Store – DCB #22-006-B – Consideration of building modifications and new signage

## 5. New Business

A. Parcel 44 – Pacific Marina Venture, LLC / Tesla, Motors Inc. – DCB #22-011 – Consideration of Tesla supercharging stations

B. Aligning Marina del Rey with Los Angeles County Equity Principles (presentation)

## 6. Staff Reports

- A. Ongoing Activities Report
  - Board of Supervisors Actions on Items Relating to Marina del Rey
  - Regional Planning Commission's Calendar
  - Coastal Commission's Calendar
  - Future Major DCB Agenda Items
  - Small Craft Harbor Commission Minutes
  - · Redevelopment Project Status Report
- B. Marina del Rey Special Events

## 7. Public Comment

This is the opportunity for members of the public to address the Board on items that are not on the posted agenda, provided that the subject matter is within the jurisdiction of the Board. Speakers are reminded of the three-minute time limitation.

#### 8. Adjournment

## **PLEASE NOTE**

- 1. ADA ACCOMODATIONS: If you require reasonable accommodations or auxiliary aids and services such as material in alternate format or a sign language interpreter, please contact the ADA (Americans with Disabilities Act) Coordinator at (424) 526-7752 (Voice) or (TTY/TDD) users, please call the California Relay Service at 711. The ADA coordinator may be reached by email at <a href="mailto:rstassi@bh.lacounty.gov">rstassi@bh.lacounty.gov</a>.
- 2. The Los Angeles County Board of Supervisors adopted Chapter 2.160 of the Los Angeles Code (Ord. 93-0031 ~ 2 (part), 1993), relating to lobbyists. Any person who seeks support or endorsement from the Design Control Board on any official action must certify that he/she is familiar with the requirements of this ordinance. A copy of the ordinance can be provided prior to the meeting and certification is to be made before or at the meeting.
- 3. Si necesita asistencia para interpretar esta información, llame a este numero: 424-526-7777.
- 4. All materials provided to the Design Control Board Members are available for public review, beginning the Friday prior to the meeting, at <a href="https://beaches.lacounty.gov/design-control-board/">https://beaches.lacounty.gov/design-control-board/</a>. The Department of Beaches and Harbors website also provides all reports and audio files from current and past meetings. Electronic copies of project submittals for Business Items referred to in this agenda will be available online

Design Control Board Agenda September 21, 2022 Page 3

for a two week period from the date of this agenda.

# DESIGN CONTROL BOARD MINUTES August 17, 2022

**Members Present:** Meg Rushing Coffee, Member (First District); Genelle Brooks-Petty, Member (Second District); Steven Cho, Chair (Fourth District); Tony Wong, P.E., Vice Chair (Fifth District)

Members Absent: None

**Department Staff Present:** Amy Caves, Acting Chief Deputy Director; Warren Ontiveros, Planning Division Chief; Maral Tashjian, Planning Specialist; Porsche White, Planner; Julie Yom, Planner; Chantal Alatorre, Planner; Lola Reyna, Secretary

**County Staff Present:** Parjack Ghaderi, County Counsel; Clark Taylor, Department of Regional Planning

**Guests Testifying:** Andrew Roux, Keller Williams Realty; Scott Greene, Mark Miller, Andi Wang, and James Shahamiri, LA Metro

## 1. Call to Order and Pledge of Allegiance

Chair Cho called the meeting to order at 1:30 pm and led the Pledge of Allegiance. Ms. Tashjian read the virtual meeting procedures.

## 2. Approval of the May 18, 2022 and July 20, 2022 Minutes

Board Member Coffee moved to approve minutes, seconded by Vice Chair Wong.

Ayes: 4 - Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks- Petty Nays: 0

## 3. Consent Agenda

None

## 4. Old Business

None

## 5. New Business

A. Parcel 95 – Gold Coast West, LLC / Keller Williams Realty – DCB #22-009 – Consideration of new signage

Ms. Yom presented the staff report.

## **Board Comment**

Chair Cho asked if there were any questions from the Board. He then asked if there were any Applicants present.

Ms. Tashjian stated that there was one member of the Applicant's project team present.

Mr. Roux introduced himself and awaited questions from the Board.

Design Control Board Minutes August 17, 2022 Page 2

## Public Comment

None

Chair Cho moved to approve DCB #22-009, seconded by Vice Chair Wong.

Ayes: 4 - Chair Cho, Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee Navs: 0

B. Parcel 3 – Los Angeles County Metropolitan Transportation Authority – DCB #22-010 – Conceptual design consideration of a new bus turnaround loop and associated improvements

Ms. Alatorre presented the staff report.

## **Board Comment**

Chair Cho asked if the new entry driveway would only be utilized by buses or would cars also be allowed to use the entryway.

Ms. Alatorre deferred the question to the Applicant project team.

Mr. Greene introduced himself and clarified that the entryway would be available for use by both cars and buses. He also noted that "Do Not Enter" signs would be installed at the exit driveway.

Chair Cho expressed that in his experience the current layout of the central parking lot entryway has been difficult to use and asked why the Applicant did not propose to remove this entryway.

Mr. Greene noted that the smaller driveway would be utilitzed during construction as vehicles would still need to have access to the lot.

Chair Cho asked if the smaller driveyway would be needed after construction as it is very difficult to enter and has a very narrow, sharp turn. He noted that if the main entryway would be widened, the smaller entryway doesn't seem necessary and removing it may be an opportunity to recapture parking spaces.

Mr. Greene responded that the project team could look into this design change. He then deferred to the Applicant team for further comments on Chair Cho's proposal.

Mr. Miller addressed the Board and noted that the smaller driveway is not necessary.

Ms. Wang, addressed the Board and agreed with Mr. Miller's prior statement.

Mr. Miller stated that, at most, two parking spaces could be added unless additional trees would be removed from the site.

Chair Cho commented that additional landscaping could be added to the area and recommended that the smaller entryway be removed.

Ms. Coffee asked how the public currently uses the parking lot.

Mr. Greene stated that he believes it is used as paid public parking for beach access.

Chair Cho commented that the parking lot is the last lot before the north jetty and is often used as overflow for the metered parking along the north jetty.

Ms. Coffee agreed with Chair Cho's recommendation to remove the smaller entryway to accommodate two parking spaces and additional landscaping. She also noted that the proposed irrigation system was not very water efficient and due to the different water use requirements of the plants proposed, more water would be used than necessary. Given the drought, she asked the project team whether they believed their selection of plants were wise.

Mr. Miller responded that plans can be reviewed to see if the water usage could be lowered.

Ms. Coffee asked why drip irrigation was not proposed.

Mr. Miller responded that he believes the proposed irrigation type was selected to match the existing irrigation. However, he stated that the Applicant project team could explore using drip irrigation.

Ms. Wang confirmed that the irrigation type was selected to match existing conditions, but if Mr. Greene would like, this could be explored as it would add costs to the project.

Ms. Coffee stated that all new plantings and irrigation should comply with State and County of Los Angeles water requirements and therefore, all proposed plant types should be revised to be either low or very low water use and irrigation should be modified to drip type.

Chair Cho initiated a discussion regarding closing the existing exit driveway within the project area as it seems unnecessary and the exit wouldn't be very functional. He also noted that this may be an opportunity to recapture additional parking spaces.

Mr. Greene asked if adding additional parking would absolve the project team from needing a coastal development permit (CDP).

Mr. Taylor stated that there are several possibilities for how the project could be permitted, noting that either a Coastal Development Permit (CDP) or a CDP exemption would be required. He also stated that the two reasons a CDP would be triggered for this project would be the removal of a tree and the loss of parking spaces. If the parking spaces had no net loss that would be favorable, however, the vegetation loss would still warrant a CDP.

Mr. Shahamiri introduced himself and clarified that the reason for the 30' driveway is to allow a bus to enter the lot through an entry only driveway. He expressed concern regarding allowing vehicles to exit through the proposed driveway. He also mentioned that the southernmost exit within the project boundary allows for a left turn onto the main street.

Chair Cho asked what issues would arise should the exit driveway be removed.

Mr. Shahamiri responded that he would prefer that the 30' wide driveway be entry only and only wanted to share the left turn issue regarding the exit. However, if traffic heads north towards where buses would exit, vehicles could turn left there as well.

Ms. Coffee noted that it wasn't clear that the 30' driveway would be entry only.

Design Control Board Minutes August 17, 2022 Page 4

Mr. Shahamiri confirmed that vehicles would be allowed to use any entry or exit as only directional limitations are set for the driveways.

Chair Cho stated that the lot does not receive a lot of traffic and asked if it would be feasible to close the small exit driveway to recover any proposed loss of parking spaces.

Mr. Shahamiri stated that the lot circulation would need to be considered since having additional entry and exit points creates flexibility for the usage of the lot. He also mentioned that due to the islands with trees in the center of the lot, fitting parking spaces in certain areas could be challenging considering curbs cannot be moved due to the root systems of the trees. Furthermore, he stated that closing the small exit driveway should be seen as an opportunity for additional landscaping, with potentially a bonus of recapturing parking spaces, if possible.

Mr. Greene noted that there is another exit to the parking lot at the far north end of the lot.

Chair Cho stated that the general direction people exit is towards the main portion of the Marina by turning left out of the parking lot.

Ms. Coffee stated that she could see a potential issue with closing the small driveway as the driveway allows for a left turn. She also noted that the added scope being discussed would require additional funding, however, based on the proposed scope her main concern would be the selected plant types.

Chair Cho expressed that it would be beneficial for the Applicant to make additional modifications to the parking lot beyond the proposed scope, if funding is available.

Ms. Tashjian noted that any additional changes to the parking lot would also need to be reviewed by the Department of Beaches and Harbors' traffic engineer.

Chair Cho asked staff what the preferred path would be for approving the project should the Board request that the Applicant review additional parking lot modifications.

Ms. Tashjian noted that the current review is conceptual and the Applicant would be required to return to the Board for a final review of the project after it's approved by the Department of Regional Planning.

Ms. Coffee stated that she would like the Applicant team to conceptually explore the options of closing the two smaller driveways and making it a landscaped area. Furthermore, she noted that if the southern driveway is closed there is the possibility of adding more parking.

## Public Comment

None

Chair Cho moved to approve DCB #22-010 subject to the following conditions: (a) The Applicant shall explore the removal of the vehicle entry in the center of the lot to recapture parking spaces and landscaping, (b) the Applicant shall explore removal of the exit driveway on the southside of the parking lot to capture parking spaces in that area, (c) the Applicant shall explore adding parking spaces adjacent to the southern driveway, and (d) the Applicant shall ensure that irrigation is low water-use (drip type) to minimize water use and ensure that all plants are low water use and drought tolerant. The motion was seconded by Ms. Coffee.

Design Control Board Minutes August 17, 2022 Page 5

Ayes: 4 - Chair Cho, Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee Nays: 0

## 6. Staff Reports

All reports were received and filed.

Moved by Ms. Coffee, seconded by Chair Cho.

Ayes: 4 - Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty Nays: 0

## 7. Public Comment

None

## 8. Adjournment

Moved by Chair Cho.

Ayes: 4 - Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty Nays: 0

Chair Cho adjourned the meeting at 2:13 p.m.

Respectfully Submitted,

Lola Reyna Secretary for the Design Control Board



# Location of September 21, 2022 DCB Items







Caring for Our Coast

Gary Jones

Amy M. Caves
Acting Chief Deputy Director

Carol Baker Deputy Director

September 21, 2022

TO:

**Design Control Board** 

FROM:

Gary Jones, Director

SUBJECT:

ITEM 4A - PARCEL 50 - WATERSIDE SHOPPING CENTER / THE

SHADE STORE - DCB #22-006-B - CONSIDERATION OF BUILDING

**MODIFICATIONS AND NEW SIGNAGE** 

Item 4A on your agenda is a submittal from The Shade Store (Applicant), seeking approval for building modifications and new signage at the Waterside Shopping Center. The project is located at 4716 Admiralty Way.

## **PROJECT OVERVIEW**

#### Background

On July 23, 2009, your Board approved a master sign program for the Waterside Shopping Center, which included a requirement to return to your Board for review of all tenant signs. On June 15, 2022, your Board approved the Applicant's proposal for a building façade remodel, which included installation of a new awning, a black-out glass window panel, and a new tenant sign at the main entrance.

## **Existing Conditions**

The 1,371 square foot tenant space is located within the Waterside Shopping Center and is currently operating as a retail store. The storefront features a tenant identification sign and black-out glass window that was previously approved by your Board.

## **Proposed Project**

The Applicant proposes to remodel the building façade and install one new tenant sign.

## **BUILDING DESIGN**

## **Building Facade**

The Applicant proposes to paint the façade of the storefront facing the interior of the shopping center and the neighboring tenant's storefront. The façade would be painted *Winter Solstice gray* and the building trim would be painted *Chantilly Lace* white. Neither of the proposed paint colors is included in the Waterside Shopping Center approved color palette.



Design Control Board September 21, 2022 Item 4A Page 2

The Applicant also proposes to modify three awning canopies. The existing awning frames would remain, and the canopies would be replaced with *Sunbrella Crest Ash* colored fabric.

## **SIGNAGE**

## **Building Façade**

The Applicant proposes to install one illuminated wall-mounted tenant identification sign at the rear elevation, facing Admiralty Way. The sign would measure approximately 9" tall and 12'-6" wide and read "The Shade Store". The sign would feature an internally illuminated face with edge lit, white, acrylic individual letters and shimmer bronze returns. The sign would be installed approximately 15'-5½" above grade.

## Illumination

All signage would be illuminated from 15 minutes prior to sundown until one hour following the closing of the last restaurant at the site, per the DCB approved sign program for the shopping center.

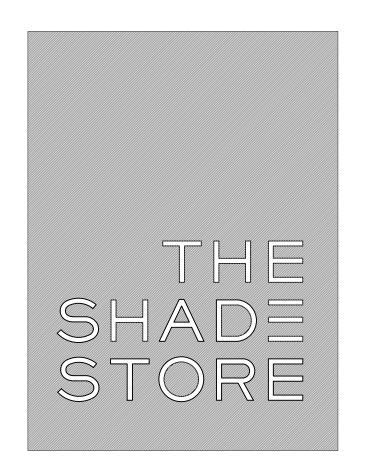
## **STAFF REVIEW**

Staff finds that the improvements do not alter the overall architectural style of the shopping center and are generally consistent with the Marina del Rey Design Guidelines and the Waterside Shopping Center Master Sign Program and approved paint color palette. Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.

Staff recommends <u>APPROVAL</u> of DCB #22-006-B, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.

GJ:WO:jy



# 4762 ADMIRALTY WAY MARINA DEL REY, CA 90292

# **GENERAL NOTES**

- ALL EXISTING UTILITIES, INCLUDING ELECTRICAL, GAS, AND PLUMBING SERVICES, ARE TO BE SHUT OFF
- TO START OF DEMOLITION. STRUCTURE OF BUILDING IS NOT TO BE MODIFIED
- DURING DEMOLITION. ALL EXISTING STRUCTURAL MEMBERS TO BE PROPERLY BRACED AND SHORED BY CONTRACTOR PRIOR REMOVAL OF FINISHES. IF IT IS SUSPECTED THAT THERE ARE STRUCTURAL ISSUES IN THE BUILDING, A LICENSED STRUCTURAL ENGINEER IS TO BE CONTRACTED TO REVIEW PRIOR TO FURTHER DEMOLITION.
- ELECTRICAL RECEPTACLES, LIGHTING, AND WIRING IS TO BE REMOVED TO MAIN SOURCE AND PANEL IS TO REMAIN FOR DEMOLITION.
- PLUMBING FIXTURES WHICH ARE BEING REMOVED AND PIPING TO BE CAPPED BELOW SLAB OR REMOVED TO SOURCE.
- ALL INSPECTIONS ARE TO BE COORDINATED WITH GENERAL CONTRACTOR. DO NOT CHANGE STRUCTURAL MEMBERS WITHOUT
- THE ARCHITECTS APPROVAL ALL WOOD SILLS NEXT TO CONCRETE AND ALL EXTERIOR WOOD TO BE WOLMANIZED (PRESSURE
- CONTRACTOR SHALL REMOVE ALL ITEMS AS REQUIRED IN ORDER TO COMPLETE THE NEW WORK.
- THE CONTRACTOR SHALL CHECK FOR ANY DISCREPANCIES WHICH SHALL INCLUDE DIMENSIONAL MEASUREMENTS, ROOF PITCHES, AND UNFORESEEN STRUCTURAL CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR REVIEW AND/OR REDESIGN BEFORE PROCEEDING WITH WORK. THE CONTRACTOR AND OWNER SHALL ASSUME RESPONSIBILITY FOR FIELD CONDITIONS THAT ARE NOT REPORTED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR THE CONTRACTORS FAILURE TO COMPLY HERE WITH.
- ALL DIMENSIONS SHOULD BE READ OR CALCULATED, NEVER SCALED.
- CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.

THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING

- AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE PRODUCT.
- ALL WOOD, CONCRETE, AND STEEL SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES.
- 15. PROVIDE RADON HAZARD PROTECTION AS REQUIRED BY ALL STATE AND LOCAL BUILDING CODES. 16. GENERAL CONTRACTOR TO PROVIDE ALL
- PENETRATIONS, HOLES, AND ACCESS FOR MECHANICAL AND ELECTRICAL EQUIPMENT. G.C. TO VERIFY ALL CONDITIONS AND DIMENSIONS IN
- FIELD BEFORE PROCEEDING WITH WORK. WHERE DIFFERENT WALL FINISHES MEET, CONTRACTOR
- SHALL REALIGN BOTTOM OF RUNNER SO THAT WALL FINISH IS FLUSH. G.C. SHALL VERIFY ALL ELEVATIONS, FLOW LINES, DIMENSIONS AND POINTS OF CONNECTION TO UTILITIES, IN THE EVENT OF CONFLICT CONTACT THE
- ARCHITECT AND OBTAIN INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK.
- 20. ALL ELECTRICAL SHOWN ON PLANS ARE SUGGESTED LAYOUTS ONLY. 21. PROVIDE HARD-WIRED SMOKE/CARBON MONOXIDE
- DETECTORS AS REQUIRED BY CODE. 22. PATCH ALL SURFACES INCLUDING FLOORS, WALLS, CEILINGS, ETC. AS REQUIRED SO THAT THEY ARE READY TO RECEIVE FINISH AS REQUIRED.
- 23. ALL WORK SHALL BE IN STRICT CONFORMANCE WITH LOCAL AND STATE CODES AND ORDINANCES
- 24. THE GENERAL CONTRACTORS ARE TO VISIT THE SITE PRIOR TO SUBMISSION OF BID AND IF THERE ARE ANY ANTICIPATED DEVIATIONS FROM THESE DRAWINGS, IT IS TO BE REPORTED TO THE ARCHITECT. ALL COSTS REQUIRED TO PERFORM THE WORK WILL BE INCLUDED IN THE BID AND FAILURE TO RECOGNIZE ANY CONDITIONS DOES NOT ALLEVIATE THE GENERAL CONTRACTOR FROM INCLUDING THE COST REQUIRED.
- THE MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER, AND FIRE ALARM DRAWINGS ARE TO BE REVIEWED PRIOR TO BID SUBMISSION AND IF THERE ARE ANY CONFLICTS WITH THE NEW WORK PROPOSED, THE ARCHITECT IS TO BE NOTIFIED.
- . IF MODIFICATIONS ARE REQUIRED TO THE EXISTING SPRINKLER SYSTEM, IT MUST BE REVIEWED AND
- BY THE LOCAL GOVERNING AGENCIES, INCLUDING THE

- MARSHAL AND COORDINATED WITH LANDLORD PRIOR START OF WORK. ANY WORK TO BASE BUILDING
- SYSTEMS, INCLUDING FIRE ALARM AND SPRINKLER SYSTEMS, ARE TO
- BE TO COORDINATED WITH LANDLORD BY THE GENERAL CONTRACTOR
- 27. IF THERE ARE ANY EXPANSION OR CONSTRUCTION JOINTS LOCATED WITHIN THE SPACE WHICH WERE NOT PREVIOUSLY ADDRESSED, THE ARCHITECT IS TO BE NOTIFIED 28. IF THERE IS ANY CRACKING OR SPLINTERING OF THE
- EXISTING CONCRETE SLAB, THE G.C. TO IMMEDIATELY REPORT ANY STRUCTURAL, HAIRLINE, OR SUPERFICIAL CRACKING IN EXISTING CONCRETE SLAB TO OWNER. 29. AN ACCESSIBLE PATH IS TO BE MAINTAINED, CLEAR
- OF ALL OBSTRUCTIONS AT ALL TIMES. 30. THE WORK SHALL COMPLY WITH ALL FEDERAL NATIONAL, AND LOCAL SAFETY LAWS, ORDINANCES, AND REQUIREMENTS FOR THE PROTECTION OF THE PUBLIC AND CONTRACTOR'S PERSONNEL. THIS INCLUDED LIGHTING AND BARRICADE STRUCTURES
- 31. THE WORK IS ONLY TO BE PERFORMED WITHIN THE LEASE OUTLINE DIMENSIONS OF THE SPACE. 32. THE USE OF FIRES, EXPLOSIVES, AND OPEN FLAMES WILL NOT BE PERMITTED, UNLESS REVIEWED, APPROVED, AND PERMITTED BY THE LOCAL
- AUTHORITIES. 33. ANY ITEMS WHICH ARE TO REMAIN ARE TO BE PROTECTED AND STORED DURING CONSTRUCTION IN ORDER TO BE REUSED IN THE SAME CONDITION AS
- 34. ANY EXISTING SERVICES WHICH ARE DISRUPTED CONTINUE SERVICE.
- 35. ANY EXISTING SERVICES WHICH ARE NO LONGER USED THEY BE DECOMMISSIONED TO THE SATISFACTION OF THE LOCAL AUTHORITIES AND
- 36. NO SUBSTITUTES ALLOWED FOR MATERIALS OR
- 37. THE WORK DELINEATED IN THESE DRAWINGS AND DESCRIBED IN THE SPECIFICATION SHALL CONFORM TO ALL CODES AND STANDARDS THAT HAVE
- 38. ALL REQUIREMENTS AND REGULATIONS PERTAINING THE HANDICAPPED AND OSHA MUST BE INCORPORATED IN THE WORK EVEN THOUGH THEY MAY NOT BE LISTED INDIVIDUALLY AND SEPARATELY
- 39. THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED
- 40. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO SUBMISSION OF BIDS. COMPARE ARCHITECTURAL DRAWINGS WITH MECHANICAL AND ELECTRICAL DRAWINGS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. NO INFORMATION OR DETAILS ON THE DRAWINGS OF THIS
- PERMISSION OF THE ARCHITECT. 41. DO NOT SCALE DRAWINGS 42. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL
- DETAILS SHALL BE USED WHERE APPLICABLE. 43. ALL DETAILS SHALL BE CONSIDERED TYPICAL AT
- 44. SAFETY MEASURES
- JOB SITE, INCLUDING SAFETY OF THE PERSONS &
- 45. CONSTRUCTION WORK WILL NOT BLOCK HALLWAYS OF
- 46. CONTRACTOR SHALL REFER TO GENERAL NOTES AS DESCRIBED ON EACH DRAWING SHEET AND
- 47. ABSOLUTELY NO SUBSTITUTIONS WILL BE ALLOWED. UNLESS APPROVED BY THE ARCHITECT IN WRITING. 48. T.G.C. SHALL FURNISH ONE EMPTY DUMPSTER AT STORE TURNOVER TO OWNER FOR STORE'S DISPOSAL

# A.P.

ACCESS PANEL A.C.T. ACOUSTIC CEILING TILE A.D.A. AMERICANS W/ DISABILITIES AC A.F.F. ABOVE FINISH FLOOR A.H.J. AUTHORITY HAVING JURISDICTION BD. BOARD BEAM

EXTERIOR INSUL. FINISH SYSTEM

EXISTING FIXTURE CONTRACTOR

FACE OF FINISH

FACE OF STUD

FIELD VERIFY

FLOOR BUMPER

FIRE EXTINGUISHER

GYPSUM BOARD

GYPSUM DRY WALL

HOLLOW METAL

LAMINATED PLASTIC

MASONRY OPENING

MANUFACTURER

NOT IN CONTRACT

NOT TO SCALE

ON CENTER

OPENING

PLYWOOD

REFLECTED

REINFORCING

ROUGH OPENING

SINGLE LINE BANKING

STAINLESS STEEL

TO BE DETERMINED

TONGUE & GROOVE

VERIFY IN FIELD

WALL BUMPER

VINYL WALL COVERING

UNLESS NOTED OTHERWISE

VINYL COMPOSITION TILE

SOLID SURFACING MATERIAL

REQUIRED

SHEET VINYL

STRUCTURE

SUSPENDED

**TEMPORARY** 

STEEL

SIMILAR

THICK

VERTICAL

PLATE

LANDLORD

INSULATION

KITCHEN

MATERIAL

MOUNTED

MINIMUM

METAL

FIRE RETARDANT TREATED

GENERAL CONTRACTOR

GYPSUM WALL BOARD

**BLOCKING BUILDING** BOTTOM CEILING CONCRETE CLEAR CONTINUOUS CERAMIC TILE

DIAMETER DIAGONAL DENSE PARTICLE BOARD ELEVATION

EXIST. OR

G.W.B.

GYP.BD.

GDW

H.M.

INSUL.

LAM PL.

MATL.

N.T.S.

PLYWD.

R.O.

S.L.B.A.

STRUCT.

SSM

SIM.

SUSP.

T.B.D.

V.I.F.

V.C.T.

V.W.C.

W/OR WDT WITH

**EQUIPMENT** 

FINISH

**FLOOR** 

GLASS

GAUGE

WITH OTHER SAFETY PRECAUTIONS.

- INTENDED.
- DURING CONSTRUCTION SHALL BE REDIRECTED TO
- LANDLORD.
- FINISHES
- JURISDICTION OVER THE PROJECT
- IN EITHER THE DRAWINGS OR SPECIFICATIONS.
- PROJECT MAY BE USED WITHOUT THE WRITTEN
- SIMILAR CONDITIONS.
- AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF
- PROPERTY AND FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OF ENGINEER'S JOB SITE REVIEW (IF OCCURS) IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF
- CONTRACTOR'S SAFETY MEASURES. MEANS OF EGRESS.
- INCORPORATE AS A PART OF THIS SCOPE OF WORK. THE FOLLOWING SHALL BE SUBMITTED BY THE APPROPRIATE VENDOR OR ENGINEERING AND SHAL
- NOT BE REVIEWED AS A PART OF THIS SUBMISSIOI SIGNAGE • FIRE ALARM PLANS & SPECIFICATIONS FIRE SPRINKLER PLANS & SPECIFICATIONS OF CARDBOARD, TRASH, ETC. BARRICADE PLANS

## SCOPE OF WORK **ABBREVIATIONS**

O REMAIN. ELECTRICAL SERVICE TO BE REPLACED. EXISTING MECHANICAL EQUIPMENT AND UNIT(S) TO REMAIN. NEW INTERNAL NON RATED PARTITIONS TO BE INSTALLED. INSTALLATION OF WALL GRAPHICS, AREA RUGS, AND PAÍNT. NEW SHOWROOM AREA AND BACK ROOM LIGHTING LAYOUT. NEW SHOW ROOM MILLWORK AND BACK ROOM SHELVING TO BE INSTALLED. NEW WATER LINE TO BE RAN FOR NEW BOTTLELESS WATER COOLER. NEW LIT EXTERNAL SIGNAGE TO BE INSTALLED.

# OCCUPANT I OAD

ı			<u></u>				
		USE GROUP		ROOM	GROSS SQ. FT.	NET SQ. FT.	OCCUPANT LO
		MERCANTILE (60 SQ.FT. PER OCC.)	101	SHOW ROOM	1104	968	17
		BACK OF HOUSE (300 SQ.FT. PER OCC.)	102	WORK ROOM	106	92	1
	TOTAL				1210	1060	18
ı							

# **CODE INFORMATION**

2020 COUNTY OF LOS ANGELES BUILDING CODE **ELECTRICAL:** 2020 COUNTY OF LOS ANGELES ELECTRICAL CODE 2020 COUNTY OF LOS ANGELES PLUMBING CODE PLUMBING:

2020 COUNTY OF LOS ANGELES MECHANICAL CODE MECHANICAL: ENVIRONMENTAL 2020 COUNTY OF LOS ANGELES GREEN BUILDING STANDARDS CODE

OCCUPANCY GROUP: GROUP: M MERCANTILE TYPE : III-B NOT SPRINKLERED ONE HOUR (SECTION 708) TENANT SEPARATION: ONE STORY BUILDING HEIGHT:

## FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601)

0 HOURS BEARING WALLS (EXTERIOR): 2 HOURS BEARING WALLS (INTERIOR): O HOURS O HOURS (TABLE 602) NON BEARING PARTITIONS (EXTERIOR): NON BEARING PARTITIONS (INTERIOR): 0 HOURS FLOOR CONSTRUCTION: HOURS **ROOF CONSTRUCTION:** 0 HOURS

## EGRESS REQUIREMENTS

NUMBER OF EXITS REQUIRED(IBC TABLE 1006.3.2) : NUMBER OF EXITS PROVIDED: MAXIMUM TRAVEL DISTANCE ALLOWED: MAXIMUM TRAVEL DISTANCE PROVIDED:

REQUIRED EGRESS WIDTH: .2 INCHES PER OCCUPANT (1005.3.2) X (18) OCCUPANTS = 3.6 INCHES PROVIDED EGRESS WIDTH: 45" ONE SINGLE DOOR (1018.3, TABLE 1020.2)

VICINITY MAP

-THE SHADE STORE

4762 ADMIRALTY WAY

MARINA DEL REY, CA 90292

RESTROOM REQUIREMENTS

PUBLIC FACILITIES LESS THAN 200' FROM SPACE.

# DRAWING INDEX

-										
		DRAWING NAME	ISSUE	CURRENT REVISION DATE						
	NO.		DATE	1	2	3	4	5		
		ARCHITECTURAL								
1	CS-101	TITLE SHEET								
1	A-112	SITE PLAN								
	A-211	STOREFRONT ELEVATION								
4	A-211B	EXTERIOR REAR ELEVATION								
I										

2225 East Randol Mill Road, Suite #300

817.633.4200 p • 817.633.4153

Arlington, Texas 76011

The Shade Store

**4762 ADMIRALTY WAY** MARINA DEL REY, CA 90292

8/16/21

4762 ARINA

MICHAEL R. BLACK, AIA

2225 E. RANDOL MILL RD., SUITE 300 ARLINGTON, TEXAS 76011 817.701.4819 CALIFORNIA LICENSE NO.: C26839

# Waterside, Marina del Rey Shopping mall

—THE SHADE STORE

4762 ADMIRALTY WAY

MARINA DEL REY, CA 90292

**KEY PLAN** 

Michael R. Black, AIA, NCARB 2225 E. Randol Mill Road, Suite 300 Arlington, TX 76011 TEL (817) 701-4819 FAX (817) 633-4153 mblack@pdmsdesign.com

Port Chester, New York 10573

TEL (212) 6452424, ext. 455

EMAIL: varcaroli@theshadestore.com

Contact: Veronica Arcaroli

OWNER:

THE SHADE STORE

21 Abendroth Ave

ARCHITECT

# MEP ENGINEER

Daniel A. Reeves, PE 2225 E. Randol Mill Road, Suite 30 Arlington, TX 76011 TEL (817) 701-4808 FAX (817) 633-4153 dreeves@pdmsdesign.com

# PROJECT DIRECTORY Douglas Kupfer Senior Vice President

dkupfer@theshadestore.com 212.645.2424 ext. 250

# LANDLORD

101 The Grove Dr Los Angeles, CA 90036 TEL (323) 900-8187 EMAIL: bnielsen@caruso.com

## BUILDING DEPARTMENT Los Angeles County Building & Safety 4801 E 3<sup>rd</sup> ST

Los Angeles, CA 90022 Tel (323) 881-7030 BARRICADE VENDOR

Olsan Visual 310-355-1681

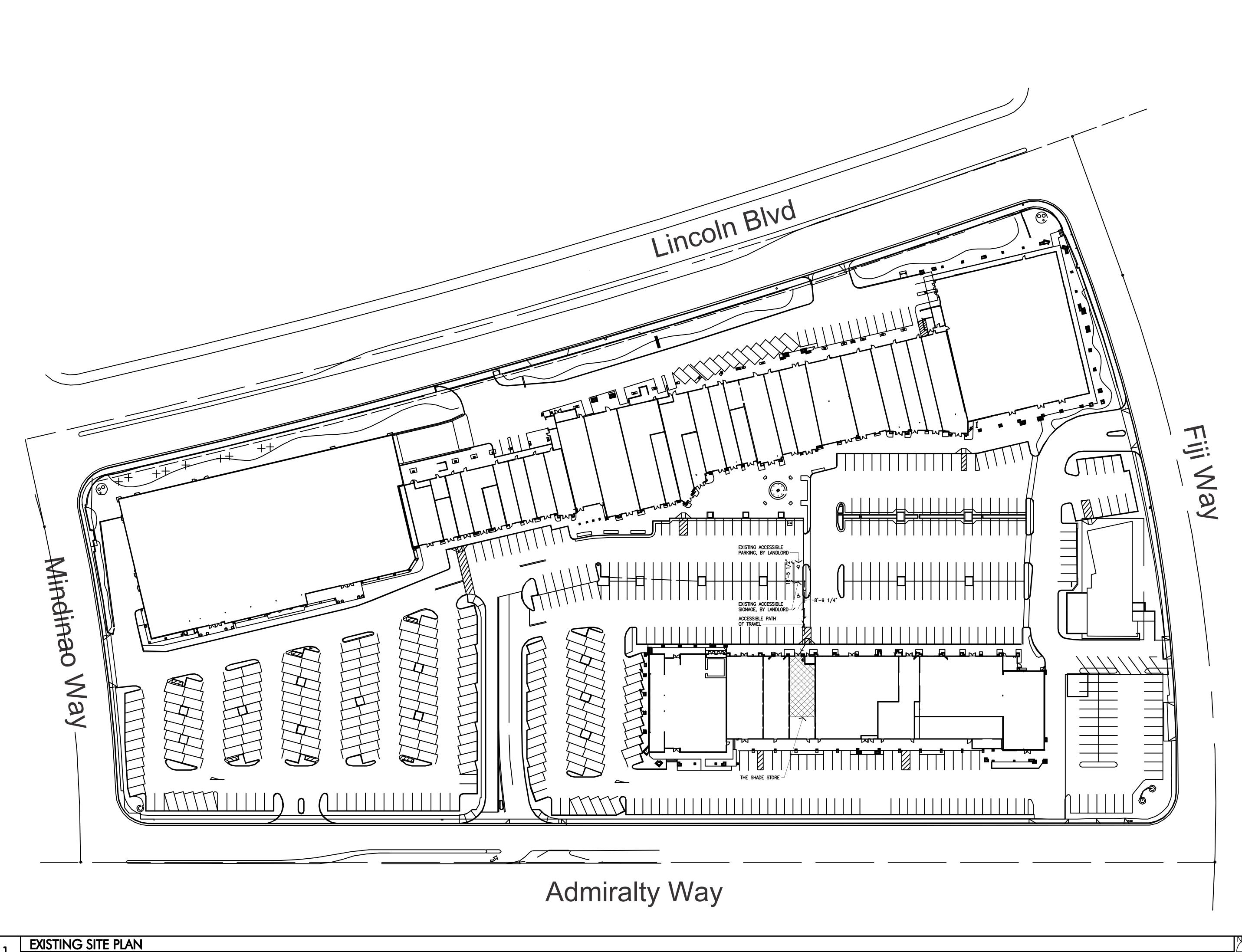
Yannis Bays 310-702-1001 **GRAPHICS VENDOR** 

210107 Drawn By JES

**Cover Sheet** 

Sheet Number

CS-101



dmsdesign.com

ചയവയ്യവ എവ യവു 225 East Randol Mill Road, Suite #

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Arlington, Texas 76011

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Project Address

The Shade Store 4762 ADMIRALTY WAY MARINA DEL REY, CA 90292

lss	ue Date	8/16/21		
Re	visions			
	Date	Description	Ву	
$\triangle$				

IRALTY WAY
REY. CA 90292

4762, MARINA I

Consultant

MICHAEL R. BLACK, A

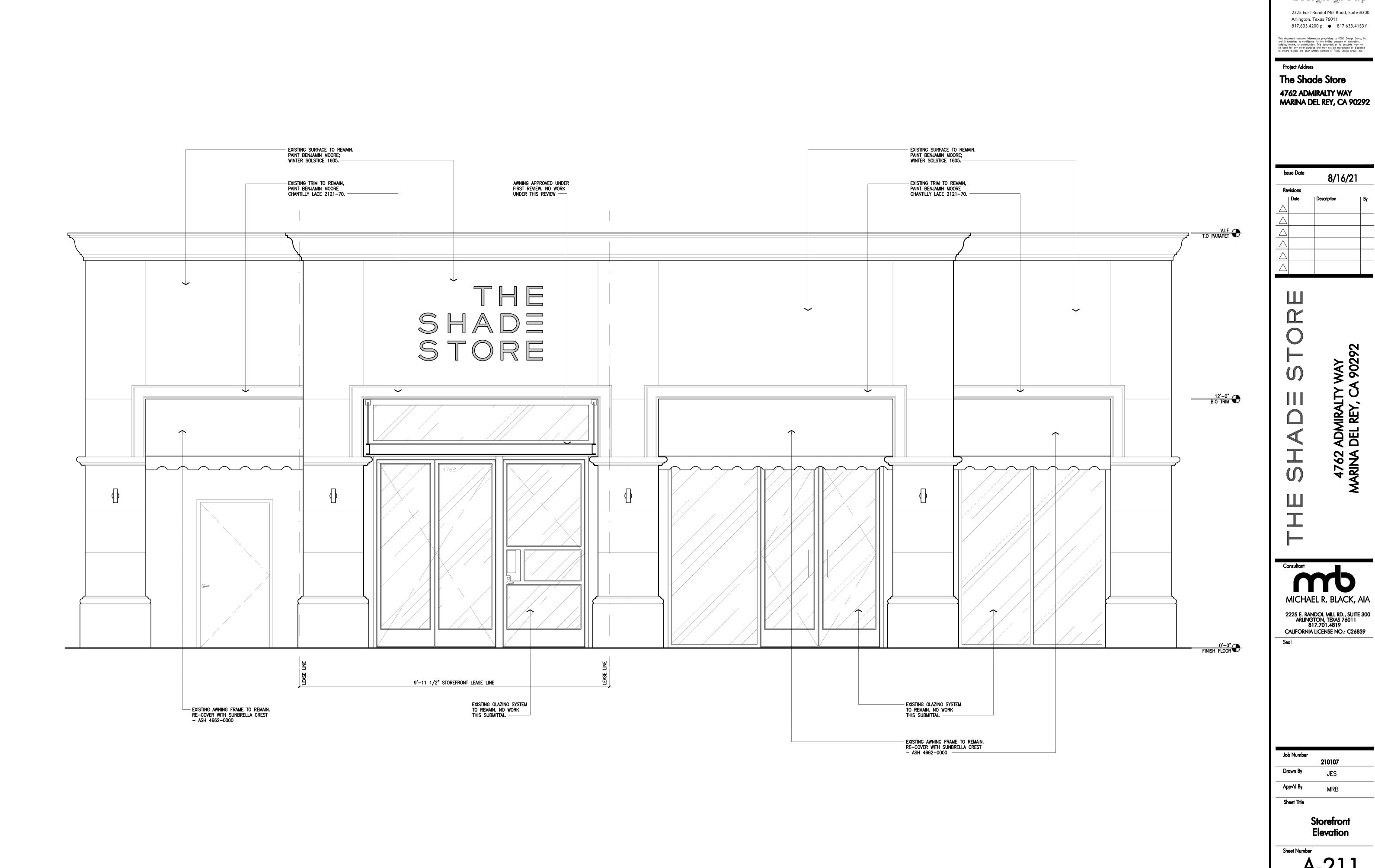
2225 E. RANDOL MILL RD., SUITE 300 ARLINGTON, TEXAS 76011 817.701.4819 CALIFORNIA LICENSE NO.: C26839

Job Number		
	210107	
Drawn By	MRB	
Арру'д Ву	MRB	
		_

Site Plan (For Reference Only)

Sheet Number

A-112



STOREFRONT ELEVATION

Scale  $1/2^n = 1'-0^n$ 

2225 East Randol Mill Road, Suite #300 Arlington, Texas 76011

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Project Address The Shade Store

WAKINA DEL	KE1, CA 90292
Issue Date	0/1//01

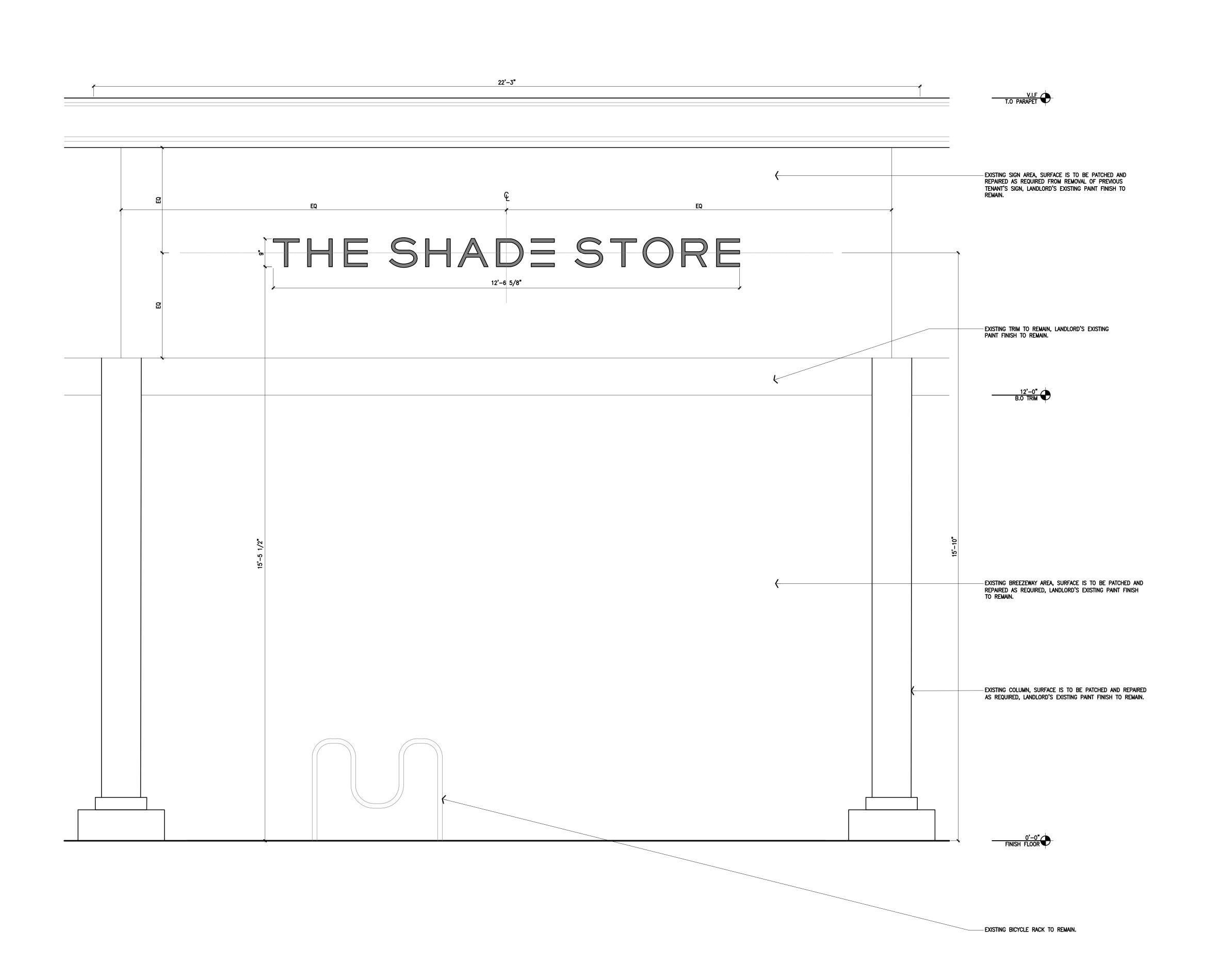
lss	ue Date	8/16/21		
Re	visions			
	Date	Description	Ву	
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4762 A MARINA

2225 E. RANDOL MILL RD., SUITE 300 ARLINGTON, TEXAS 76011 817.701.4819 CALIFORNIA LICENSE NO.: C26839

Job Number	
	210107
Drawn By	JES
Appv'd By	MRB

Storefront **Elevation** 



bdwsdesign.com

design group

2225 East Randol Mill Road, Suite #300 Arlington, Texas 76011

817.633.4200 p • 817.633.4153 f

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Project Address

The Shade Store 4762 ADMIRALTY WAY MARINA DEL REY, CA 90292

lss	ue Date	8/16/21		
Rev	visions			
	Date	Description	Ву	
$\triangle$				

STADIL SICK

Consultant

MICHAEL R. BLACK, AIA

2225 E. RANDOL MILL RD., SUITE 300 ARLINGTON, TEXAS 76011 817.701.4819 CALIFORNIA LICENSE NO.: C26839

Job Number	
	210107
Drawn By	JES
Appv'd By	MRB

Storefront Elevation

Sheet Number

A-211B

Job Name: The Shade Store Mall: Address: 4762 Admiralty Way Location: Marina Del Rey, CA Space#: Print#: 50068A-0102 S.F. Length: Salesperson: C. Montova Change Order # A B C D E F Released Initia Opening Ship/Trip Install Target Commit Special Instructions: Exterior Qty: 1

Faces & Returns: Painted Bronze Shimmer Satin

LEDs: White 4200K Letter Stroke: 11/2"

Voltage

Fascia Const: Fascia Color:

2109 Lafayette Rd. • Ft. Oglethorpe, GA 30742 • Ph: (706) 866-7999 • Sales Fx: (706) 866-4400





18.77 SQFT

Rear Elevation

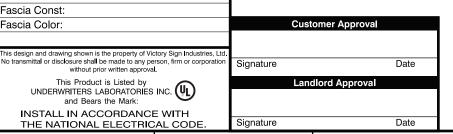
Time

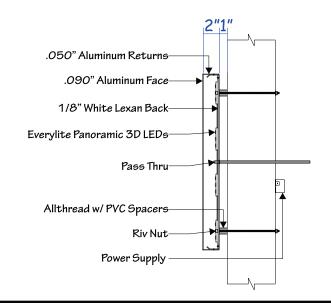


12'-6 5/8"

Reverse Channel Halo Lit Letters

- Weep holes must be baffled.
- All attachments, fasteners, screws and labels must be concealed.





INSTALL IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

Date: 8/31/2022

UNDERWRITERS LABORATORIES INC. and Bears the Mark:

This design and drawing shown is the property of Victory Sign Industries, Ltd

without prior written approval. This Product is Listed by

110V

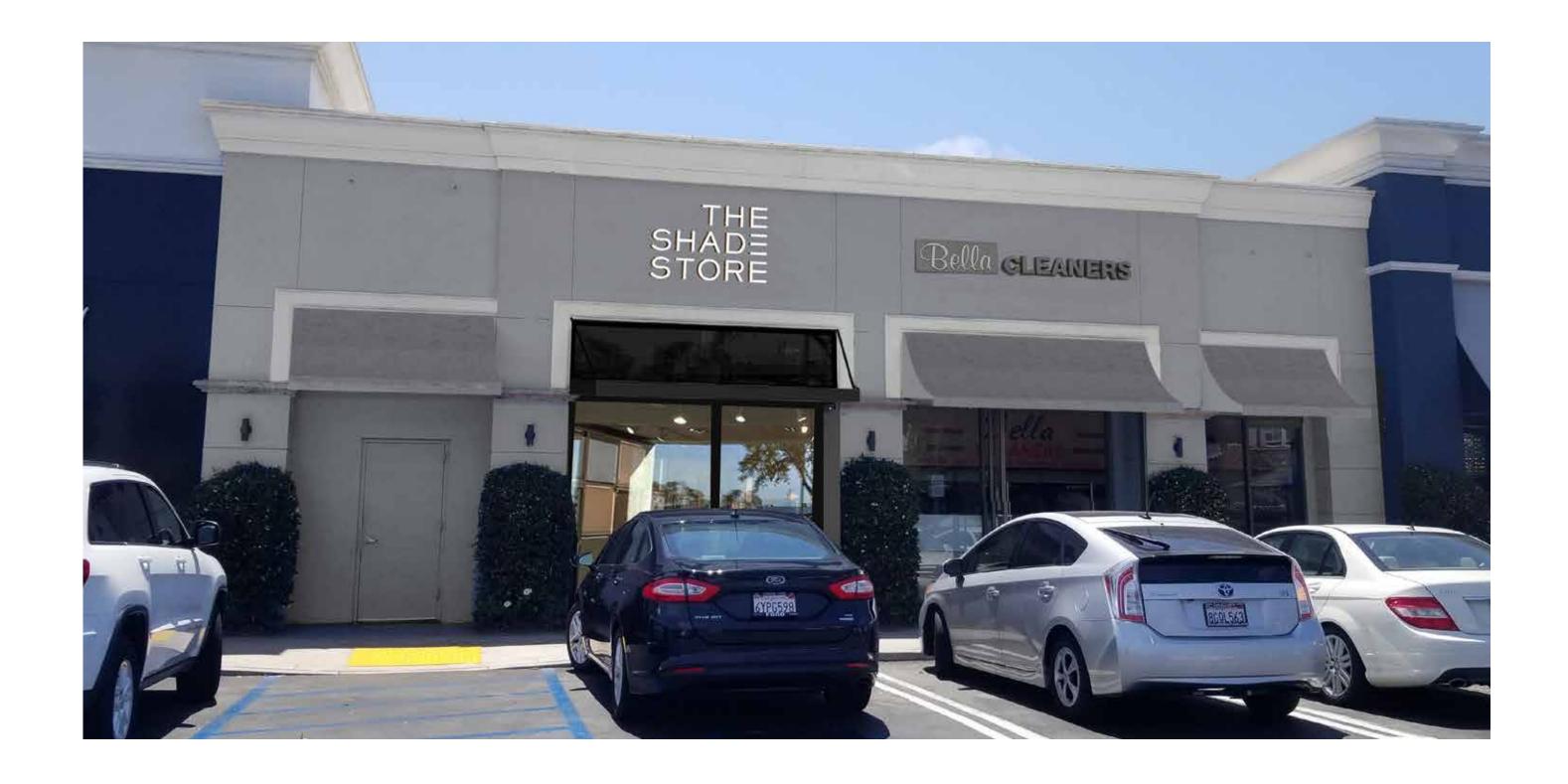
277V

Bv: DM/NR

Scale: 3/8" = 1 '

VSI Prints: 50068A-0102

Page 3 of 5



# THE SHADE STORE

4762 Admiralty Way Marina Del Rey, California 90292 August 2022 Job Name: The Shade Store

Mall:

Address: 4762 Admiralty Way Location: Marina Del Rey, CA

Space#:

Print#: 50068A-0100 Elev B

S.F. Length:

Salesperson: C. Montoya

2109 Lafayette Rd. • Ft. Oglethorpe, GA 30742 • Ph: (706) 866-7999 • Sales Fx: (706) 866-4400

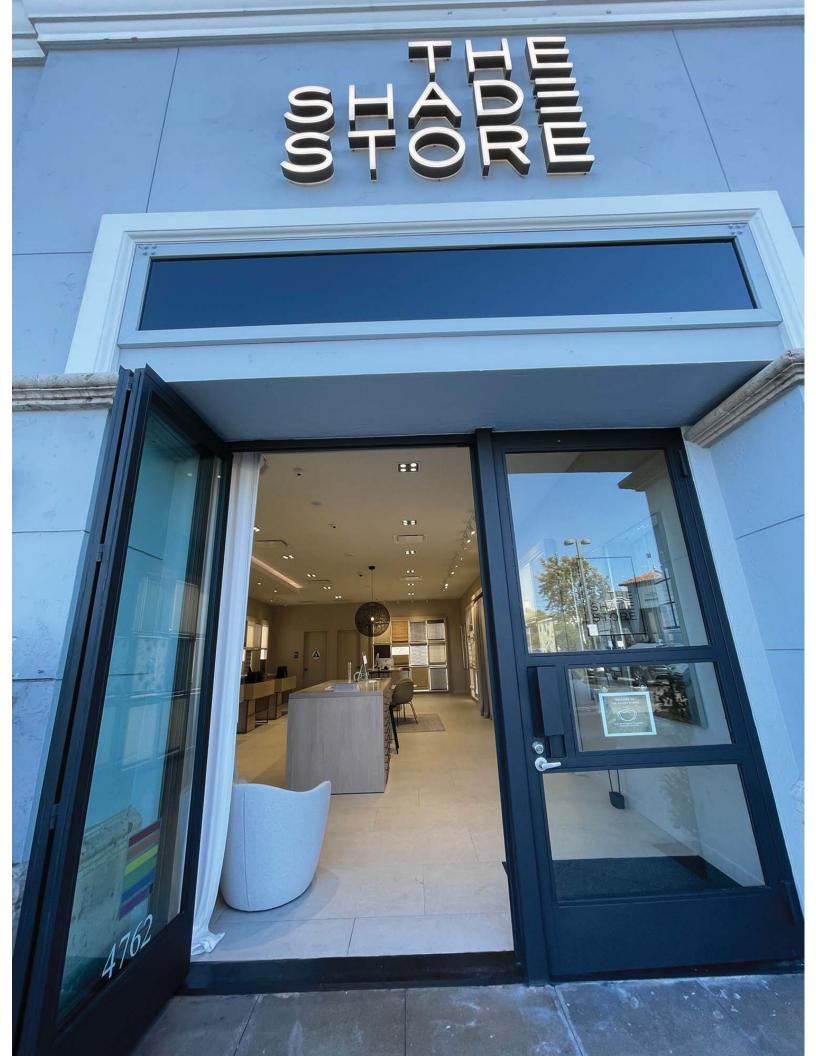
## Sign Elevation

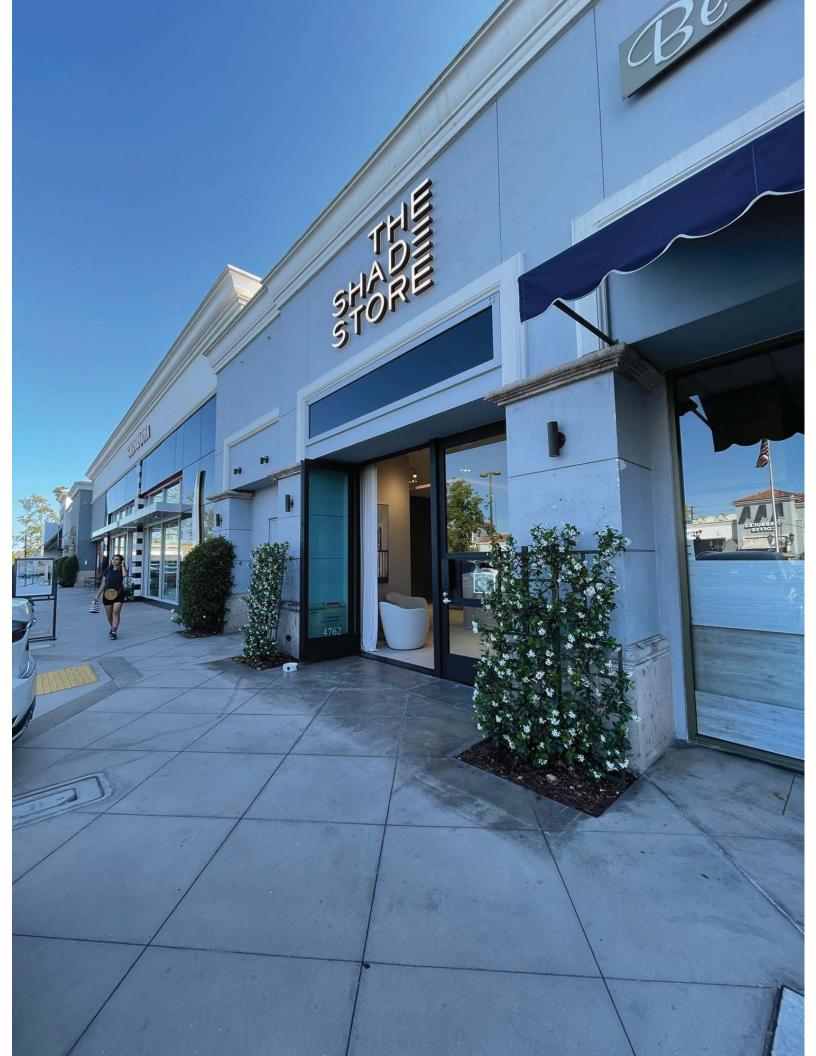




Page 5 of 5

Date: 7/22/2022 By: DM Scale: 1/16" = 1 ' VSI Prints: 50068A-0100 Elev B This design and drawing shown is the property of Victory Sign Industries, Ltd. No transmittal or disclosure shall be made to any person, firm or corporation without prior written approval.









Caring for Our Coast **Gary Jones** Amy M. Caves Acting Chief Deputy Director Carol Baker Deputy Director

September 21, 2022

TO:

Design Control Board

FROM:

Gary Jones, Directo

SUBJECT: ITEM 5A - PARCEL 44 - PACIFIC MARINA VENTURE. LLC / TESLA

MOTORS, INC. - DCB # 22-011 - CONSIDERATION OF TESLA

SUPERCHARGING STATION

Item 5A on your agenda is a submittal from Tesla Motors, Inc. (Applicant), seeking approval for a Tesla electric vehicle Supercharger station and associated improvements at the Parcel 44 shopping center. The project is located at 4625 Admiralty Way.

## PROJECT OVERVIEW

## **Existing Conditions**

Parcel 44 consists of approximately 8.39 landside acres and 4.68 waterside acres. The landside portion has frontages on Admiralty Way, Mindanao Way, and Bali Way. Currently, Parcel 44 is developed as the "Boardwalk Marina del Rey" shopping center, which consists of eight buildings with a total area of 82,652 square feet. The site includes Marine Commercial, Boat Storage and Visitor-Serving/Convenience Commercial uses, in addition to two outdoor plazas with tiered stadium seating, waterfront views, outdoor dining, and adjacent anchorage. All uses at the site are served by surface parking lots, which contain a total of 462 parking spaces.

## Proposed Project

The applicant proposes to install ten electric vehicle charging posts and associated equipment in the parking lot of the Parcel 44 shopping center.

## SITE DESIGN

## **Electric Vehicle Chargers**

The Applicant proposes to install a Tesla Supercharger station consisting of ten charging posts, three electrical cabinets, one main switchgear, and one utility transformer, all located in the existing shopping center parking lot facing Admiralty Way.

Charging posts would be 3' wide by 5½' tall, with a depth of 2', and rectangular shaped with a hollow center. The posts would be solid white with the Tesla logo and an interior trim color of dark red. The interior of the charging posts would also contain task light LEDs. The switchgear and all of the electrical cabinets would be installed in existing



Design Control Board September 21, 2021 Item 5A Page 2

landscaped areas along Admiralty Way, resulting in no parking stall loss. Each electrical cabinet would be 4' wide by 7' tall, with a depth of 3'. The switchgear would be 7' wide by 8' tall, with a depth of 3'. The transformer would be 7' wide by 6½' tall, with a depth of 6'. The Applicant also proposes to install seven red concrete barrier bollards around the transformer and switchgear.

In addition, the Applicant proposes to paint a 4" wide white transverse striping pattern on the ground to establish an accessible passenger path from the two ADA parking stalls to a new concrete curb ramp with truncated domes. The Applicant also proposes to remove a portion of an existing block wall adjacent to the proposed charging posts and relocate an adjacent light pole within the same vicinity to accommodate the electrical cabinets.

## Landscaping

The transformer and associated concrete pad would be installed in an existing landscaped area along Admiralty Way. As a result, one existing *Phoenix Dactylifera 'Medjool' Date Palm* tree would be removed and replaced within the same vicinity with the same tree type and size as outlined in the DCB approved master landscape palette for the site. An additional 450 square feet of existing landscaped area would be removed to accommodate the project.

## SIGNAGE

## Informational Signs

The Applicant proposes to install eight post-mounted and two light pole-mounted signs that would read "Vehicle Charging" in white text with a Tesla logo against a red background. The Applicant also proposes to install one pole-mounted sign to denote ADA accessibility. All signs would measure 1' wide by 1'-6" tall and would be installed approximately 6' above grade. All sign faces would be composed of aluminum panels. In addition, two parking spaces would contain "EV Charging Only" ground markings.

## **STAFF REVIEW**

Staff finds that the proposed project is generally consistent with the Marina del Rey Design Guidelines (DG). Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.

Staff recommends that all proposed bollards be painted grey consistent with the color of existing bollards located throughout Parcel 44.

Furthermore, DG. 188 notes that projects should screen and buffer antennas and on-site transformers from any public street views. The utility equipment proposed along Admiralty Way would be visible from street view. In addition, all equipment related to the project would be located in a prominent area near the main entrance of the shopping center. Staff requested that the Applicant prepare the following four utility screening options for your Board's consideration:

Design Control Board September 21, 2021 Item 5A Page 3

For this option, the utility equipment would be installed with no screening. However, low level plants consistent with the DCB approved landscape palette for the site would be installed surrounding the utility equipment, to match prior conditions of the landscaped area.

## Option 2: Shrub screening

For this option, the Applicant would screen the utility transformer and switchgear by planting screening shrubs. The Applicant would plant sixteen 7'-9" tall, 5-gallon, *Podocarpus Gracilior Fern Pine* columns to screen the transformer and switchgear. Per the Marina del Rey Land Use Plan, all development on the waterfront side of Via Marina, Admiralty Way, and Fiji Way shall provide windows to the water, wherever possible, while, at the same time, screening unsightly elements such as parking areas and trash receptacles with landscaping. In addition, all development, redevelopment or intensification on waterfront parcels, which include Parcel 44, shall provide an unobstructed view corridor of no less than 20 percent of the parcel's waterfront providing public views of the Marina boat basins and/or channels. If this screening option is selected, the shrubs would need to be regularly maintained to not block views of the water. Staff does not recommend this option as it has the potential to obstruct the existing viewshed. Furthermore, the electrical cabinets would not be screened with shrubs as there isn't enough space.

## Option 3: Tree screening

For this option, the Applicant proposes screening the utility transformer and switchgear with eleven, 36" box, *Prunus Cerasifera "Krauters Vesuvuys Purple Leaf Plum"*. The proposed trees, when mature, could reach between 15'-30' in height. Staff does not recommend this option as it would obstruct the existing viewshed. Furthermore, the electrical cabinets would not be screened with trees as there isn't enough space.

## Option 4: Camouflage vinyl wrap

For this option, the Applicant would extend the current landscape plan and place a camouflage vinyl wrap on the electrical cabinets, switchgear, and transformer. The proposed art wrap design would mimic the current viewpoint, which is consistent with DG. 21 as it would incorporate nautical, marina, and/or water themes to complement the Marina's waterfront setting.

Staff recommends that the Applicant screen the electrical cabinets, switchgear, and transformer with a vinyl camouflage art wrap (Option 4), as it adheres to the Marina del Rey Design Guidelines and also protects existing view corridors. In addition, the Applicant should install low level landscaping around all utilities that is consistent with the DCB approved landscape palette for the site.

Staff recommends APPROVAL of DCB #22-011, subject to the following conditions:

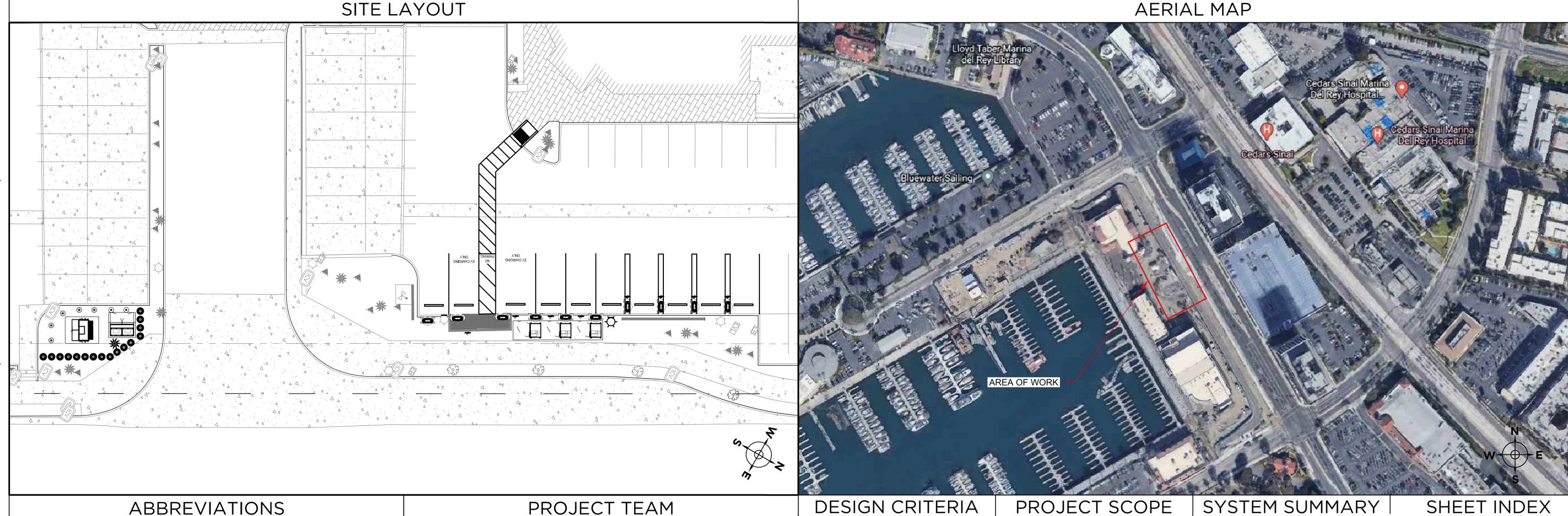
Design Control Board September 21, 2021 Item 5A Page 4

- 1) The Applicant shall obtain approval from the Department of Regional Planning.
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.

GJ:WO:ca

TESLA SUPERCHARGER MARINA DEL REY, CA - SUITE EV 10 SUPERCHARGERS APN: 4224-008-901

TRT: 16754



		ADDRLVI
	AC ADA	ALTERNATING CURRENT AMERICANS WITH DISABILITIES ACT
2	CLR CONC COMM DC DIA DIST EQ	ENERGY STORAGE SYSTEM BUILDING CLEAR CONCRETE COMMUNICATION DIRECT CURRENT DIAMETER DISTANCE EQUAL EQUIPMENT GROUNDING CONDUCTOR
	EA. EMT EV GAB	EACH ELECTRICAL METALLIC TUBING ELECTRIC VEHICLE GRADED AGGREGATE BASE GALVANIZED
1	GND HVAC I IMP INV ISC KVA KW KWH LV	HEATING, VENTILATION, & AIR CONDITIONING CURRENT

MEDIUM-VOLTAGE NEW NATIONAL ELECTRIC CODE NOT IN CONTRACT NATIONALLY-RECOGNIZED **TESTING LABORATORY** NOT TO SCALE ON CENTER POINT OF COMMON COUPLING PROPERTY LINES POWER LINE COMMUNICATION PHOTOVOLTAIC POWERPACK POLYVINYL CHLORIDE RAPID SHUTDOWN SCHEDULE SQ. IN. SQUARE INCHES STAINLESS STEEL SEE STRUCTURAL DRAWINGS STANDARD TESTING CONDITIONS UNLESS OTHERWISE NOTED VERIFY IN FIELD WATT

STRUCTURAL ENGINEER OF RECORD: KIRILLL VORONOV TESLA, INC. 721 FERNCREST RD., TRINIDAD, CA 95570 (818) 943-7621 KVORONOV@TESLA.COM

> PROJECT DESIGNER: EUISO KIM TESLA, INC. 3500 DEER CREEK RD. PALO ALTO, CA 94304 (510) 946-6046 EUIKIM@TESLA.COM

PROPERTY OWNER CONTACT: MIKE SELDON MSELDEN@POM-MDR.COM ELECTRICAL ENGINEER OF RECORD:

JARED MARCHAND TESLA, INC. 3500 DEER CREEK RD, PALO ALTO, CA 94304 (508) 951-5489 JMARCHAND@TESLA.COM

ARCHITECT OF RECORD: CHRIS MARESCA TESLA, INC. 2204 ALBATROSS ST. SAN DIEGO, CA 92101 P:(619) 764-8142 CMARESCA@TESLA.COM

(ULTIMATE) - RISK CATEGORY = II - WIND EXPOSURE = D 2. SEISMIC DESIGN RISK CATEGORY = II SEISMIC IMPORTANCE FACTOR = SITE CLASS = D Ss = 1.857 / S1 = 0.657 Sds = 1.486 / Sd1 = 0.745 SEISMIC DESIGN CATEGORY = D BASIC SEISMIC-FORCE-RESISTING SYSTEM = NON-STRUCTURAL COMPONENT

DESIGN WIND SPEED = 94 MPH

1. WIND DESIGN

- R = 2.5 / a p = 1.0

3. GEOTECHNICAL INFORMATION ALLOWABLE BEARING PRESSURE = 1,500 PSF APPLICABLE CODES 2020 LOS ANGELES COUNTY ELECTRICAL CODE 2017 NATIONAL ELECTRICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA BUILDING CODE 2019 BUILDING ENERGY EFFICIENCY STANDARDS

REFERENCED DOCUMENTS SUPERCHARGER INSTALLATION MANUAL SUPERCHARGER POST INSTALLATION MANUAL TOPOGRAPHIC SURVEY **UTILITY DESIGN** 

INSTALLATION OF SUPERCHARGERS AND ASSOCIATED AC AND DC

EQUIPMENT. INSTALLATION OF CONCRETE **EQUIPMENT PADS.** 

INSTALLATION OF NEW PARKING STRIPING, SIGNAGE AND ADA ACCESS FEATURES.

SUPERCHARGER SYSTEM SHEET # SHEET TITLE **SUMMARY** COVER PAGE G-001 QTY **EQUIPMENT** G-002 NOTES G-101 DEMO PLAN V3 SUPERCHARGER CABINETS 3 SITE PLAN V3 SUPERCHARGER POSTS 10 SITE PLAN A E-101 UTILITY TRANSFORMER A-301 ACCESSIBLE PARKING PLAN SWITCHBOARD **ELEVATIONS DETAILS** ENLARGED SITE PLAN

S-501

SHEET SIZE ARCH "D'



SUPERCH SCT LT RE  $\Delta$ 

TESLA 4637 A MARIN DATE 6/14/22

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REV: A

PLOT DATE: 6/28/2022 11:43 AM MARISOLIS

MAXIMUM

MINIMUM

PROPRIETARY AND CONFIDENTIAL

STRUCTURAL DETAILSY

SURVEY

# **GENERAL NOTES**

G

ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ANY OTHER REGULATING AUTHORITIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK.

Н

PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FROM TESLA OF ANY DISCREPANCIES. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED AT THE SUBCONTRACTORS SOLE EXPENSE.

SUBCONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO TESLA FOR APPROVAL BEFORE MAKING ANY CHANGES. DEVIATION FROM PLANS BEFORE WRITTEN APPROVAL FROM TESLA PLACES LIABILITY ON THE SUBCONTRACTOR.

ALL EQUIPMENT SHALL BE MOUNTED AS SHOWN. WHERE DETAILS ARE NOT PROVIDED, CONTRACTOR SHALL USE STANDARD CONSTRUCTION PRACTICES.

ALL SURFACES SHALL BE PATCHED AND PAINTED AROUND NEW DEVICES AND EQUIPMENT TO MATCH EXISTING FINISHES.

ANY METAL SHAVINGS FROM SITE WORK SHALL BE CLEANED FROM ALL SURFACES WHERE OXIDIZED OR CONDUCTIVE METAL SHAVINGS MY CAUSE RUST, ELECTRICAL SHORT CIRCUITS. OR OTHER DAMAGE.

APPROVALS FROM BUILDING INSPECTORS SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS.

NEW PAVEMENT INSTALLED AS PART OF THIS PROJECT SHALL MATCH EXISTING PAVEMENT SECTION. ASPHALT AND GAB DEPTHS SHALL BE MAINTAINED.

# **ELECTRICAL NOTES**

## **GENERAL NOTES**

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AS AMENDED BY APPLICABLE STATE AND LOCAL CODES.
- ALL WIRING SHALL BE MANAGED IN A PROFESSIONAL, WORKMAN-LIKE MANNER AND MUST BE SUPPORTED, SECURED, AND PROTECTED TO PREVENT DAMAGE.
- AC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5 OR 215.12. UNLESS OTHERWISE REQUIRED BY ART 210.5(1) OR AHJ COLOR-CODING OF POWER CONDUCTORS SHALL BE AS FOLLOWS:

CONDUCTOR	277/480V	120/208
PHASE A	BROWN	BLACK
PHASE B	ORANGE	RED
PHASE C	YELLOW	BLUE
NEUTRAL	GRAY	WHITE

4. DC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED PER ART 210.5 OR 215.12:

<u>CONDUCTOR</u>	STD COLOR	ALT COLOR
DC+	RED	RED-STRIPED
DC-	BLACK	<b>BLACK-STRIPED</b>

- TERMINATIONS OF AC. DC. AND COMMUNICATIONS CONDUCTORS SHALL BE PROFESSIONALLY AND LEGIBLY LABELED WITH CIRCUIT SCHEDULE IDENTIFIER, CONDUCTOR SIZE (AS APPLICABLE) AND TERMINATION TORQUE.
- 6. ALL EQUIPMENT SHALL BE LISTED BY A NRTL IN COMPLIANCE WITH ART 110.3. WHERE EXISTING NRTL LISTING CANNOT BE MAINTAINED. ENGINEERING APPROVAL SHALL BE OBTAINED PRIOR TO EQUIPMENT MODIFICATION. AND THE EQUIPMENT SHALL BE RELISTED BY A SUITABLE NRTL.
- 7. UNDERGROUND CONDUCTORS & CABLES TO BE INSTALLED IN CONDUIT UON
- ALL WIRES SHALL BE PROVIDED WITH STRAIN RELIEF AT ALL ENTRY INTO BOXES AS REQUIRED BY NRTL LISTING.
- REFER TO MANUFACTURER'S CURRENT PLANNING AND INSTALLATION MANUAL FOR TORQUE SPECS FOR ALL BOLTS AND TERMINAL CONNECTIONS.
- 10. ALL CONDUCTOR TERMINATIONS ON BUSSING OR TRANSFORMER SPADES SHALL BE MADE WITH HIGH-PRESS CRIMP LUGS UON.
- 11. ALL TERMINATIONS OF ALUMINUM CONDUCTORS SHALL BE PROPERLY INSTALLED WITH BEST PRACTICES INCLUDING BUT NOT LIMITED TO:
  - USE OF TERMINATION EQUIPMENT RATED FOR ALUMINUM AT THE CONDUCTOR TEMPERATURE, CURRENT, AND VOLTAGE
  - ALLOWANCE FOR MOVEMENT DUE TO THERMAL EXPANSION/CONTRACTION
  - PROPER COATING OF EXPOSED ALUMINUM WITH ANTI-OXIDIZATION COMPOUND
- REQUIRED SETTINGS 12. DUCT SEAL COMPOUND SHALL BE APPLIED WHEREVER CONDUITS

TRANSITION INDOOR/OUTDOOR OR UNDERGROUND/ABOVEGROUND. REFER

USE OF CALIBRATED DEVICES TO TORQUE AND MARK TERMINALS TO

- TO EQUIPMENT NOTES FOR ADDITIONAL DUCT SEAL REQUIREMENTS. 13. BELL ENDS SHALL BE INSTALLED WHEREVER CONDUIT ENTERS EQUIPMENT FROM UNDERGROUND AND WHEREVER POTENTIAL FOR DAMAGE TO CONDUCTORS IS PRESENT AT ANY POINT. BELL ENDS SHALL NOT PREVENT
- THE USE OF GROUNDING FITTINGS OR COUPLERS WHEN REQUIRED. 14. ALL STUB-UPS WITHIN FLOOR-MOUNTED EQUIPMENT SHALL BE 3-5" ABOVE FINISHED GRADE.
- 15. ALL CONDUITS EXPOSED TO VEHICULAR OR EQUIVALENT PHYSICAL DAMAGE SHALL BE RIGID GALVANIZED STEEL
- 16. GROUND LUGS SHALL BE RATED FOR THEIR ENVIRONMENT AND CONDITION OF USE.

# SUPERCHARGER NOTES

- 1. NEUTRAL MUST BE INCLUDED FOR PROPER OPERATION OF TESLA SUPERCHARGERS.
- 2. ALL CONDUIT FURNISHED AND INSTALLED BY CONTRACTOR. ALL WIRING FURNISHED BY TESLA AND INSTALLED BY CONTRACTOR.
- 3. ALL BUSHINGS AND WIRING INTERNAL OF PROPOSED SERVICE EQUIPMENT PROVIDED BY MANUFACTURER. ANY MODIFICATIONS SHALL REQUIRE ENGINEERING APPROVAL PRIOR TO ANY CHANGES BEING MADE.
- 4. ALL ALUMINUM(AI) CONDUCTORS TO RECEIVE ANTI-OXIDATION COATING DURING INSTALLATION. ALL OTHER CONDUCTORS ARE COPPER UNLESS OTHERWISE NOTED.
- 5. THE FOLLOWING CHARGING CABINETS AND THE CHARGING POSTS USED ON THIS PROJECT COMPLY WITH THE FOLLOWING STANDARDS:
  - IEC 61851-23: 2014 / EN 61851-23: 2014
  - UL 2202: 2009(R2012)
  - CAN CSA C22.2 NO. 107.1-01(R2011)
- THE AFOREMENTIONED STANDARDS IDENTIFY THE REQUIREMENTS MET BY THE EQUIPMENT. INCLUDING BUT NOT LIMITED TO:
  - PROTECTION AGAINST ELECTRIC SHOCK
  - OVERLOAD AND SHORT CIRCUIT PROTECTION
  - FAULT PROTECTION
  - DEGREES OF PROTECTION AGAINST ACCESS TO HAZARDOUS LIVE **PARTS**
  - THE INTERNAL COMPONENTS OF THE SYSTEM ARE PROPRIETARY. ANY QUESTIONS CONCERNING ACTUAL INTERNAL PROTECTIVE DEVICES MUST BE COORDINATED DIRECTLY WITH TESLA.
- 7. TESLA SUPERCHARGER SIGNAL WIRING RATED 1000V AND USED FOR POWER LIMITED CLASS 1 CIRCUITS SHALL BE PERMITTED TO RUN IN CONDUITS, CABLE TRAYS, WIRE WAYS, OR RACEWAYS ALONG WITH ASSOCIATED DC CONDUCTORS AS ALLOWED PER NEC 725.48(B)(1) AND
- SUPERCHARGER CABINET AC CONDUCTORS SIZED UNDER ENGINEERING SUPERVISION USING THERMAL MODELING SOFTWARE. SPECIFICATIONS ABOUT THE TRENCHING REQUIREMENTS ARE SHOWN IN E-501
- 9. FOR DC RUNS IN EXCESS OF 330 FEET, CONTACT TESLA.
- 10. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC. THE ABOVEGROUND PORTION OF AN UNDERGROUND/ABOVEGROUND TRANSITION SHALL BE SCHEDULE 80 PVC.
- 11. ABOVEGROUND CONDUITS EXPOSED TO VEHICULAR OR EQUIVALENT PHYSICAL DAMAGE SHALL BE RMC. ABOVEGROUND CONDUITS NOT EXPOSED TO VEHICULAR OR EQUIVALENT DAMAGE SHALL BE PERMITTED TO BE EMT.
- 12. IF APPROVED BY TESLA CONSTRUCTION MANAGER, ALTERNATIVE CONDUIT MATERIALS SUCH AS FLEXIBLE OR FIBERGLASS ARE PERMISSIBLE IF INSTALLED PER MANUFACTURER INSTALLATION GUIDELINES AND LOCAL CODES.
- 13. WIRE SPLICES ARE NOT PERMITTED TO EXTEND WIRE RUN LENGTH. CONTRACTOR IS RESPONSIBLE FOR RERUNNING FULL LENGTH OF WIRE IF RUN LENGTH IS MISCALCULATED.
- 14. SPECIAL INSPECTION IS REQUIRED FOR ALL POST-INSTALLED CONCRETE **ANCHORS**

ALL ELECTRICAL WORK SHALL BE DESIGNED PER 2020 LOS ANGELES COUNTY ELECTRICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2017 NATIONAL ELECTRICAL CODE, AND 2019 BUILDING ENERGY EFFICIENCY STANDARDS.

# SCOPE OF WORK

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SCE

UTILITY

CATEGORY	ITEMS	TESLA	UTILITY
PRIMARY	PRIMARY TRENCHING	X	
	INSTALL PRIMARY CONDUIT	Х	
	INSTALL PULL ROPE	X	
	INSTALL PRIMARY FEEDERS		Х
	PROVIDE PRIMARY FEEDERS		Х
	PROVIDE ROAD CUTS / ROAD BORES	X	
	PAVEMENT REPLACEMENT	X	
TRANSFORMER	INSTALL TRANSFORMER PAD	X	
	PROVIDE TRANSFORMER		Х
	INSTALL TRANSFORMER		Х
	INSTALL CONNECTIONS - PRIMARY		Х
	INSTALL CONNECTIONS - SECD		X
SWITCHBOARD	PROVIDE METER		X
	INSTALL METER		X
	LAND SECONDARY FEEDERS	X	
SECONDARY	SECONDARY TRENCHING	X	
	INSTALL SECONDARY CONDUIT	X	
	INSTALL PULL ROPE	X	
	INSTALL SECONDARY FEEDERS		X
	PROVIDE SECONDARY FEEDERS		X
	PROVIDE ROAD CUTS / ROAD BORES	X	
	PAVEMENT REPLACEMENT	X	
EXISTING SERVICE	REROUTE EXISTING UTILITY CONDUIT	X	
	TRENCHING FOR NEW RE-ROUTE	X	
	INSTALL PULL ROPE	X	
	REPULL FEEDERS		Х
	PROVIDE FEEDERS		Х
	PROVIDE ROAD CUTS / ROAD BORES	X	
	PAVEMENT REPLACEMENT	X	

(E) SANITARY MANHOLE

(E) CLEANOUT

(E) STORM MANHOLE

(E) IRRIGATION CONTROL

(E) WATER PRESSURE

(E) WATER VAULT

CONNECTION

(E) LANDSCAPE LIGHT

(E) ELECTRIC MANHOLE

(E) ELECTRIC METER

(E) ELECTRIC VAULT

(E) FIBER OPTIC VAULT

(E) GAS VALVE

(E) DECIDUOUS TREE

(E) PALM TREE

(E) LANDSCAPED AREA

(E) UNDERGROUND

SANITARY LINE

(E) UNDERGROUND WATER LINE

GAS LINE (E) UNDERGROUND

(E) OVERHEAD **ELECTRIC LINE** 



# SITE LEGEND

(E) GREASE TRAP

(E) FIRE HYDRANT

(E) WATER VALVE

(E) WATER METER

**REGULATOR** 

(E) FIRE DEPARTMENT

(E) LIGHT POLE

(E) ELECTRIC TRANSFORMER

(E) ELECTRIC BOX

(E) FIBER OPTIC MANHOLE

(E) HANDICAP PARKING

(E) SIGN

STORM LINE (E) UNDERGROUND

(E) UNDERGROUND -----UG-----

ELECTRIC LINE

TESLA

3500 DEER CREEK RD.

PALO ALTO, CA 94304

(650) 681-5000

ORIGINAL SIZE 24"X36"

SHEET SIZE ARCH "D"

0 ½" 1"

6/28/2022

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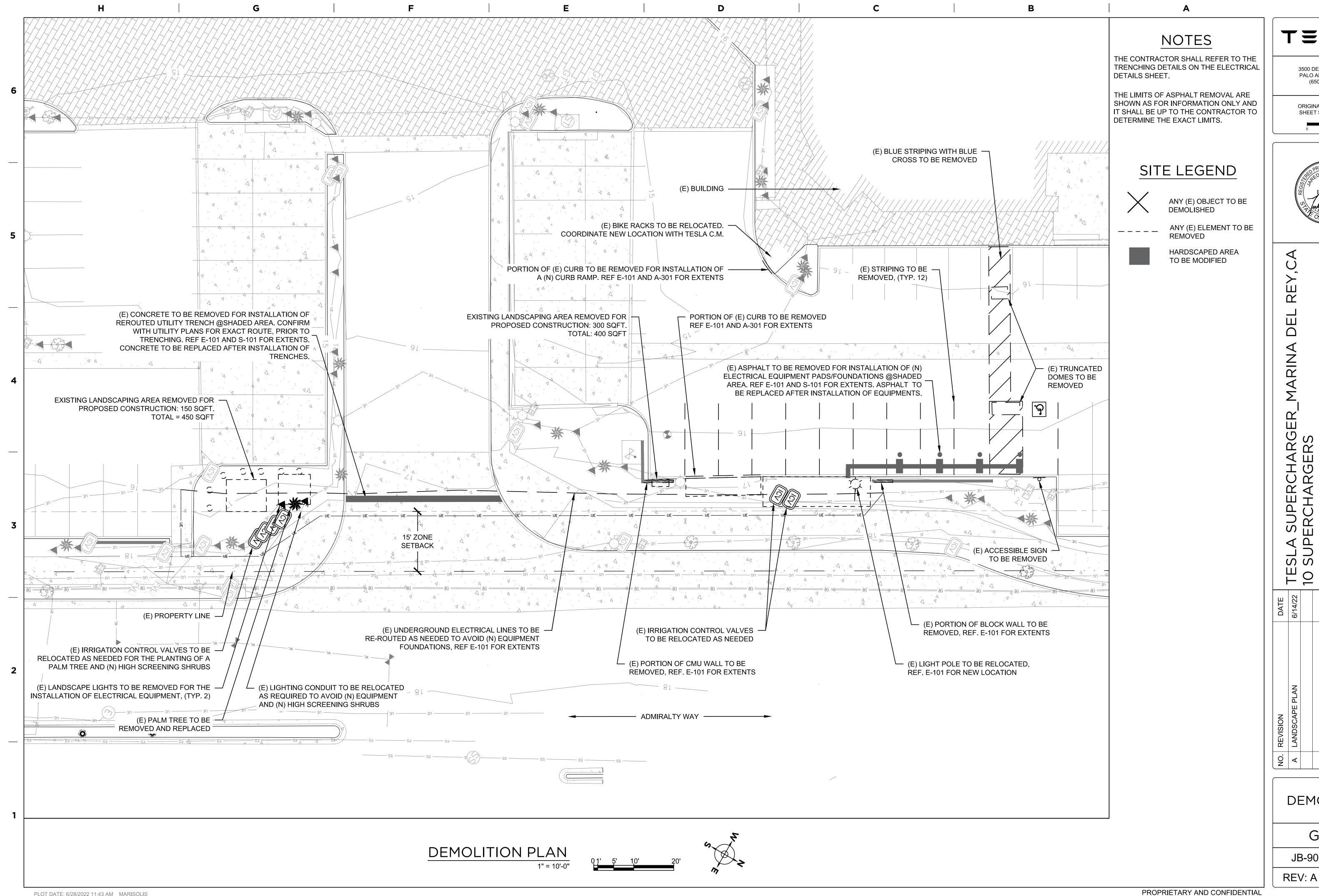
NOTES

G-002

JB-9029897-00

REV: A

PROPRIETARY AND CONFIDENTIAL PLOT DATE: 6/28/2022 11:43 AM MARISOLIS



TESLA

3500 DEER CREEK RD. PALO ALTO, CA 94304 (650) 681-5000

ORIGINAL SIZE 24"X36" SHEET SIZE ARCH "D" 0 ½" 1"

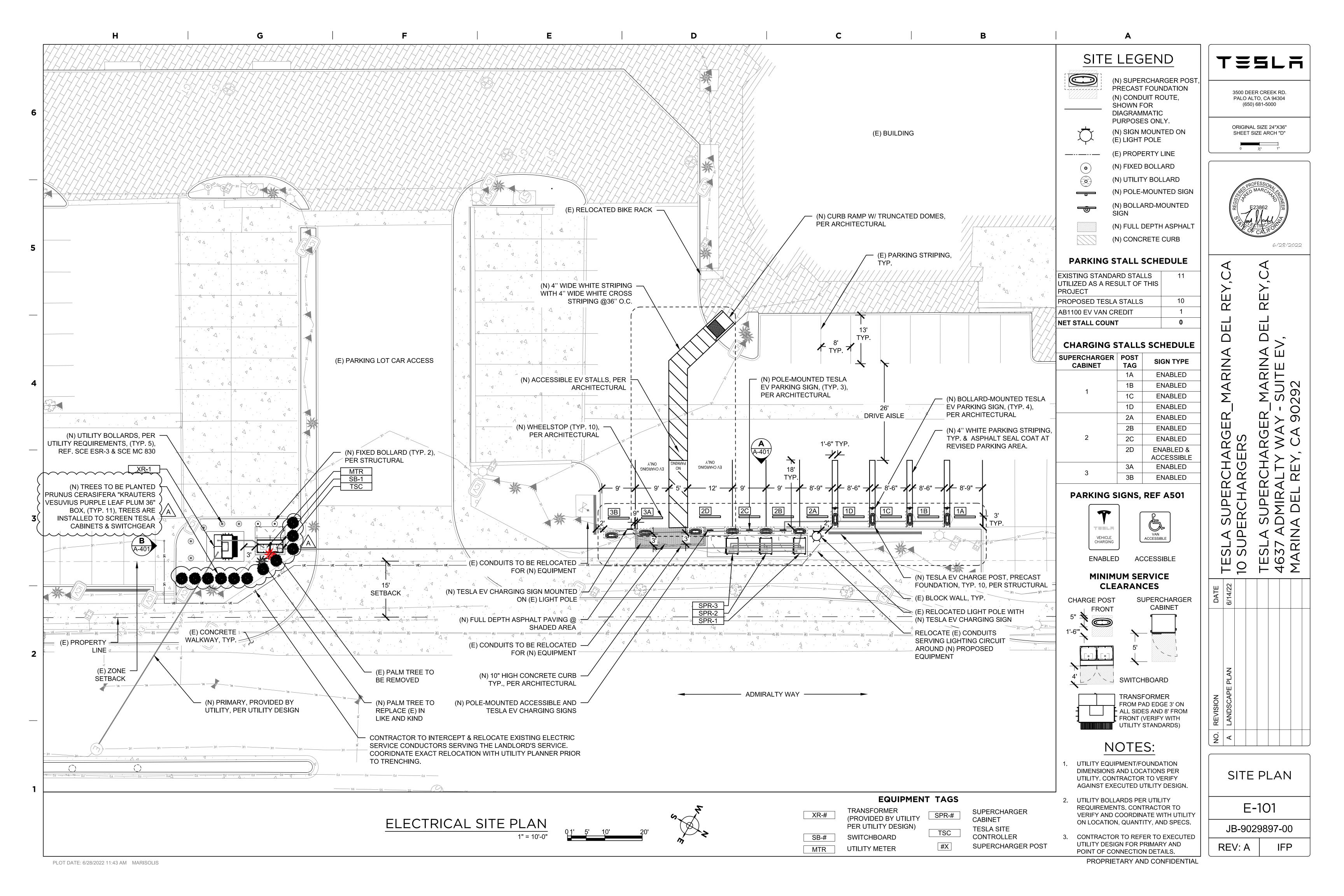


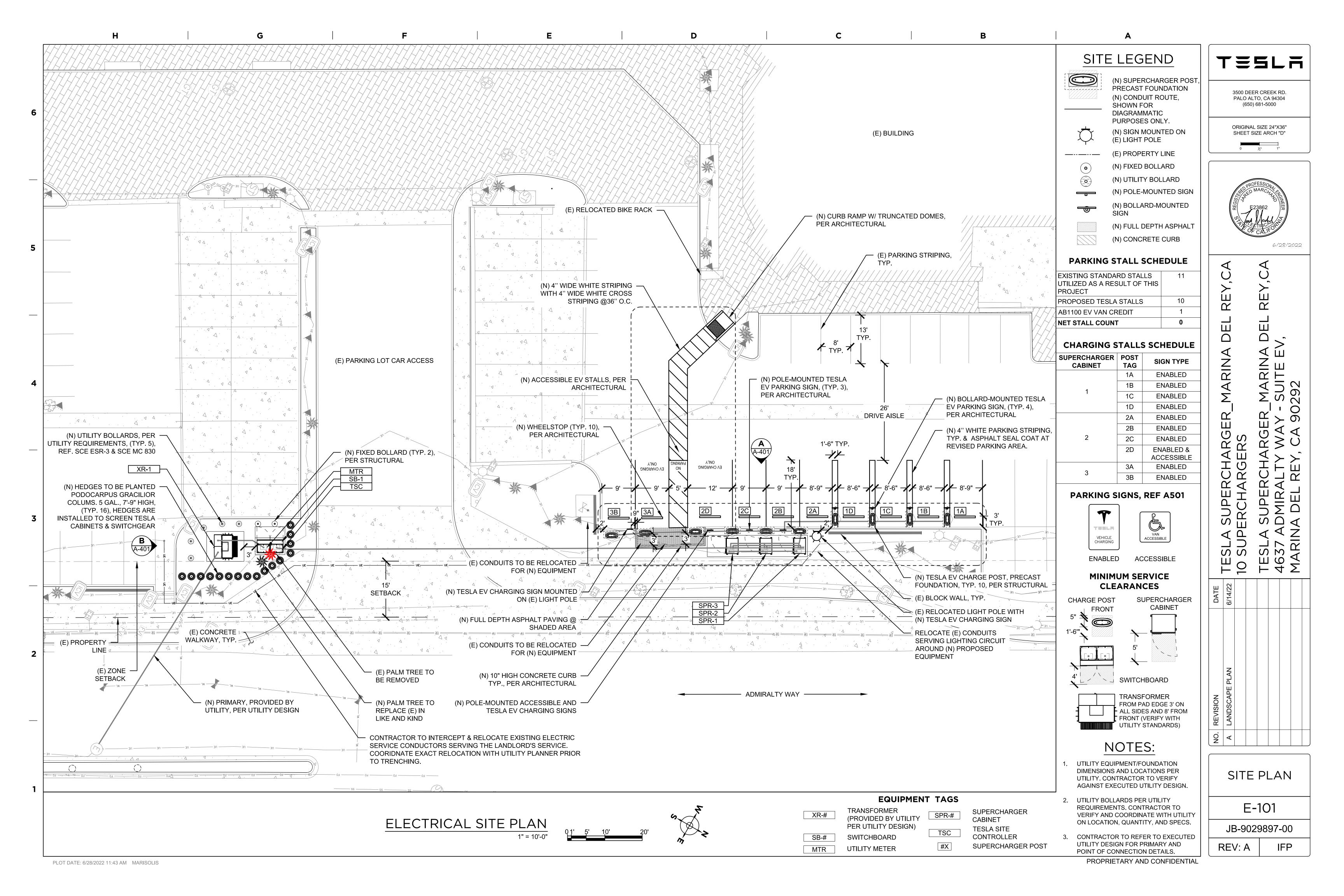
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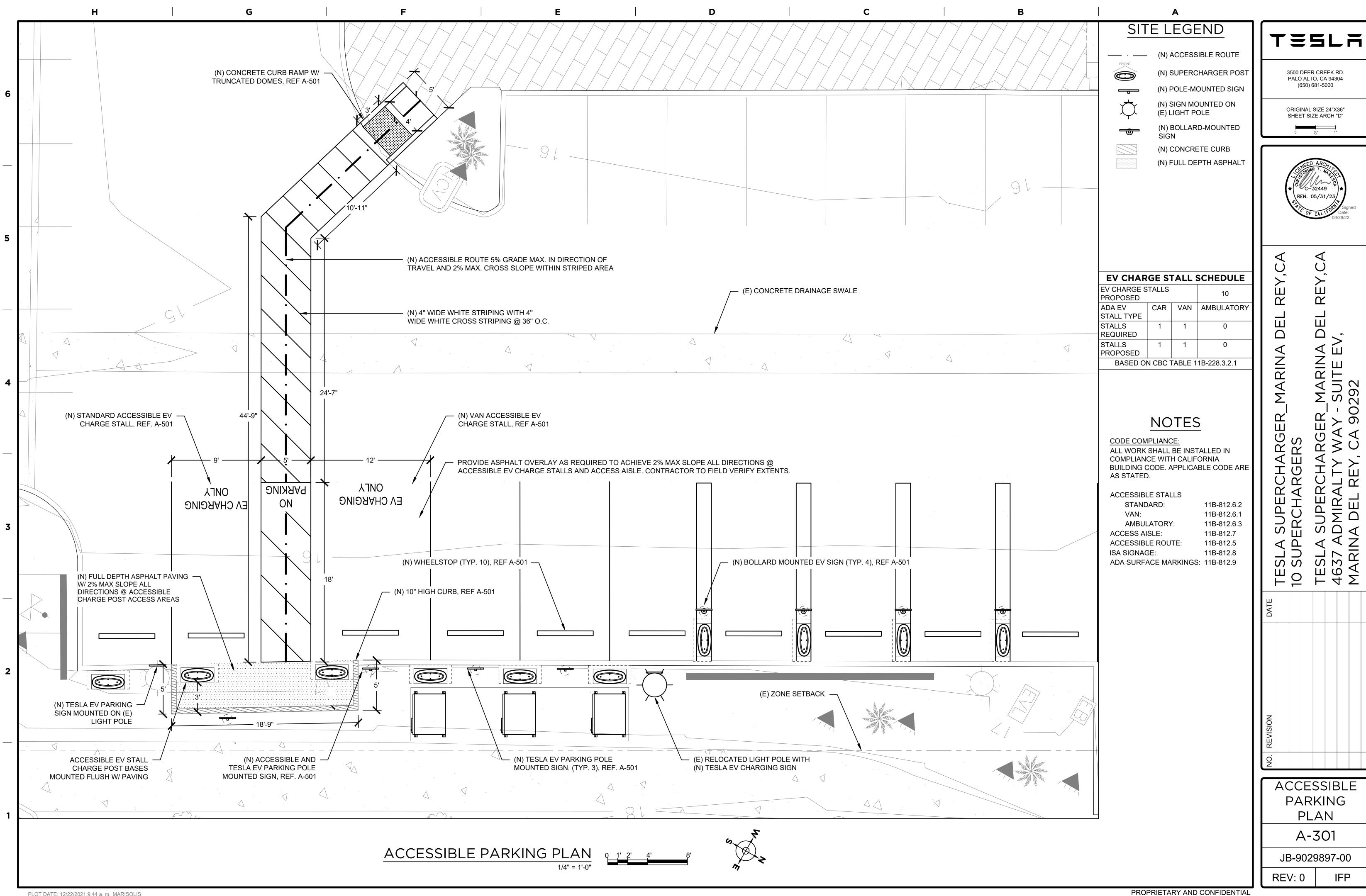
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DATE 6/14/22

DEMO PLAN G-101 JB-9029897-00





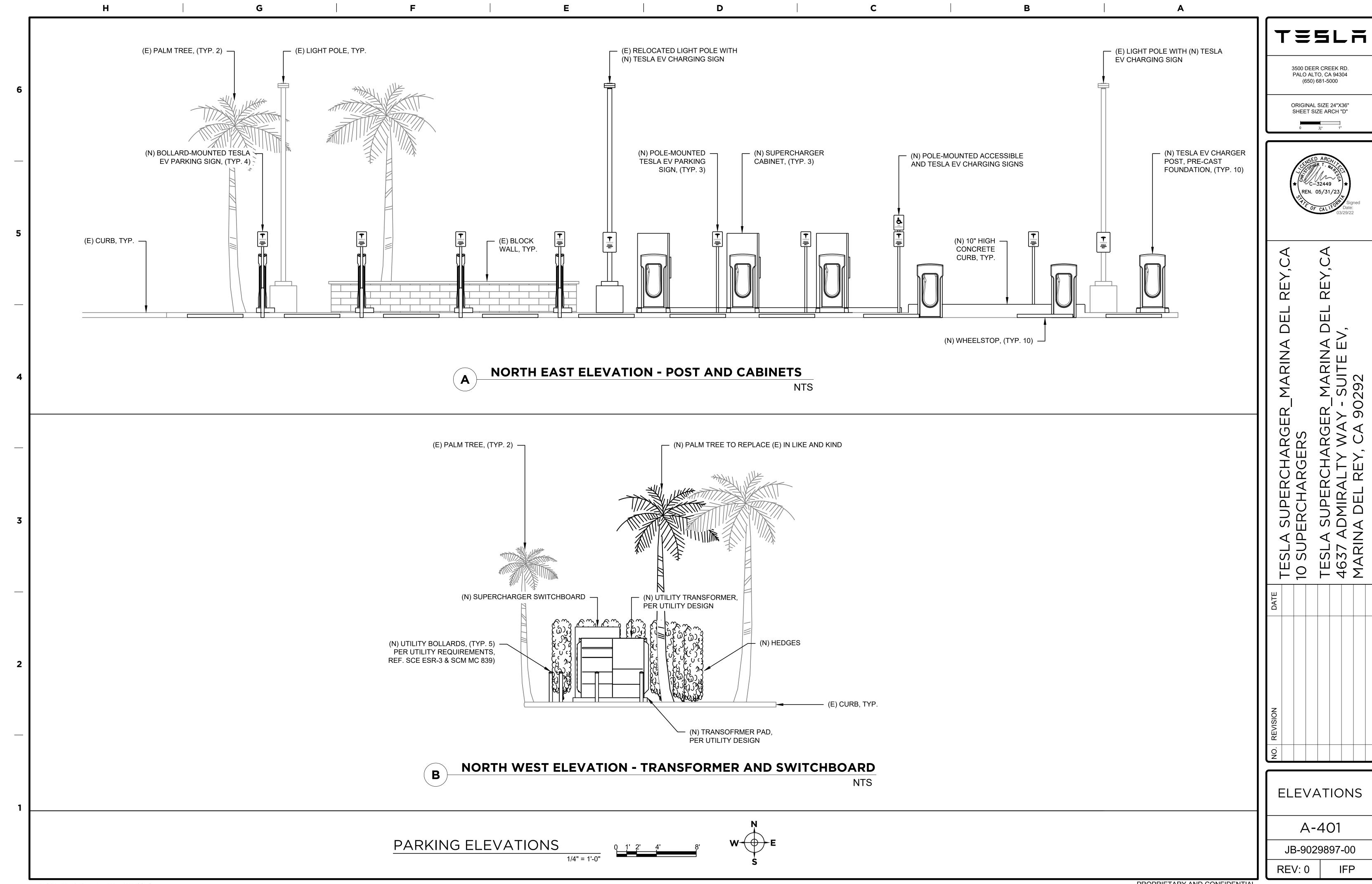


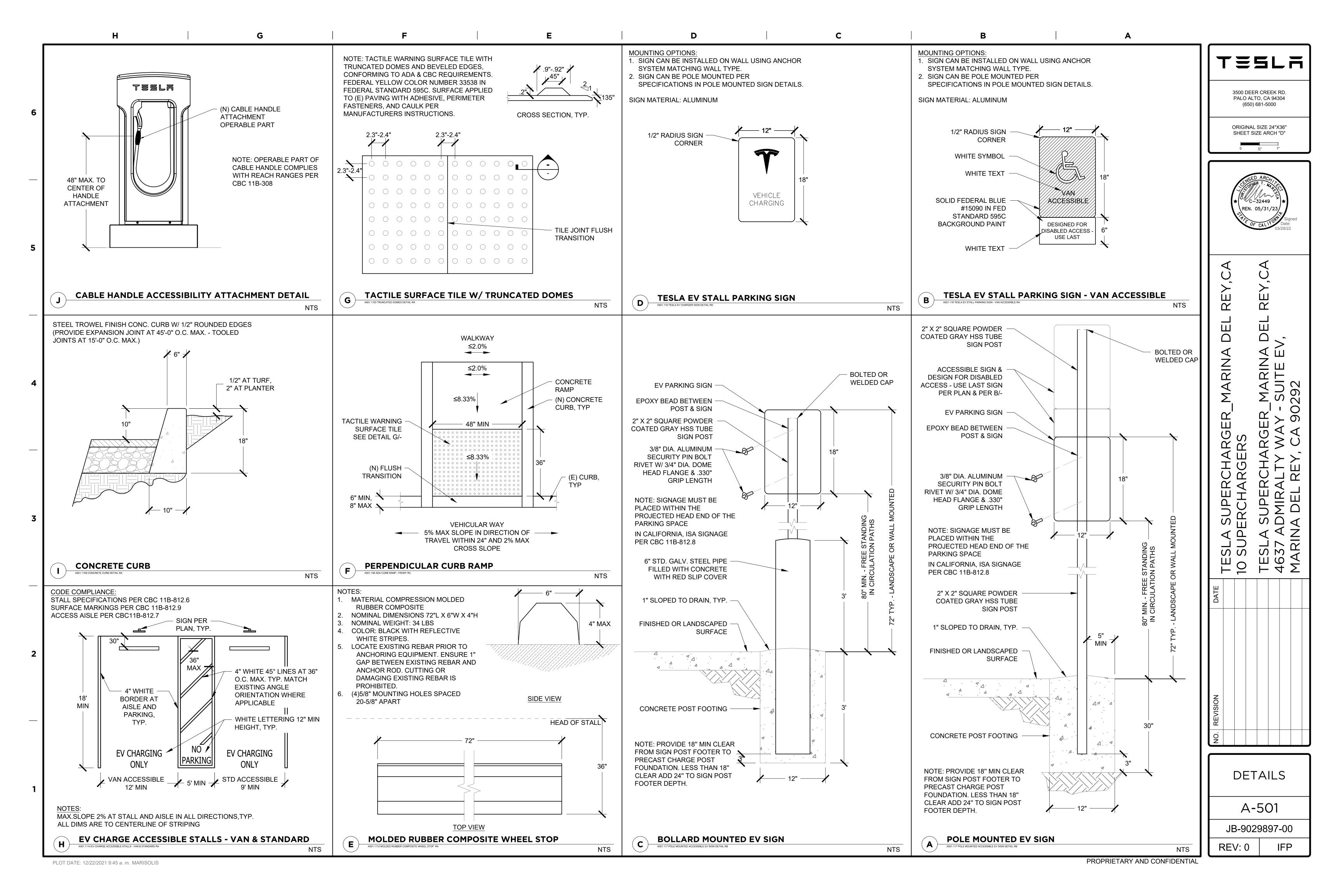
PALO ALTO, CA 94304 ORIGINAL SIZE 24"X36" SHEET SIZE ARCH "D"

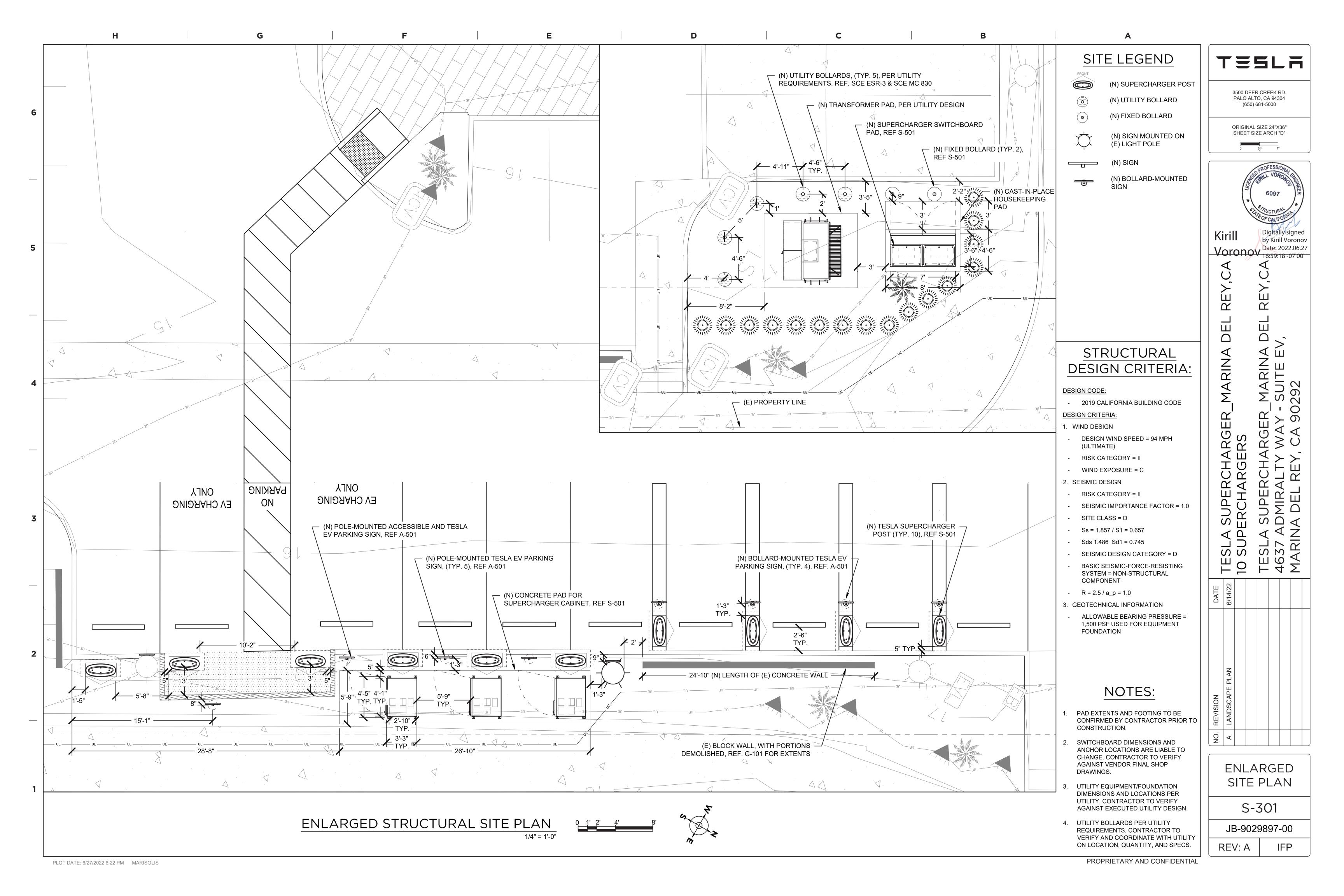


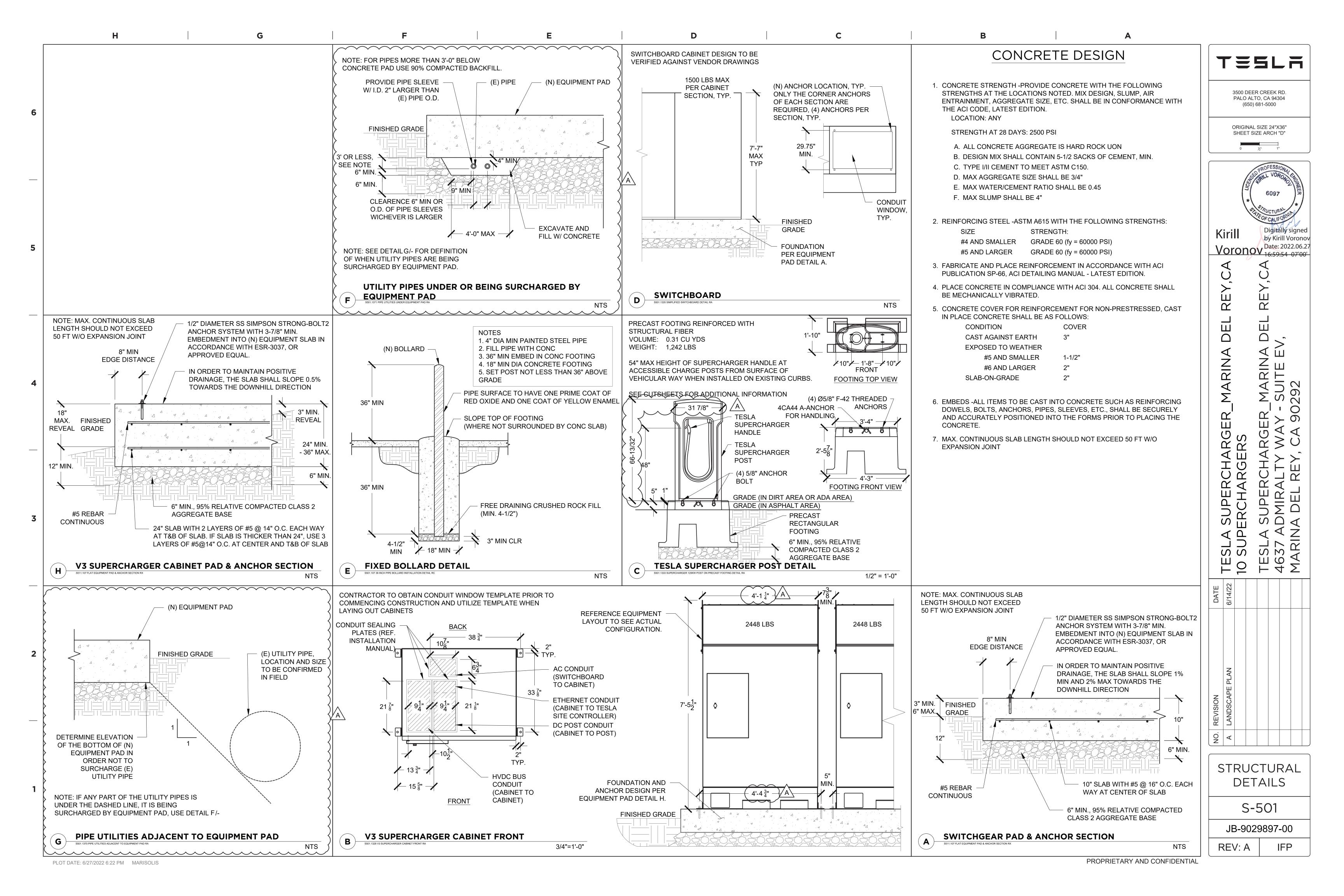
SUPERCH MIRALTY DEL REY

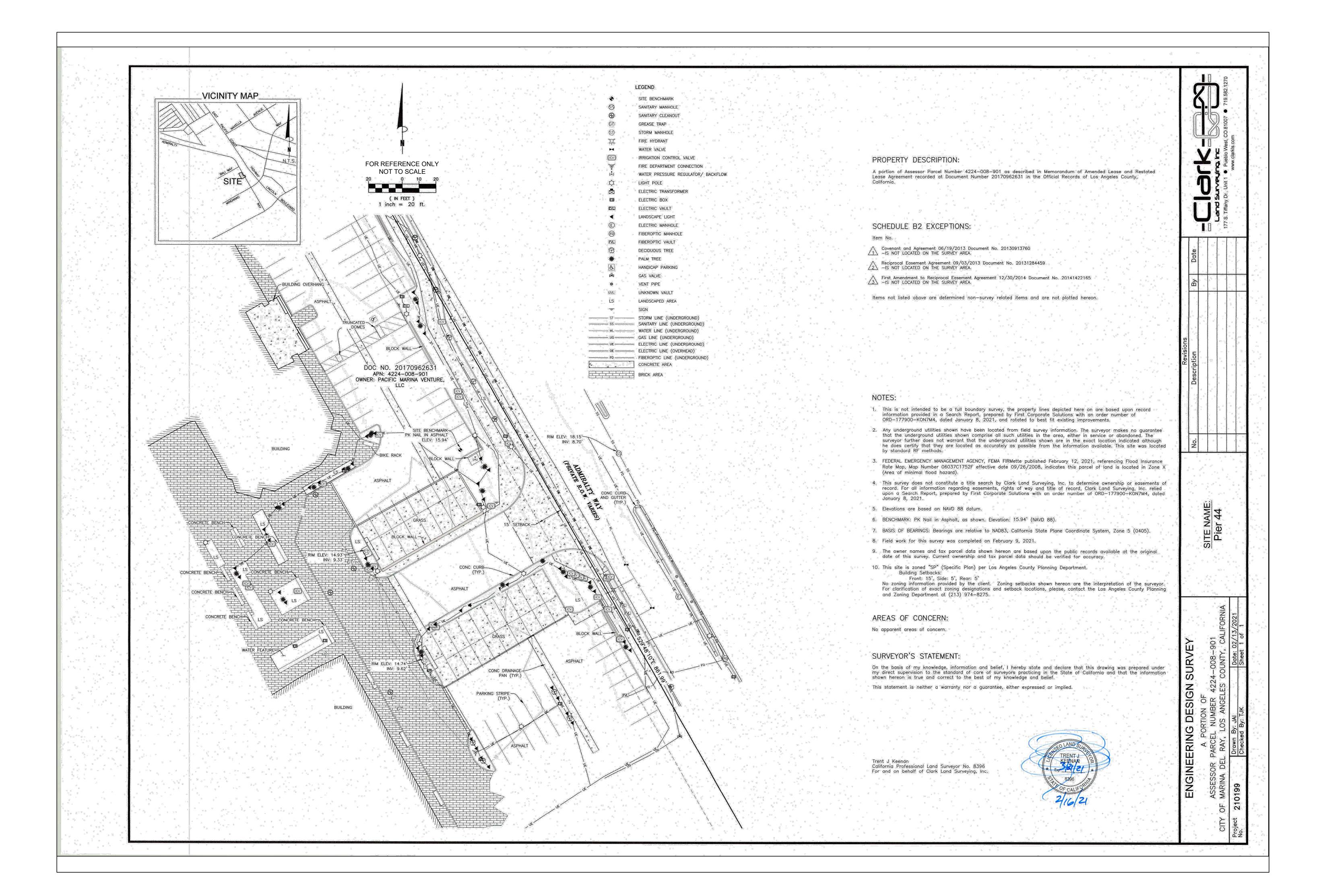
ACCESSIBLE **PARKING** JB-9029897-00











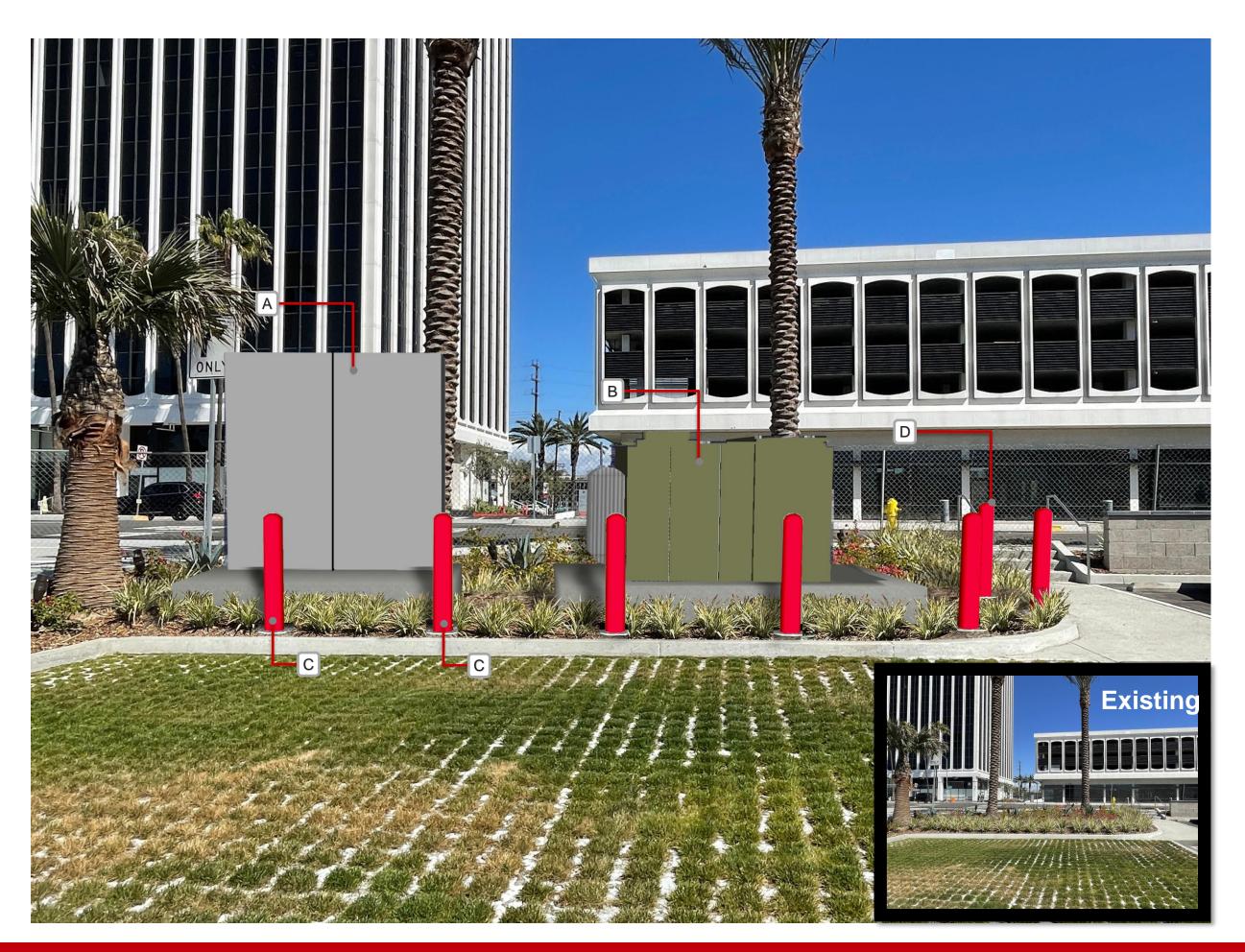




TESLA SUPERCHARGER MARINA DEL REY, CA

Tesla Supercharger Proposal 4637 Admiralty Way, Marina del Rey, CA





### **OPTION 1: NO SCREENING**

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards





**OPTION 1: NO SCREENING** 

A Screening Shrubs





**OPTION 2: SHRUB SCREENING** 

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards
- E Screening Shrubs





**OPTION 2: SHRUB SCREENING** 

A Screening Shrubs





### **OPTION 3: TREE SCREENING**

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards
- E Screening Trees



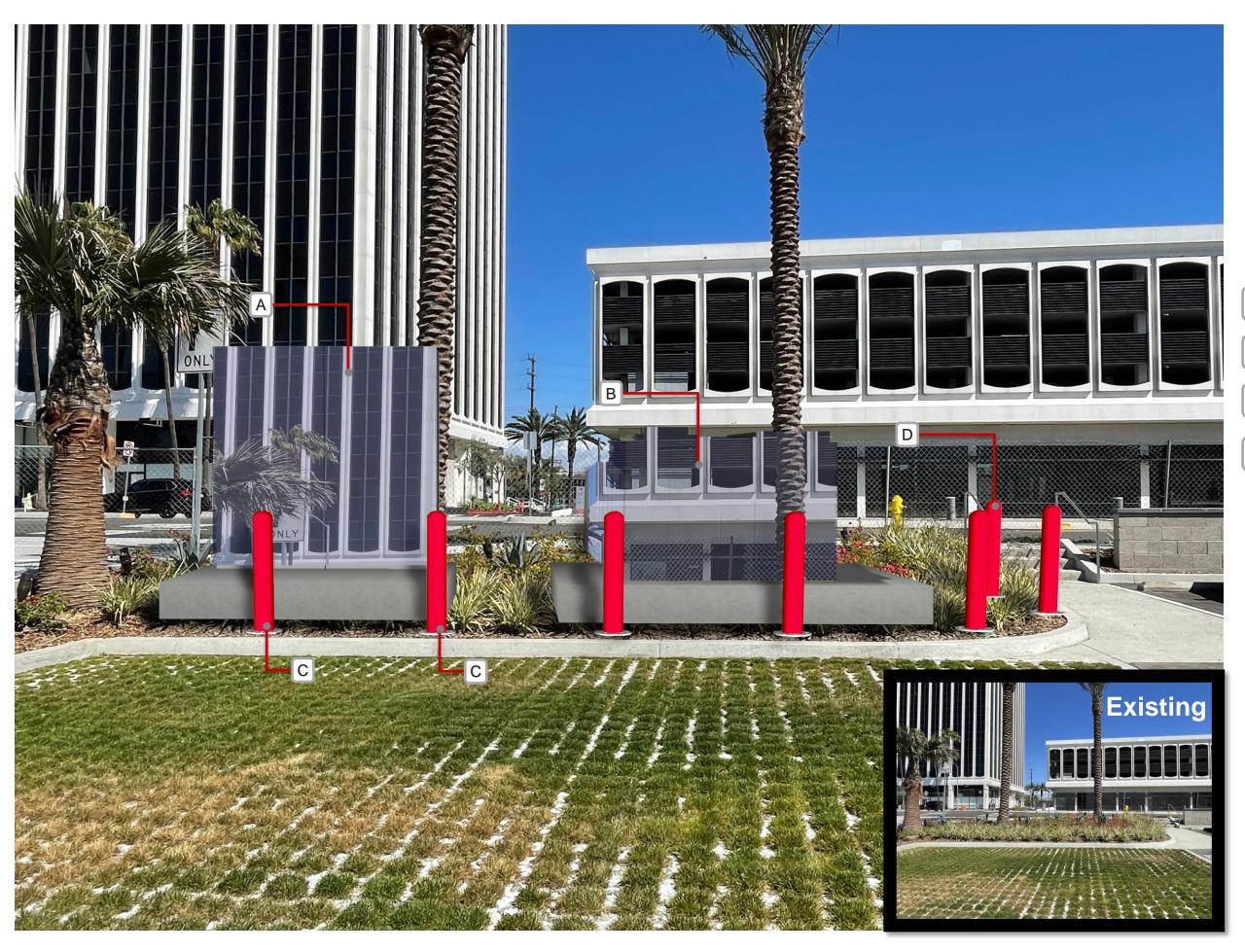


**OPTION 3: TREE SCREENING** 



Screening Trees

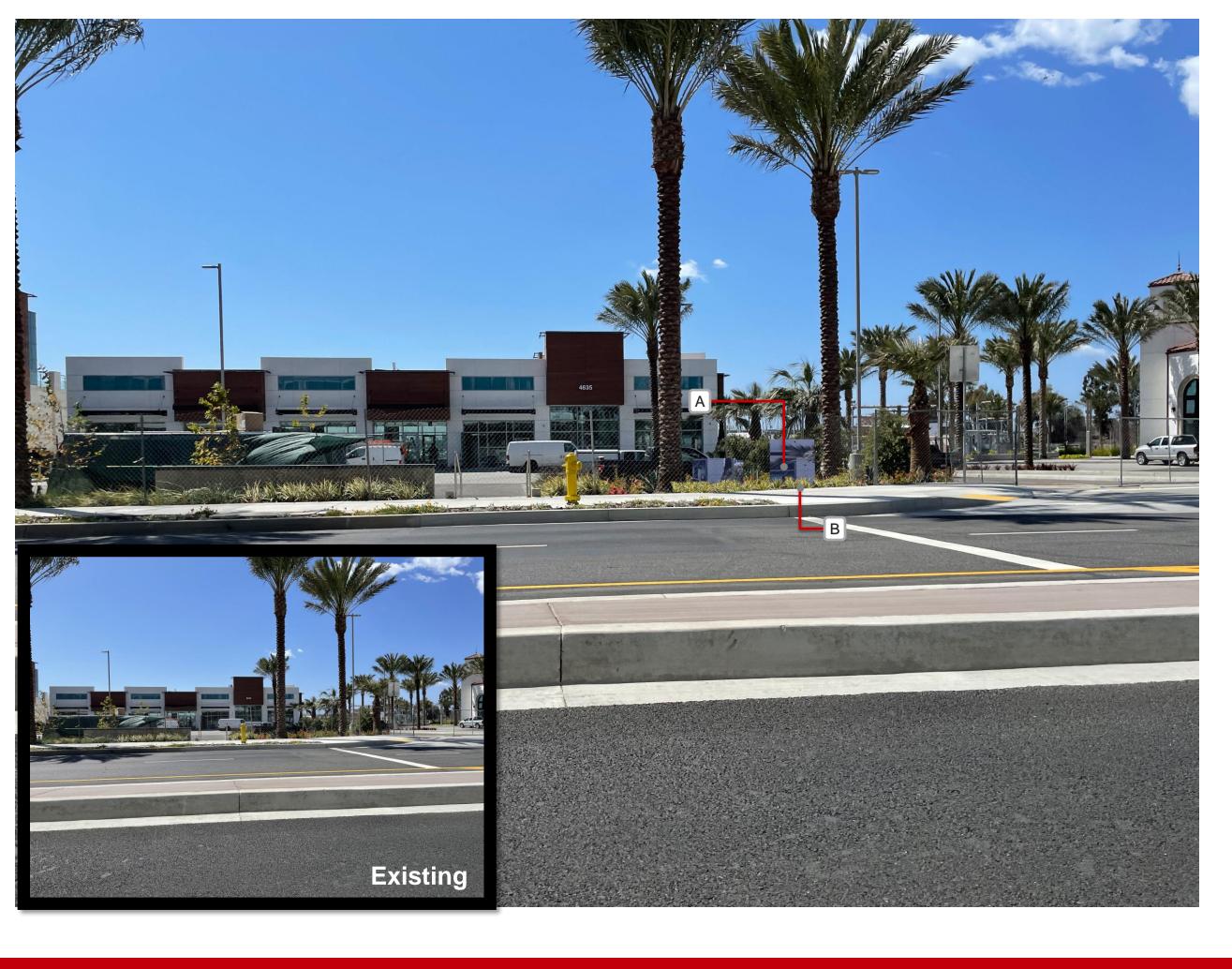




OPTION 4: CAMOUFLAGE VINYL WRAP

- A Switchgear with vinyl wrapping
- B Transformer with vinyl wrapping
- C Fixed Bollards
- D Utility Bollards





OPTION 4: CAMOUFLAGE VINYL WRAP

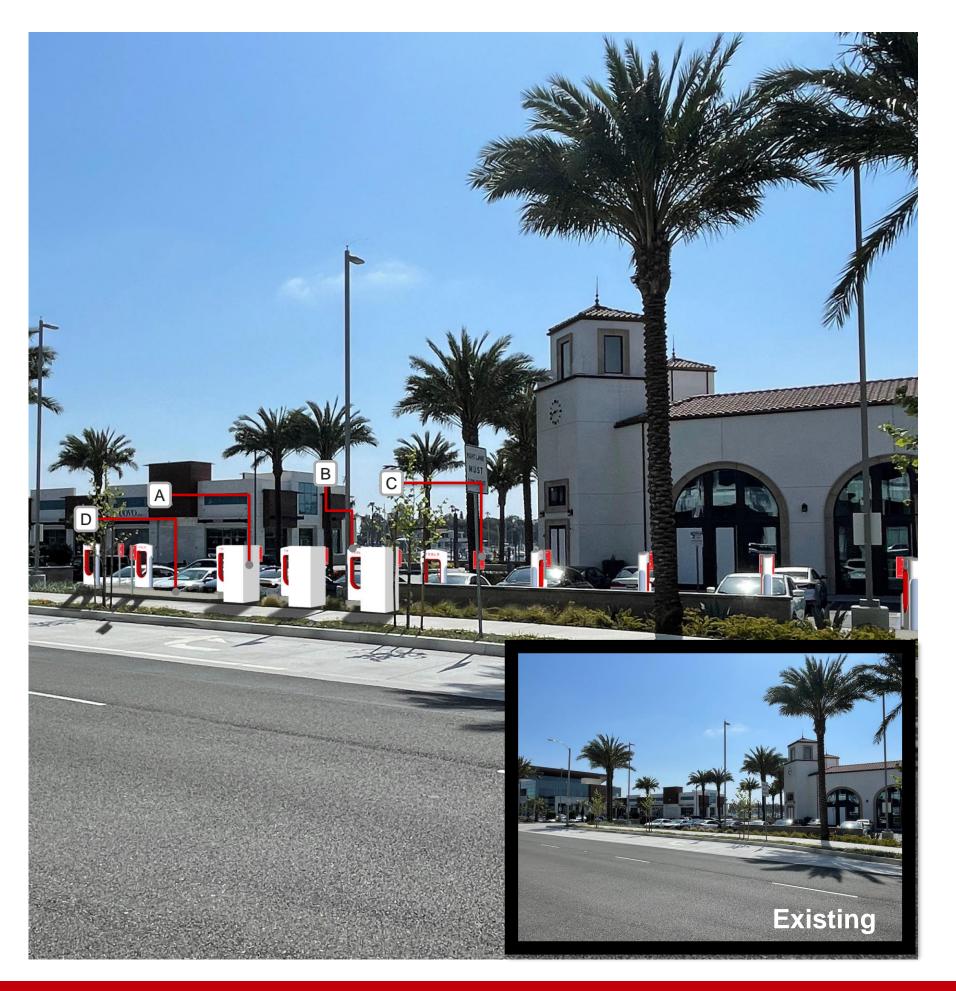
- A Electrical Equipment
- B Screening Shrubs





- Supercharger Cabinet
- B Supercharger Post
- Tesla EV pole signpost
- D Tesla EV mounted sign
- E Bollard-Mounted EV sign
- F ADA Curb Ramp
- G ADA full depth asphalt paved area





- A Cabinets
- B Supercharger Posts
- C Tesla EV Signpost
- D ADA Area



Caring for Our Coast . . .

> **Gary Jones** Director

Amy M. Caves Acting Chief Deputy Director

> Carol Baker Deputy Director

September 21, 2022

TO:

Design Control Board

FROM:

Gary Jones, Director

SUBJECT: ITEM 5B - ALIGNING MARINA DEL REY WITH LOS ANGELES COUNTY

**EQUITY PRINCIPLES** 

Item 5B on your agenda is a presentation regarding the July 12, 2022 Board of Supervisors motion entitled "Aligning Marina del Rey with Los Angeles County Priorities for Equity and Inclusion," presented by Department of Beaches and Harbors staff.

GJ:AC:pw

# Aligning Marina del Rey with Los Angeles County Priorities for Equity and Inclusion

Marina del Rey (MdR), located in unincorporated Los Angeles County (County), is the second largest built harbor in the world, consisting of 401 acres of land and 403 acres of water. Construction of MdR was completed in the early 1960s, and since then, it has grown into a thriving waterside community and County resource encompassing recreational boating facilities and services, apartments, hotels, restaurants, and civic amenities. MdR is an asset that serves residents throughout the County as well as visitors from all over the world, while generating revenue for the County, which owns all of the land and waterside parcels comprising MdR. Since its inception, MdR has largely been developed on a parcel-by-parcel basis, with the County leasing its land and water to individual private developers. Given the evolution of MdR and the needs of the County's growing and diverse population, continued development according to this piecemeal approach is not sustainable and would forestall a historic opportunity to make MdR accessible to the broadest and most diverse spectrum of visitors and residents since its creation.

In 2014, the County completed an MdR visioning process led by the Department of Regional Planning. However, given the long-term lease commitments that encumbered MdR, the 2014 visioning exercise has not yet yielded substantial change.

- MORE -

	<u>MOTION</u>		
SOLIS			
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HAHN			
BARGER			
MITCHELL			

Now, nearly 10 years later, many more MdR leases are nearing expiration, and due to redistricting, as of December 15, 2021, the entirety of MdR became part of the Second Supervisorial District. This presents a unique opportunity to view MdR from a new perspective and to realign MdR with current County priorities of equity and inclusion through a holistic and comprehensive approach.

The County Board of Supervisors (Board) has identified priorities that guide and provide context for all policy and business decisions. By way of example, on July 21, 2020, the Board adopted the "Anti-Racism, Diversity and Inclusion" Initiative, which outlined the County's efforts to advance an anti-racist policy agenda that guides the Board's commitment to delivering services through an equity lens. Through this action, the Board expressly recognized, affirmed, and declared that racism is a matter of public health in the County and established an eighth Board-directed priority to systemically address racism and bias in all their forms. Additionally, on May 18, 2021, the Board created a first-of-its-kind Countywide Poverty Alleviation Initiative and Guaranteed Income Pilot Program to combat poverty and the inequitable distribution of wealth.

In the wake of these Board actions, the Department of Beaches and Harbors (DBH), the lead County agency in MdR, initiated a reflective process that included challenging internal discussions on the historic effects of redlining and other racist practices along the coast, including the abiding deprivation of access to beaches and other coastal amenities faced by traditionally marginalized populations. It is apparent that without direct and purposeful action, these inequities and lack of access will remain.

As a critical asset to the entire County, MdR must reflect the values and priorities that the Board has made abundantly clear. By strategically planning for the long-term use of County property, we can help achieve important Board policies and initiatives, including equity, inclusion, and poverty alleviation, as well as environmental justice, the provision of affordable housing, and enhanced tenant and workforce protections. In addition, we have an opportunity to effectuate DBH's strategic goals, including enhanced public access to MdR, sustained coastal vitality, and environmental stewardship.

Before any comprehensive planning process commences, however, it is imperative that we better understand immediate needs that could be strategically

addressed by leveraging County real estate assets in MdR. To accomplish this, a preliminary needs assessment guided by community input is paramount. As we undertake this important work, it is critical that each existing lease be assessed on a case-by-case basis in light of the goals set by this motion to avoid unnecessarily committing County assets to long-term uses that do not align with the Board's clear direction on policy matters and the priorities discussed above.

#### I THEREFORE MOVE THAT THE BOARD OF SUPERVISORS:

- 1. Instruct the Director of the Department of Beaches and Harbors (DBH) in collaboration with the Directors of the Department of Regional Planning, Department of Public Works, Department of Arts and Culture, and the Executive Directors of the Los Angeles County Development Authority, the Poverty Alleviation Initiative, and the Antiracism, Diversity and Inclusion Initiative to incorporate the use of an equity lens, framework, and tools, in consultation with other relevant County departments, stakeholders, labor, and community members/organizations, to report back in writing with the following:
  - a. Within 60 days, provide recommendations for the completion of an assessment that identifies urgent community needs, in light of the Board's adopted County Guiding Equity Principles, that can be strategically addressed in Marina Del Rey (MdR). These recommendations should take into consideration community input, the 2014 MdR Visioning Statement, and include the estimated cost for the retention of a consultant to aid in completion of the assessment and potential funding sources to cover this cost;
  - b. Within 180 days, provide recommendations for the completion of a comprehensive plan for the best and highest use of real estate and water assets in MdR, in light of the Board's adopted County Guiding Equity Principles as well as the needs assessment referenced above. These recommendations should take into consideration community input, the 2014 MdR Visioning Statement, and include the estimated cost for the retention of a consultant to aid in completion of the assessment and

- potential funding sources to cover this cost. The comprehensive plan should also identify the process for completing a potential Local Coastal Plan amendment, environmental clearance under CEQA, technical studies, and other necessary components of a comprehensive planning document;
- c. Within 180 days, as part of the report requested per subsection (b) above, provide any additional recommendations for an equitable, holistic, long-term land use plan for MdR that promotes, to the greatest extent possible, the priorities identified in the 2014 Visioning Statement, including but not limited to:
  - Increased inclusivity and accessibility of MdR and its waterside amenities for all County residents and visitors, including via public or multi-modal transportation;
  - ii. Increased focus on community-serving amenities and the opportunity to incorporate youth-serving programming, including DBH's Water Awareness, Training, Education and Recreation Program;
  - iii. Sustainable and equitable development and business practices, including LEED Gold certification, payment of Prevailing Wage, and compliance with applicable County policies like Local and Targeted Worker Hiring and Labor Peace Policy:
  - iv. A community aquatic center that is open to the public;
  - A community-serving one-stop civic center and plaza, to potentially include new consolidated DBH headquarters, an enhanced library facility, and other County resources;
  - vi. Increased or enhanced park and open spaces for public enjoyment;
  - vii. Expansion of public recreation spaces at Mother's Beach and Burton Chace Park;
  - viii. Activation of a more vibrant waterfront with an array of free and lowcost recreational and community programming accessible to all;

- Page 5
- ix. Incorporation of public art elements;
- x. New and improved visual identification of MdR as a destination/community, including monument, wayfinding, placemaking/landmark, and informational/interpretive signage, etc.;
- xi. De-emphasized use of County property for surface parking lots;
- xii. Enhanced tenant and workforce protections;
- xiii. Increased provision of affordable and "missing middle" housing;
- xiv. Protection and expansion of wildlife habitats, especially marine bird rookeries;
- xv. Protection and enhancement of strategic scenic resources, especially marina and ocean view corridors; and
- xvi. A transparent and community-focused approach to all aspects of any MdR redevelopment.
- Instruct the Director of DBH to carefully assess requests for lease extensions in MdR considering the goals set forth in this motion and, unless exigent circumstances exist, avoid long term commitments until the foregoing planning process is completed.

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(CG)



Caring for Our Coast

**Gary Jones** 

Amy M. Caves Acting Chief Deputy Director

> **Carol Baker** Deputy Director

September 21, 2022

TO:

Design Control Board

FROM:

Gary Jones, Director

SUBJECT: ITEM 6A - ONGOING ACTIVITIES REPORT

#### BOARD ACTIONS ON ITEMS RELATING TO MARINA DEL REY

On August 2, 2022, the Board of Supervisors (BOS) approved the rental of a property owned by the Los Angeles County Flood Control District (District) along Ballona Creek and Marina del Rey Parcels 99, 103, 120, 122 and 123, in the Playa del Rey community of the City of Los Angeles. The Department of Beaches and Harbors (DBH) previously operated and maintained a parking facility at the site under Lease Agreement No. 40321 with the District. However, the Lease Agreement was terminated in 2014 to allow the City of Los Angeles to use the property for its Venice Dual Force Main Project, which upgraded the City's sewer line infrastructure. The City has since completed its operation and vacated the subject property in March 2022.

The District and DBH negotiated and agreed to the terms of a new rental agreement to resume the County's operation of the parking facility and the BOS authorized the Director of Beaches and Harbors (Director) to execute the rental agreement with the District. In addition, the BOS authorized the Director to execute amendments to extend the term of the rental agreement, modify its obligations under the rental agreement or suspend, cancel, or terminate the rental agreement if in the Director's opinion, it is in the best interest of the County.

### REGIONAL PLANNING COMMISSION'S CALENDAR

No items related to Marina del Rey were on the August 2022 Regional Planning Commission's agenda.

#### CALIFORNIA COASTAL COMMISSION CALENDAR

No items related to Marina del Rey were on the August 2022 California Coastal Commission agenda.

#### **FUTURE MAJOR DESIGN CONTROL BOARD ITEMS**

There are no future major Design Control Board items at this time.



Design Control Board September 21, 2022 Item 6A Page 2

<u>SMALL CRAFT HARBOR COMMISSION MINUTES</u>
The August 2022 Small Craft Harbor Commission meeting minutes are pending.

### REDEVELOPMENT PROJECT STATUS REPORT

The updated "Marina del Rey Redevelopment Projects Report" is attached.

GJ:WO:lr Attachments (1)



Caring for Our Coast

Gary Jones
Director

Amy M. Caves
Acting Chief Deputy Director

Carol Baker
Deputy Director

September 21, 2022

TO:

**Design Control Board** 

FROM:

Gary Jones, Director

SUBJECT:

ITEM 6B - MARINA DEL REY SPECIAL EVENTS

#### **BURTON CHACE PARK YOGA CLASS**

Burton Chace Park ◆ 13650 Mindanao Way ◆ Marina del Rey Sundays 9:30 a.m. – 10:30 a.m.

Join the Department of Beaches and Harbors (Department) and instructor Anastasia for a yoga session at the water's edge and connect with nature and community. Classes are offered to all, regardless of age or ability for \$10 per class. Children should be able to follow along or sit quietly with a parent/guardian. Students must bring their own mats and water bottles. Please pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

#### **BURTON CHACE PARK WALKING CLUB**

Burton Chace Park ♦ Lobby ♦ 13650 Mindanao Way ♦ Marina del Rey Tuesdays & Thursdays 10:30 a.m. – 11:30 a.m.

The Department is sponsoring a FREE one-hour walking club. Get your exercise while taking in the beautiful view of the Marina del Rey harbor. Call (424) 526-7910 to RSVP or email to chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

#### **BURTON CHACE PARK ZUMBA CLASS**

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rev



Design Control Board September 21, 2022 Item 6B Page 2

Tuesdays and Thursdays 3:30 p.m. – 4:30 p.m.

Ditch your boring workout and join the Department's FREE outdoor Zumba class at Burton Chace Park! Each class is limited to 10 people. Registration is required and is available on a first-come, first served basis. Pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

#### **DRAWING & PAINTING CLASS**

In-Person and online class via Zoom Wednesdays 5:00 p.m. – 6:30 p.m.

The Department is offering a FREE drawing and watercolor art class for beginners ages 14 years or older. In-person classes are limited to ten people and supplies are provided. Registration is required and is available on a first-come, first served basis. Pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

#### **BEACH EATS**

Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey Thursdays through October 27, 2022 5:00 p.m. – 9:00 p.m.

The Department hosts a gourmet food truck event in Marina del Rey that offers a variety of delectable savory foods and desserts. The weekly assortment of food trucks will vary along with menu options, such as gourmet burgers, hot dogs, tacos, lobster rolls, and more. Paid parking is available for 25 cents for every 10 minutes.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

#### DANCE MDR

Burton Chace Park ◆ 13640 Mindanao Way ◆ Marina del Rey Fridays through September 30, 2022 7:00 p.m. – 10:00 p.m.

Join us at Dance MDR for a night of dancing in the park. Pick up new dance moves with beginner lessons from L.A.'s best dance teachers and then groove to the DJ, with a different dance style every Friday night in September. This event is free to the public. Everyone is welcome!

Design Control Board September 21, 2022 Item 6B Page 3

September 23 Hip-Hop September 30 Salsa

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

#### MARINA DEL REY FARMERS' MARKET

Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey Saturdays 9:00 a.m. – 2:00 p.m.

The Department, in collaboration with Southland Farmers' Market Association, is offering the Marina del Rey Farmers' Market on Saturdays. The Marina del Rey Farmers' Market offers fresh, locally grown organic and conventionally grown fruits and veggies. Also available are prepackaged foods and much more! Paid parking is available for 25 cents for every 10 minutes.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

#### **MARINA MOVIE NIGHTS**

Burton Chace Park ◆ 13650 Mindanao Way ◆ Marina del Rey Select Saturdays through September 24, 2022 Movie start time: 8:00 p.m.

The Department presents the return of Marina Movie Nights at Burton Chace Park. This summer pack your picnic baskets and bring the family out to the park on Saturday nights to enjoy free outdoor movie screenings under the stars.

Movie Lineup:

September 24 The Wizard of Oz

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

#### BEACH SHUTTLE

Through September 25, 2022 Saturdays from 10:00 a.m. – 10:00 p.m. Sundays from 10:00 a.m. – 8:00 p.m.

Catch a free ride on the Beach Shuttle to and from Playa Vista, Marina del Rey and the Venice Beach Pier, and enjoy the surf, sand and surroundings of Marina del Rey in a hassle-free and relaxing way. The Beach Shuttle operates during the summer months only on weekends.

Design Control Board September 21, 2022 Item 6B Page 4

For more information: Call (424) 526-7900 or visit beaches.lacounty.gov

#### FISHERMAN'S VILLAGE WEEKEND CONCERT SERIES

13755 Fiji Way ◆ Marina del Rey Sponsored by Pacific Ocean Management, LLC Sundays 2:00 p.m. – 5:00 p.m.

September 25<sup>th</sup> Upstream (Reggae)

For more information: Call Pacific Ocean Management at (310) 306-0400

#### MARINA DRUM CIRCLE

Burton Chace Park ♦ 13640 Mindanao Way ♦ Marina del Rey Sundays through October 16, 2022 Sessions: 11:30 a.m. – 12:30 p.m. and 1:30 p.m. – 2:30 p.m.

Discover the fun and excitement of interactive group drumming at the water's edge! Drums and other percussion instruments will be provided. Choose from one of two FREE 60-minute sessions that are available for enthusiasts of all ages and skill levels.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

GJ:CML:da

### Marina del Rey Redevelopment Projects Report As of August 02, 2022

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
113 Mariner's Village	Mark Wagner	* Renovation of 981 apartments  * Improvements to promenade	Massing – Existing buildings to remain.  Parking – Existing parking to remain.	Proprietary – Item opened on 9/23/2013. On October 30, 2018, the Los Angeles County Board of Supervisors approved an option for an amended at restated lease. The revised project will include 20% affordable units. A proposed extension of the lease and option terms till 10/29/2023 is expected to be heard by the Board on 10/18/2022.  Regulatory – The Regional Planning Commission approved an after-the-fact Coastal Development Permit (CDP) for the previous removal of waterbird nests. The appeal of that CDP was approved by the Coastal Commission in September 8, 2021. Lessee is tentatively scheduled to present at the Marina del Rey Design Control Board meeting scheduled for January 19, 2022. Lessee's presentation at Jan 19, 2022's DCB meeting was continued to allow more time to review the proposal. Staff scheduled ex-parte meetings with Meg Coffee and Chair Cho. Lessee's design plans were approved at the March 2022 DCB meeting.