



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Acting Chief Deputy Director

Carol Baker
Deputy Director

MARINA DEL REY DESIGN CONTROL BOARD AGENDA

Wednesday, September 21, 2022, 1:30 p.m.

AUDIO LINK DCB September 21, 2022 Meeting

NOTICE

In accordance with Government Code § 54953 permitting the convening of public agency meetings in light of the Covid-19 pandemic, all regularly scheduled Design Control Board meetings will convene as virtual (online) meetings and by teleconference as determined by the Board.

OBSERVING THE MEETING

To observe the meeting, go to <http://beaches.lacounty.gov/watch-dcb-meeting> (Zoom Meeting ID: 913 7426 1482) or dial **(408) 638-0968** or **(669) 900-6833**.

PROVIDING VERBAL PUBLIC COMMENT

To provide verbal public comment for the record during the meeting, go to <http://beaches.lacounty.gov/watch-dcb-meeting> (Zoom Meeting ID: 913 7426 1482) and staff will assist you via the Zoom chat feature.

If you are calling in to the meeting, send an email to DBHPlanner@bh.lacounty.gov with the agenda item number, first name, last name, email address, and phone number, and identify yourself as the applicant or not the applicant.

PROVIDING WRITTEN PUBLIC COMMENT

To provide written public comment for the record, send an email to DBHPlanner@bh.lacounty.gov with your comment, the agenda item number, your first name and last name, email address, and phone number, and identify yourself as the applicant or not the applicant. Written comments submitted prior to 5 p.m. on the day before the meeting will be provided to the Design Control Board. Written public comments submitted after 5 p.m. on the day before the meeting will not be provided to the Design Control Board, but will be added to the public record.

AUTHORITY TO HOLD THE MEETING BY TELECONFERENCE

The Design Control Board meeting is continuing to be held via teleconference consistent with the Board of Supervisors' findings on August 30, 2022, that 1) in accordance with Assembly Bill (AB) 361 Section 3 (e)(3), California Government Code Section 54953 (e)(3), that it reconsidered the circumstances of the State of Emergency due to the COVID-19 pandemic and that the State of Emergency remains active; and 2) that local officials continue to recommend measures to promote social distancing.



2. **Approval of the August 17, 2022 Minutes**

3. **Consent Agenda**

The Chair may entertain a motion by a Board member at the beginning of the meeting to approve certain non-controversial agenda items as consent agenda items unless held by a Board member or member(s) of the public for discussion or separate action.

4. **Old Business**

A. Parcel 50 – Waterside Shopping Center / The Shade Store – DCB #22-006-B – Consideration of building modifications and new signage

5. **New Business**

A. Parcel 44 – Pacific Marina Venture, LLC / Tesla, Motors Inc. – DCB #22-011 – Consideration of Tesla supercharging stations

B. Aligning Marina del Rey with Los Angeles County Equity Principles (presentation)

6. **Staff Reports**

A. Ongoing Activities Report

- Board of Supervisors Actions on Items Relating to Marina del Rey
- Regional Planning Commission's Calendar
- Coastal Commission's Calendar
- Future Major DCB Agenda Items
- Small Craft Harbor Commission Minutes
- Redevelopment Project Status Report

B. Marina del Rey Special Events

7. **Public Comment**

This is the opportunity for members of the public to address the Board on items that are not on the posted agenda, provided that the subject matter is within the jurisdiction of the Board. Speakers are reminded of the three-minute time limitation.

8. **Adjournment**

PLEASE NOTE

1. ADA ACCOMODATIONS: If you require reasonable accommodations or auxiliary aids and services such as material in alternate format or a sign language interpreter, please contact the ADA (Americans with Disabilities Act) Coordinator at (424) 526-7752 (Voice) or (TTY/TDD) users, please call the California Relay Service at 711. The ADA coordinator may be reached by email at rstassi@bh.lacounty.gov.
2. The Los Angeles County Board of Supervisors adopted Chapter 2.160 of the Los Angeles Code (Ord. 93-0031 ~ 2 (part), 1993), relating to lobbyists. Any person who seeks support or endorsement from the Design Control Board on any official action must certify that he/she is familiar with the requirements of this ordinance. A copy of the ordinance can be provided prior to the meeting and certification is to be made before or at the meeting.
3. Si necesita asistencia para interpretar esta información, llame a este numero: 424-526-7777.
4. All materials provided to the Design Control Board Members are available for public review, beginning the Friday prior to the meeting, at <https://beaches.lacounty.gov/design-control-board/>. The Department of Beaches and Harbors website also provides all reports and audio files from current and past meetings. Electronic copies of project submittals for Business Items referred to in this agenda will be available online

for a two week period from the date of this agenda.

DESIGN CONTROL BOARD MINUTES

August 17, 2022

Members Present: Meg Rushing Coffee, Member (First District); Genelle Brooks-Petty, Member (Second District); Steven Cho, Chair (Fourth District); Tony Wong, P.E., Vice Chair (Fifth District)

Members Absent: None

Department Staff Present: Amy Caves, Acting Chief Deputy Director; Warren Ontiveros, Planning Division Chief; Maral Tashjian, Planning Specialist; Porsche White, Planner; Julie Yom, Planner; Chantal Alatorre, Planner; Lola Reyna, Secretary

County Staff Present: Parjack Ghaderi, County Counsel; Clark Taylor, Department of Regional Planning

Guests Testifying: Andrew Roux, Keller Williams Realty; Scott Greene, Mark Miller, Andi Wang, and James Shahamiri, LA Metro

1. Call to Order and Pledge of Allegiance

Chair Cho called the meeting to order at 1:30 pm and led the Pledge of Allegiance. Ms. Tashjian read the virtual meeting procedures.

2. Approval of the May 18, 2022 and July 20, 2022 Minutes

Board Member Coffee moved to approve minutes, seconded by Vice Chair Wong.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks- Petty
Nays: 0

3. Consent Agenda

None

4. Old Business

None

5. New Business

A. Parcel 95 – Gold Coast West, LLC / Keller Williams Realty – DCB #22-009 – Consideration of new signage

Ms. Yom presented the staff report.

Board Comment

Chair Cho asked if there were any questions from the Board. He then asked if there were any Applicants present.

Ms. Tashjian stated that there was one member of the Applicant's project team present.

Mr. Roux introduced himself and awaited questions from the Board.

Public Comment

None

Chair Cho moved to approve DCB #22-009, seconded by Vice Chair Wong.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee

Nays: 0

B. Parcel 3 – Los Angeles County Metropolitan Transportation Authority – DCB #22-010 – Conceptual design consideration of a new bus turnaround loop and associated improvements

Ms. Alatorre presented the staff report.

Board Comment

Chair Cho asked if the new entry driveway would only be utilized by buses or would cars also be allowed to use the entryway.

Ms. Alatorre deferred the question to the Applicant project team.

Mr. Greene introduced himself and clarified that the entryway would be available for use by both cars and buses. He also noted that “Do Not Enter” signs would be installed at the exit driveway.

Chair Cho expressed that in his experience the current layout of the central parking lot entryway has been difficult to use and asked why the Applicant did not propose to remove this entryway.

Mr. Greene noted that the smaller driveway would be utilized during construction as vehicles would still need to have access to the lot.

Chair Cho asked if the smaller driveway would be needed after construction as it is very difficult to enter and has a very narrow, sharp turn. He noted that if the main entryway would be widened, the smaller entryway doesn't seem necessary and removing it may be an opportunity to recapture parking spaces.

Mr. Greene responded that the project team could look into this design change. He then deferred to the Applicant team for further comments on Chair Cho's proposal.

Mr. Miller addressed the Board and noted that the smaller driveway is not necessary.

Ms. Wang, addressed the Board and agreed with Mr. Miller's prior statement.

Mr. Miller stated that, at most, two parking spaces could be added unless additional trees would be removed from the site.

Chair Cho commented that additional landscaping could be added to the area and recommended that the smaller entryway be removed.

Ms. Coffee asked how the public currently uses the parking lot.

Mr. Greene stated that he believes it is used as paid public parking for beach access.

Chair Cho commented that the parking lot is the last lot before the north jetty and is often used as overflow for the metered parking along the north jetty.

Ms. Coffee agreed with Chair Cho's recommendation to remove the smaller entryway to accommodate two parking spaces and additional landscaping. She also noted that the proposed irrigation system was not very water efficient and due to the different water use requirements of the plants proposed, more water would be used than necessary. Given the drought, she asked the project team whether they believed their selection of plants were wise.

Mr. Miller responded that plans can be reviewed to see if the water usage could be lowered.

Ms. Coffee asked why drip irrigation was not proposed.

Mr. Miller responded that he believes the proposed irrigation type was selected to match the existing irrigation. However, he stated that the Applicant project team could explore using drip irrigation.

Ms. Wang confirmed that the irrigation type was selected to match existing conditions, but if Mr. Greene would like, this could be explored as it would add costs to the project.

Ms. Coffee stated that all new plantings and irrigation should comply with State and County of Los Angeles water requirements and therefore, all proposed plant types should be revised to be either low or very low water use and irrigation should be modified to drip type.

Chair Cho initiated a discussion regarding closing the existing exit driveway within the project area as it seems unnecessary and the exit wouldn't be very functional. He also noted that this may be an opportunity to recapture additional parking spaces.

Mr. Greene asked if adding additional parking would absolve the project team from needing a coastal development permit (CDP).

Mr. Taylor stated that there are several possibilities for how the project could be permitted, noting that either a Coastal Development Permit (CDP) or a CDP exemption would be required. He also stated that the two reasons a CDP would be triggered for this project would be the removal of a tree and the loss of parking spaces. If the parking spaces had no net loss that would be favorable, however, the vegetation loss would still warrant a CDP.

Mr. Shahamiri introduced himself and clarified that the reason for the 30' driveway is to allow a bus to enter the lot through an entry only driveway. He expressed concern regarding allowing vehicles to exit through the proposed driveway. He also mentioned that the southernmost exit within the project boundary allows for a left turn onto the main street.

Chair Cho asked what issues would arise should the exit driveway be removed.

Mr. Shahamiri responded that he would prefer that the 30' wide driveway be entry only and only wanted to share the left turn issue regarding the exit. However, if traffic heads north towards where buses would exit, vehicles could turn left there as well.

Ms. Coffee noted that it wasn't clear that the 30' driveway would be entry only.

Mr. Shahamiri confirmed that vehicles would be allowed to use any entry or exit as only directional limitations are set for the driveways.

Chair Cho stated that the lot does not receive a lot of traffic and asked if it would be feasible to close the small exit driveway to recover any proposed loss of parking spaces.

Mr. Shahamiri stated that the lot circulation would need to be considered since having additional entry and exit points creates flexibility for the usage of the lot. He also mentioned that due to the islands with trees in the center of the lot, fitting parking spaces in certain areas could be challenging considering curbs cannot be moved due to the root systems of the trees. Furthermore, he stated that closing the small exit driveway should be seen as an opportunity for additional landscaping, with potentially a bonus of recapturing parking spaces, if possible.

Mr. Greene noted that there is another exit to the parking lot at the far north end of the lot.

Chair Cho stated that the general direction people exit is towards the main portion of the Marina by turning left out of the parking lot.

Ms. Coffee stated that she could see a potential issue with closing the small driveway as the driveway allows for a left turn. She also noted that the added scope being discussed would require additional funding, however, based on the proposed scope her main concern would be the selected plant types.

Chair Cho expressed that it would be beneficial for the Applicant to make additional modifications to the parking lot beyond the proposed scope, if funding is available.

Ms. Tashjian noted that any additional changes to the parking lot would also need to be reviewed by the Department of Beaches and Harbors' traffic engineer.

Chair Cho asked staff what the preferred path would be for approving the project should the Board request that the Applicant review additional parking lot modifications.

Ms. Tashjian noted that the current review is conceptual and the Applicant would be required to return to the Board for a final review of the project after it's approved by the Department of Regional Planning.

Ms. Coffee stated that she would like the Applicant team to conceptually explore the options of closing the two smaller driveways and making it a landscaped area. Furthermore, she noted that if the southern driveway is closed there is the possibility of adding more parking.

Public Comment
None

Chair Cho moved to approve DCB #22-010 subject to the following conditions: (a) The Applicant shall explore the removal of the vehicle entry in the center of the lot to re-capture parking spaces and landscaping, (b) the Applicant shall explore removal of the exit driveway on the southside of the parking lot to capture parking spaces in that area, (c) the Applicant shall explore adding parking spaces adjacent to the southern driveway, and (d) the Applicant shall ensure that irrigation is low water-use (drip type) to minimize water use and ensure that all plants are low water use and drought tolerant. The motion was seconded by Ms. Coffee.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee
Nays: 0

6. Staff Reports

All reports were received and filed.

Moved by Ms. Coffee, seconded by Chair Cho.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty
Nays: 0

7. Public Comment

None

8. Adjournment

Moved by Chair Cho.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty
Nays: 0

Chair Cho adjourned the meeting at 2:13 p.m.

Respectfully Submitted,

Lola Reyna
Secretary for the Design Control Board



Location of September 21, 2022 DCB Items



Old Business

4A – Parcel 50 – Waterside Shopping Center / The Shade Store

New Business

5A – Parcel 44 – Boardwalk Marina del Rey / Tesla Motors, Inc.

5B – Aligning Marina del Rey with Los Angeles County Equity Principles (marina-wide)



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Acting Chief Deputy Director

Carol Baker
Deputy Director

September 21, 2022

TO: Design Control Board

FROM: Gary Jones, Director 

SUBJECT: ITEM 4A – PARCEL 50 – WATERSIDE SHOPPING CENTER / THE SHADE STORE – DCB #22-006-B – CONSIDERATION OF BUILDING MODIFICATIONS AND NEW SIGNAGE

Item 4A on your agenda is a submittal from The Shade Store (Applicant), seeking approval for building modifications and new signage at the Waterside Shopping Center. The project is located at 4716 Admiralty Way.

PROJECT OVERVIEW

Background

On July 23, 2009, your Board approved a master sign program for the Waterside Shopping Center, which included a requirement to return to your Board for review of all tenant signs. On June 15, 2022, your Board approved the Applicant's proposal for a building façade remodel, which included installation of a new awning, a black-out glass window panel, and a new tenant sign at the main entrance.

Existing Conditions

The 1,371 square foot tenant space is located within the Waterside Shopping Center and is currently operating as a retail store. The storefront features a tenant identification sign and black-out glass window that was previously approved by your Board.

Proposed Project

The Applicant proposes to remodel the building façade and install one new tenant sign.

BUILDING DESIGN

Building Façade

The Applicant proposes to paint the façade of the storefront facing the interior of the shopping center and the neighboring tenant's storefront. The façade would be painted *Winter Solstice* gray and the building trim would be painted *Chantilly Lace* white. Neither of the proposed paint colors is included in the Waterside Shopping Center approved color palette.



The Applicant also proposes to modify three awning canopies. The existing awning frames would remain, and the canopies would be replaced with *Sunbrella Crest Ash* colored fabric.

SIGNAGE

Building Façade

The Applicant proposes to install one illuminated wall-mounted tenant identification sign at the rear elevation, facing Admiralty Way. The sign would measure approximately 9" tall and 12'-6" wide and read "The Shade Store". The sign would feature an internally illuminated face with edge lit, white, acrylic individual letters and shimmer bronze returns. The sign would be installed approximately 15'-5½" above grade.

Illumination

All signage would be illuminated from 15 minutes prior to sundown until one hour following the closing of the last restaurant at the site, per the DCB approved sign program for the shopping center.

STAFF REVIEW

Staff finds that the improvements do not alter the overall architectural style of the shopping center and are generally consistent with the Marina del Rey Design Guidelines and the Waterside Shopping Center Master Sign Program and approved paint color palette. Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.

Staff recommends APPROVAL of DCB #22-006-B, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**

GJ:WO:jy

Project Address
The Shade Store
4762 ADMIRALTY WAY
MARINA DEL REY, CA 90292

Issue Date		
8/16/21		
Revisions		
Date	Description	By
△		
△		
△		
△		
△		

THE SHADE STORE

4762 ADMIRALTY WAY
MARINA DEL REY, CA 90292

Consultant
mb
MICHAEL R. BLACK, AIA
2225 E. RANDOL MILL RD., SUITE 300
ARLINGTON, TEXAS 76011
817.701.4819
CALIFORNIA LICENSE NO.: C26839

Seal

Job Number
210107

Drawn By
MRB

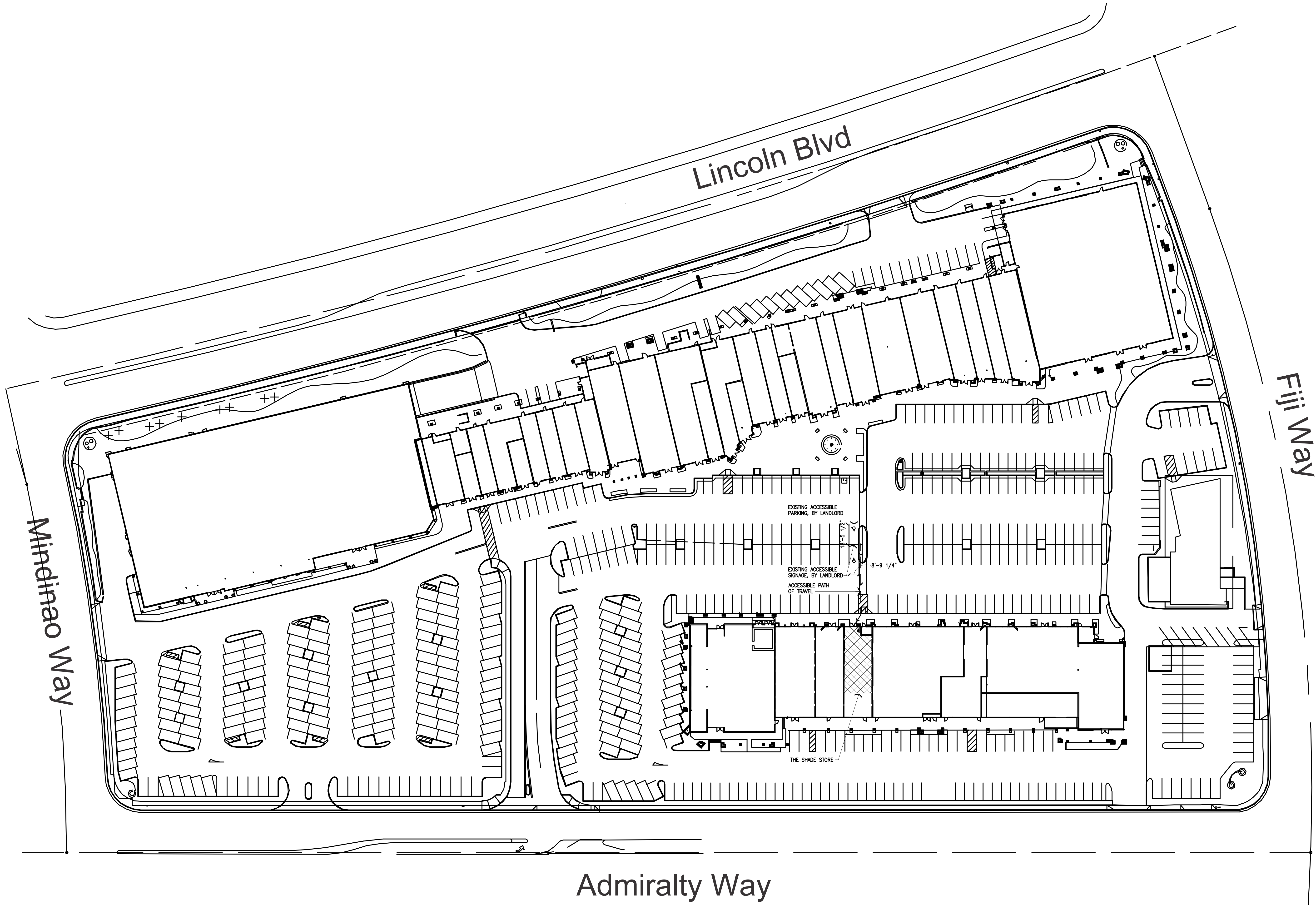
App'd By
MRB

Sheet Title

Site Plan
(For Reference Only)

Sheet Number

A-112



Revisions	Date	Description	By
△			
△			
△			
△			
△			

THE SHADE STORE
4762 ADMIRALTY WAY
MARINA DEL REY, CA 90292

Consultant
mb
MICHAEL R. BLACK, AIA
2225 E. RANDOL MILL RD., SUITE 300
ARLINGTON, TEXAS 76011
817.701.4819
CALIFORNIA LICENSE NO.: C26839

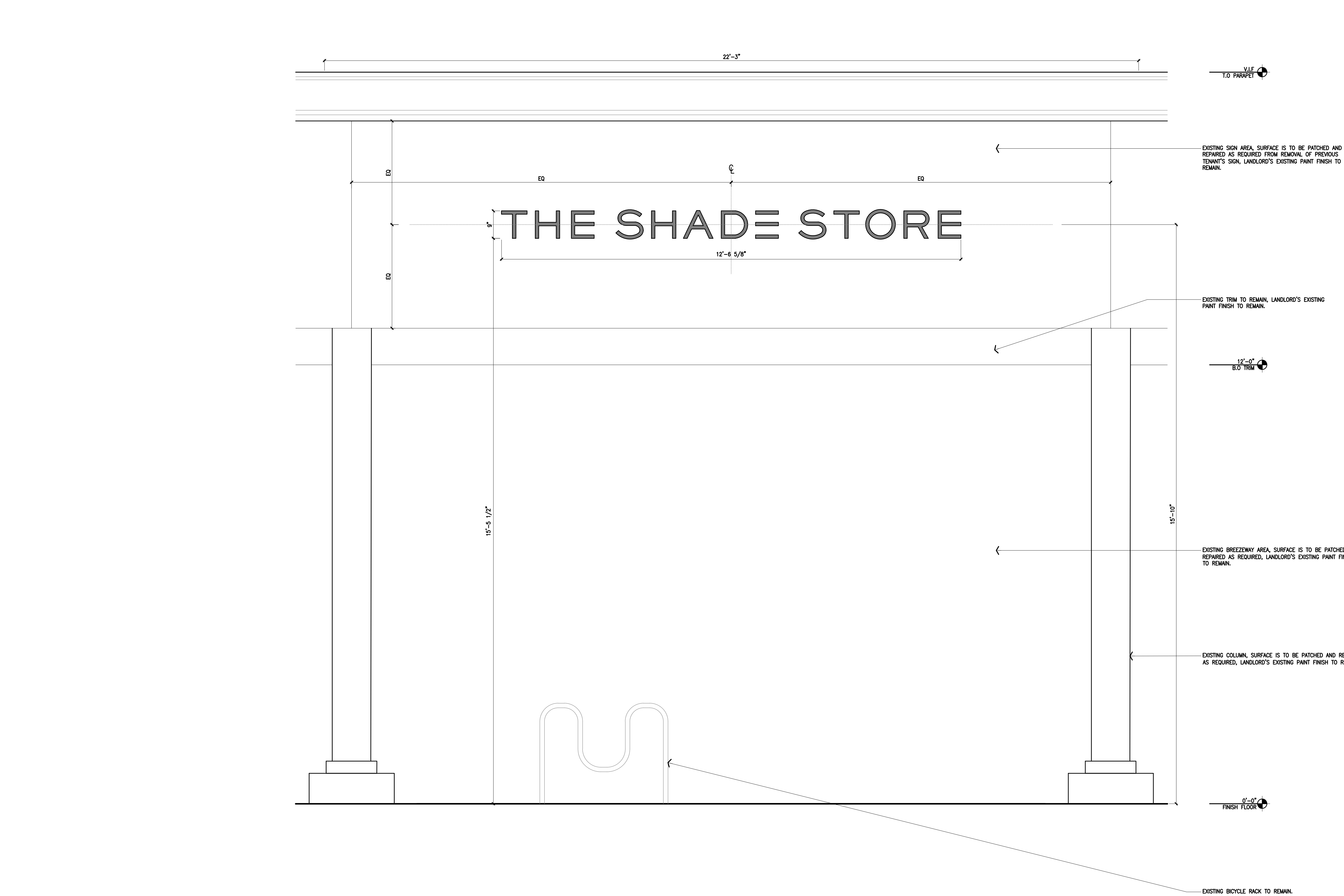
Seal

Job Number
210107
Drawn By
JES
App'd By
MRB
Sheet Title

Storefront
Elevation

Sheet Number
A-211





Project Address
The Shade Store
4762 ADMIRALTY WAY
MARINA DEL REY, CA 90292

Issue Date
8/16/21

Revisions		
Date	Description	By
△		
△		
△		
△		
△		

THE SHADE STORE
4762 ADMIRALTY WAY
MARINA DEL REY, CA 90292

Consultant
mb
MICHAEL R. BLACK, AIA
2225 E. RANDOL MILL RD., SUITE 300
ARLINGTON, TEXAS 76011
817.701.4819
CALIFORNIA LICENSE NO.: C26839

Seal

Job Number
210107
Drawn By
JES
App'd By
MRB

Sheet Title

**Storefront
Elevation**

Sheet Number

A-211B

Job Name: The Shade Store
 Mall:
 Address: 4762 Admiralty Way
 Location: Marina Del Rey, CA
 Space#:
 Print#: 50068A-0102
 S.F. Length:
 Salesperson: C. Montoya

2109 Lafayette Rd. • Ft. Oglethorpe, GA 30742 • Ph: (706) 866-7999 • Sales Fx: (706) 866-4400

VICTORY
 SIGN INDUSTRIES



18.77 SQFT

Rear Elevation

Change Order # A B C D E F

Released	Initial	Time
Opening		
Ship/Trip		
Install		
Target		
Commit		

Special Instructions:

Exterior

Qty: 1

Faces & Returns: Painted Bronze Shimmer Satin

LEDs: White 4200K


Letter Stroke: 1 1/2"

Voltage 110V 277V

Fascia Const:

Fascia Color:

This design and drawing shown is the property of Victory Sign Industries, Ltd.
 No transmittal or disclosure shall be made to any person, firm or corporation
 without prior written approval.

This Product is Listed by
 UNDERWRITERS LABORATORIES INC. 
 and Bears the Mark:

INSTALL IN ACCORDANCE WITH
 THE NATIONAL ELECTRICAL CODE.

12' -6 5/8"

9" THE SHADE STORE

Reverse Channel Halo Lit Letters

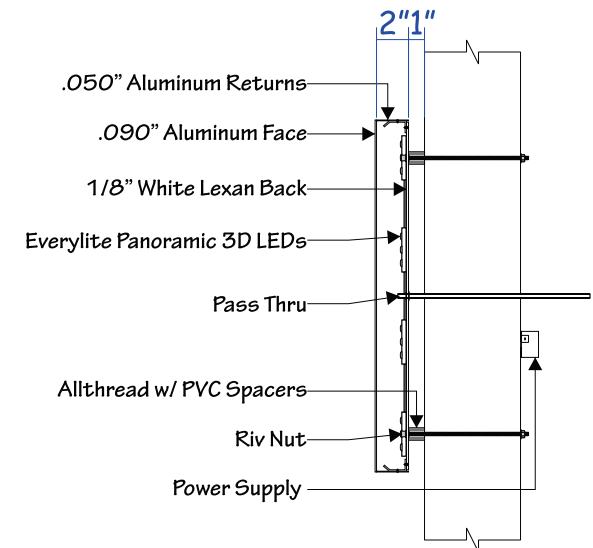
- Weep holes must be baffled.
- All attachments, fasteners, screws and labels must be concealed.

Customer Approval

Signature Date

Landlord Approval

Signature Date



Date: 8/31/2022

By: DM/NR

Scale: 3/8" = 1'

VSI Prints: 50068A-0102

Page 3 of 5



THE SHADE STORE

4762 Admiralty Way
Marina Del Rey, California 90292
August 2022

Job Name: The Shade Store
Mall:
Address: 4762 Admiralty Way
Location: Marina Del Rey, CA
Space#:
Print#: 50068A-0100 Elev B
S.F. Length:
Salesperson: C. Montoya

2109 Lafayette Rd. • Ft. Oglethorpe, GA 30742 • Ph: (706) 866-7999 • Sales Fx: (706) 866-4400

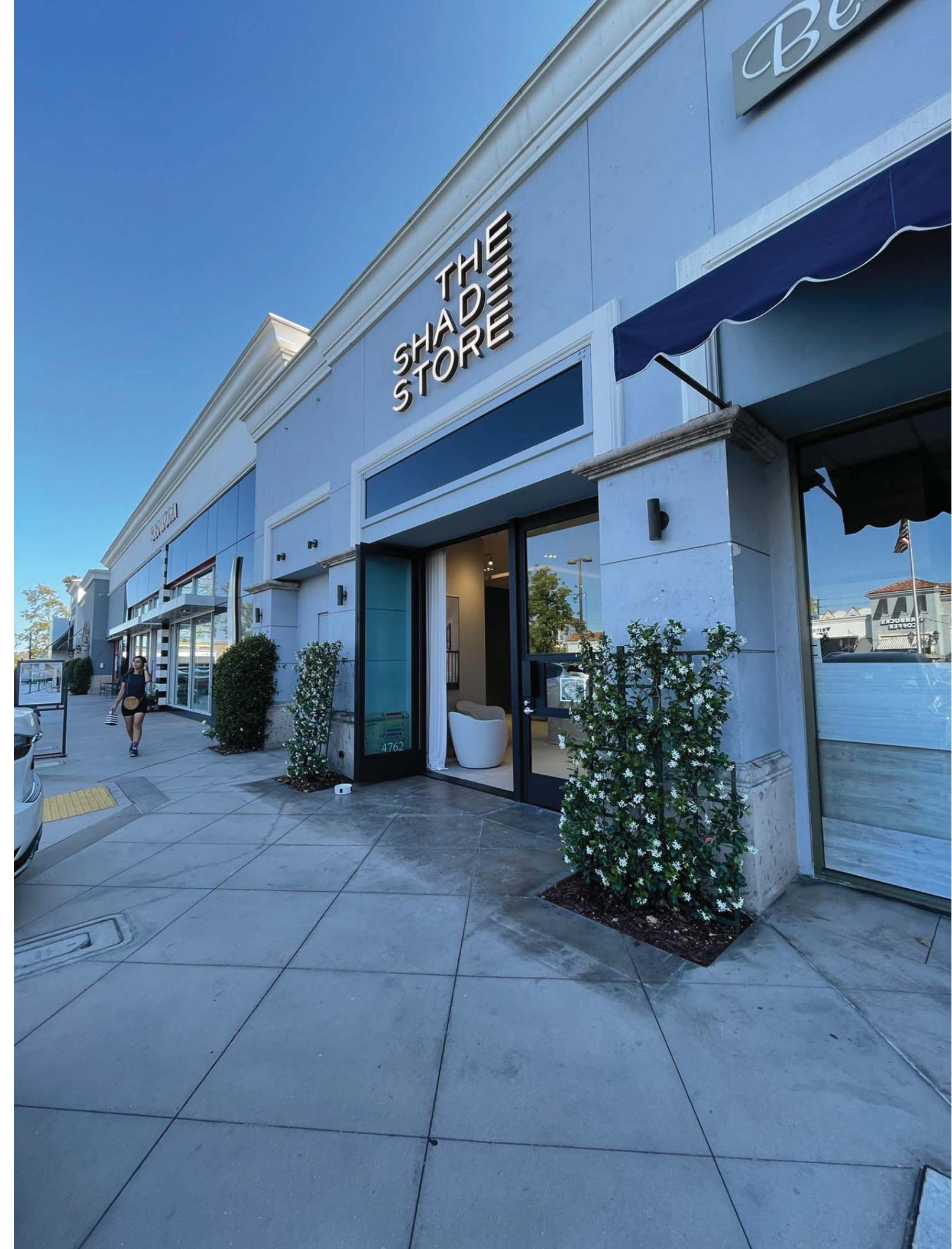
Sign Elevation

VICTORY
SIGN INDUSTRIES



THE SHADORE





THE
SHADE
STORE

Bella CLEANERS

4760

4762





Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Acting Chief Deputy Director

Carol Baker
Deputy Director

September 21, 2022

TO: Design Control Board

FROM: Gary Jones, Director 

SUBJECT: ITEM 5A – PARCEL 44 – PACIFIC MARINA VENTURE, LLC / TESLA MOTORS, INC. – DCB # 22-011 – CONSIDERATION OF TESLA SUPERCHARGING STATION

Item 5A on your agenda is a submittal from Tesla Motors, Inc. (Applicant), seeking approval for a Tesla electric vehicle Supercharger station and associated improvements at the Parcel 44 shopping center. The project is located at 4625 Admiralty Way.

PROJECT OVERVIEW

Existing Conditions

Parcel 44 consists of approximately 8.39 landside acres and 4.68 waterside acres. The landside portion has frontages on Admiralty Way, Mindanao Way, and Bali Way. Currently, Parcel 44 is developed as the "Boardwalk Marina del Rey" shopping center, which consists of eight buildings with a total area of 82,652 square feet. The site includes Marine Commercial, Boat Storage and Visitor-Serving/Convenience Commercial uses, in addition to two outdoor plazas with tiered stadium seating, waterfront views, outdoor dining, and adjacent anchorage. All uses at the site are served by surface parking lots, which contain a total of 462 parking spaces.

Proposed Project

The applicant proposes to install ten electric vehicle charging posts and associated equipment in the parking lot of the Parcel 44 shopping center.

SITE DESIGN

Electric Vehicle Chargers

The Applicant proposes to install a Tesla Supercharger station consisting of ten charging posts, three electrical cabinets, one main switchgear, and one utility transformer, all located in the existing shopping center parking lot facing Admiralty Way.

Charging posts would be 3' wide by 5½' tall, with a depth of 2', and rectangular shaped with a hollow center. The posts would be solid white with the Tesla logo and an interior trim color of dark red. The interior of the charging posts would also contain task light LEDs. The switchgear and all of the electrical cabinets would be installed in existing



landscaped areas along Admiralty Way, resulting in no parking stall loss. Each electrical cabinet would be 4' wide by 7' tall, with a depth of 3'. The switchgear would be 7' wide by 8' tall, with a depth of 3'. The transformer would be 7' wide by 6½' tall, with a depth of 6'. The Applicant also proposes to install seven red concrete barrier bollards around the transformer and switchgear.

In addition, the Applicant proposes to paint a 4" wide white transverse striping pattern on the ground to establish an accessible passenger path from the two ADA parking stalls to a new concrete curb ramp with truncated domes. The Applicant also proposes to remove a portion of an existing block wall adjacent to the proposed charging posts and relocate an adjacent light pole within the same vicinity to accommodate the electrical cabinets.

Landscaping

The transformer and associated concrete pad would be installed in an existing landscaped area along Admiralty Way. As a result, one existing *Phoenix Dactylifera* 'Medjool' Date Palm tree would be removed and replaced within the same vicinity with the same tree type and size as outlined in the DCB approved master landscape palette for the site. An additional 450 square feet of existing landscaped area would be removed to accommodate the project.

SIGNAGE

Informational Signs

The Applicant proposes to install eight post-mounted and two light pole-mounted signs that would read "Vehicle Charging" in white text with a Tesla logo against a red background. The Applicant also proposes to install one pole-mounted sign to denote ADA accessibility. All signs would measure 1' wide by 1'-6" tall and would be installed approximately 6' above grade. All sign faces would be composed of aluminum panels. In addition, two parking spaces would contain "EV Charging Only" ground markings.

STAFF REVIEW

Staff finds that the proposed project is generally consistent with the Marina del Rey Design Guidelines (DG). Following DCB approval, all signs are subject to review by the Los Angeles County Department of Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.

Staff recommends that all proposed bollards be painted grey consistent with the color of existing bollards located throughout Parcel 44.

Furthermore, DG. 188 notes that projects should screen and buffer antennas and on-site transformers from any public street views. The utility equipment proposed along Admiralty Way would be visible from street view. In addition, all equipment related to the project would be located in a prominent area near the main entrance of the shopping center. Staff requested that the Applicant prepare the following four utility screening options for your Board's consideration:

Option 1: No screening

For this option, the utility equipment would be installed with no screening. However, low level plants consistent with the DCB approved landscape palette for the site would be installed surrounding the utility equipment, to match prior conditions of the landscaped area.

Option 2: Shrub screening

For this option, the Applicant would screen the utility transformer and switchgear by planting screening shrubs. The Applicant would plant sixteen 7'-9" tall, 5-gallon, *Podocarpus Gracilior Fern Pine* columns to screen the transformer and switchgear. Per the Marina del Rey Land Use Plan, all development on the waterfront side of Via Marina, Admiralty Way, and Fiji Way shall provide windows to the water, wherever possible, while, at the same time, screening unsightly elements such as parking areas and trash receptacles with landscaping. In addition, all development, redevelopment or intensification on waterfront parcels, which include Parcel 44, shall provide an unobstructed view corridor of no less than 20 percent of the parcel's waterfront providing public views of the Marina boat basins and/or channels. If this screening option is selected, the shrubs would need to be regularly maintained to not block views of the water. Staff does not recommend this option as it has the potential to obstruct the existing viewshed. Furthermore, the electrical cabinets would not be screened with shrubs as there isn't enough space.

Option 3: Tree screening

For this option, the Applicant proposes screening the utility transformer and switchgear with eleven, 36" box, *Prunus Cerasifera "Krauters Vesuvuys Purple Leaf Plum"*. The proposed trees, when mature, could reach between 15'-30' in height. Staff does not recommend this option as it would obstruct the existing viewshed. Furthermore, the electrical cabinets would not be screened with trees as there isn't enough space.

Option 4: Camouflage vinyl wrap

For this option, the Applicant would extend the current landscape plan and place a camouflage vinyl wrap on the electrical cabinets, switchgear, and transformer. The proposed art wrap design would mimic the current viewpoint, which is consistent with DG. 21 as it would incorporate nautical, marina, and/or water themes to complement the Marina's waterfront setting.

Staff recommends that the Applicant screen the electrical cabinets, switchgear, and transformer with a vinyl camouflage art wrap (Option 4), as it adheres to the Marina del Rey Design Guidelines and also protects existing view corridors. In addition, the Applicant should install low level landscaping around all utilities that is consistent with the DCB approved landscape palette for the site.

Staff recommends APPROVAL of DCB #22-011, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**

GJ:WO:ca

6

5



3



1

1

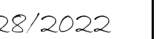
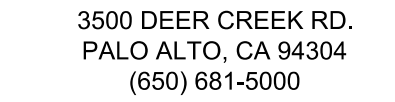
PROPERTY OWNER
CONTACT:
MIKE SELDON
MSELDEN@POM-MDR.COM

PROJECT DESIGNER:
EUIISO KIM
TESLA, INC.
3500 DEER CREEK RD.
PALO ALTO, CA 94304
(510) 946-6046
EUIKIM@TESLA.COM

ARCHITECT OF RECORD:
CHRIS MARESCA
TESLA, INC.
2204 ALBATROSS ST.
SAN DIEGO, CA 92101
P:(619) 764-8142
CMARESCA@TESLA.COM

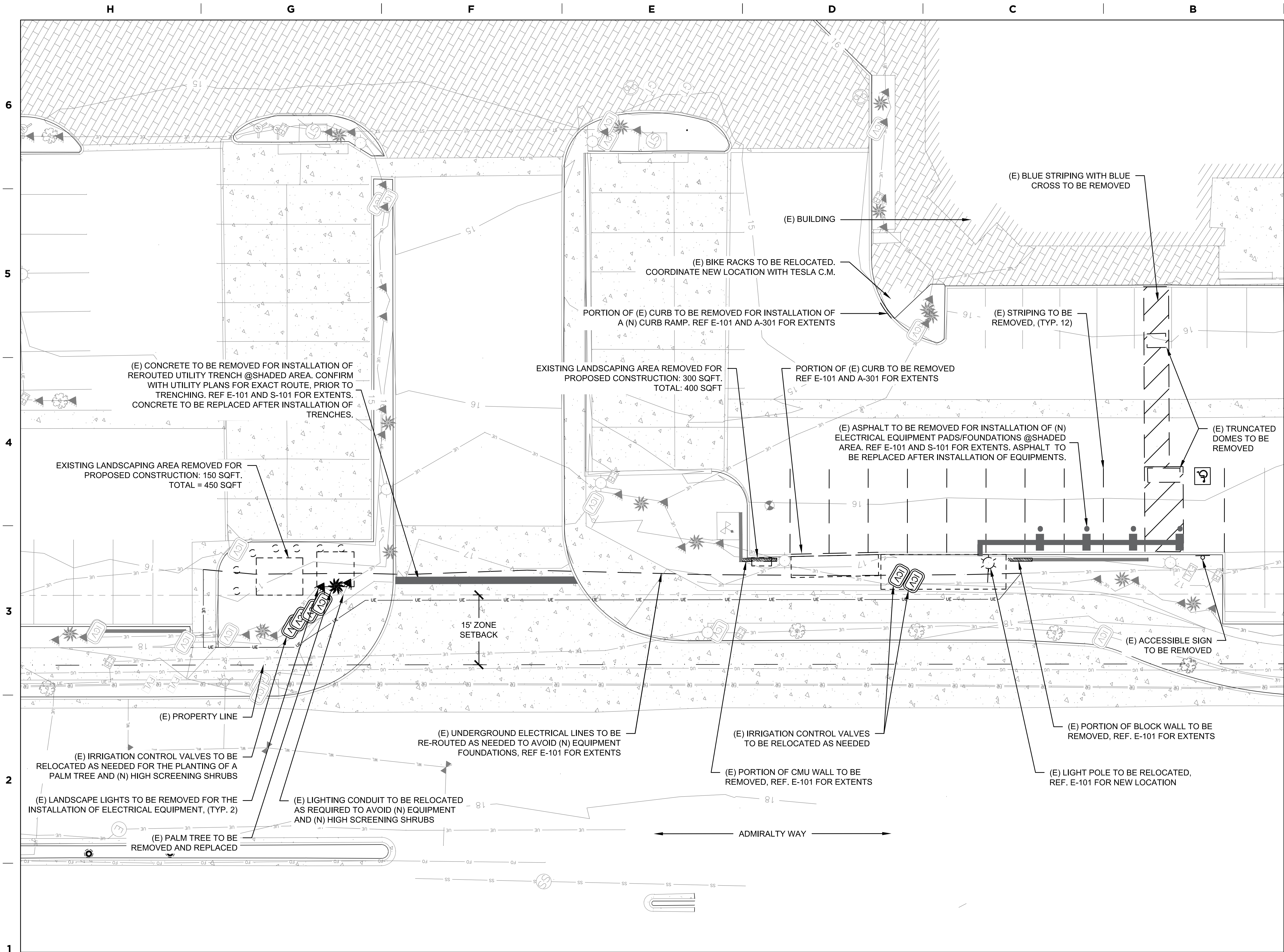
APPLICABLE CODES

- ## REFERENCED DOCUMENTS

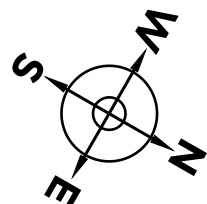
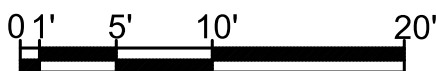
[illegible]

G-001

REV: A	IFP
--------	-----



DEMOLITION PLAN
1" = 10'-0"



NOTES

THE CONTRACTOR SHALL REFER TO THE TRENCHING DETAILS ON THE ELECTRICAL DETAILS SHEET.

THE LIMITS OF ASPHALT REMOVAL ARE SHOWN AS FOR INFORMATION ONLY AND IT SHALL BE UP TO THE CONTRACTOR TO DETERMINE THE EXACT LIMITS.

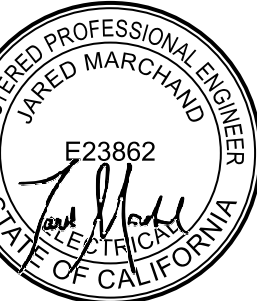
SITE LEGEND

- ANY (E) OBJECT TO BE DEMOLISHED
- ANY (E) ELEMENT TO BE REMOVED
- HARDESCAPED AREA TO BE MODIFIED



3500 DEER CREEK RD.
PALO ALTO, CA 94304
(650) 681-5000

ORIGINAL SIZE 24"x36"
SHEET SIZE ARCH "D"



TESLA SUPERCHARGER_MARINA DEL REY,CA
10 SUPERCHARGERS
TESLA SUPERCHARGER_MARINA DEL REY,CA
4637 ADMIRALTY WAY - SUITE EV,
MARINA DEL REY, CA 90292

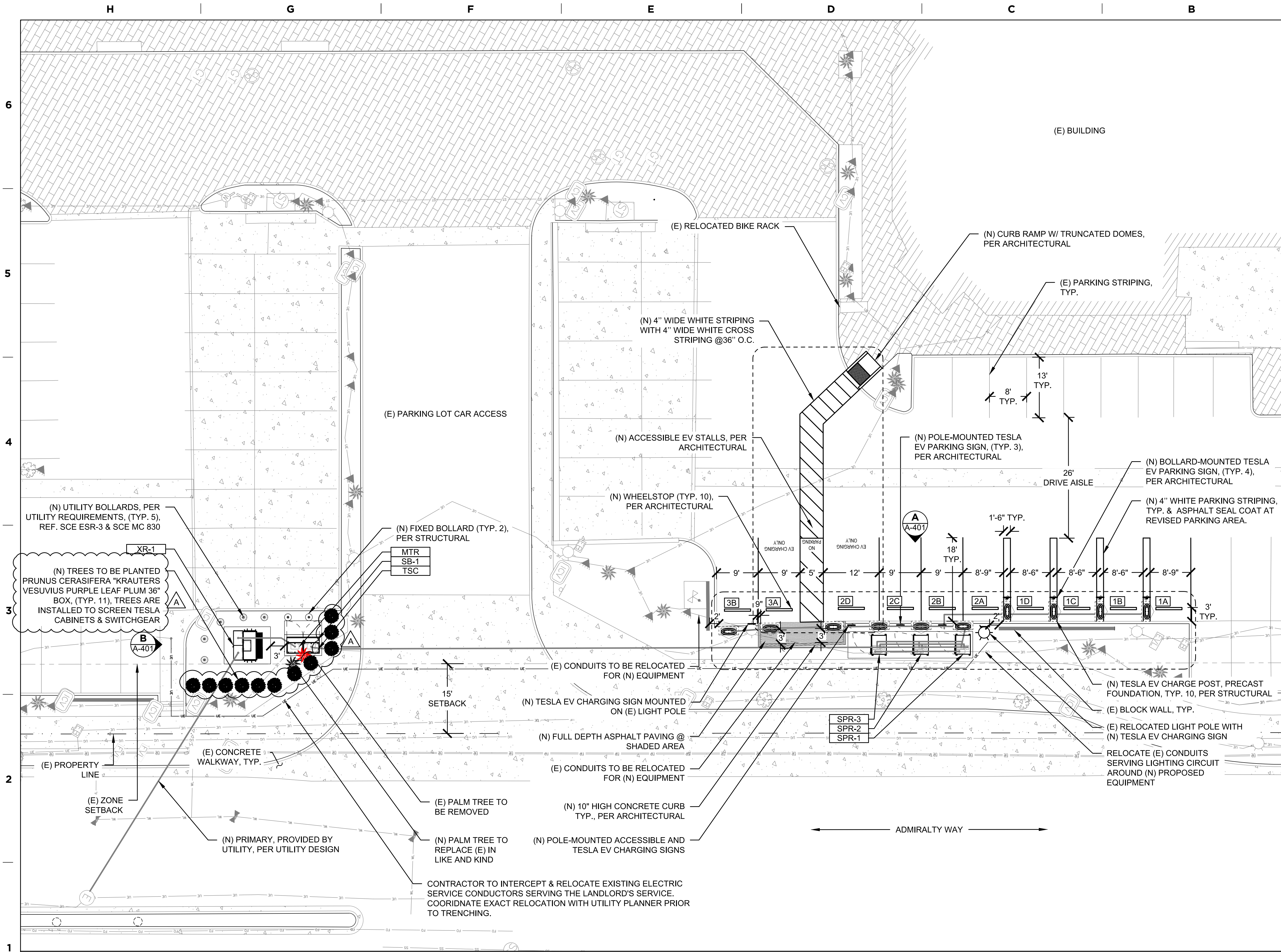
NO.	REVISION	DATE
A	LANDSCAPE PLAN	6/14/22

DEMO PLAN

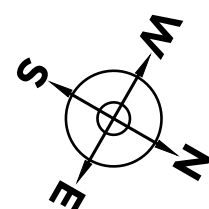
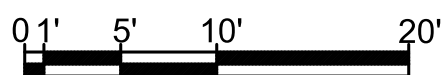
G-101

JB-9029897-00

REV: A IFP



ELECTRICAL SITE PLAN
1" = 10'-0"



EQUIPMENT TAGS

XR-#

TRANSFORMER
(PROVIDED BY UTILITY
PER UTILITY DESIGN)

SPR-#

TSC

SB-#

SWITCHBOARD

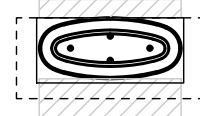
MTR

UTILITY METER

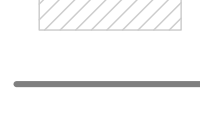
#X

SUPERCHARGER
CABINET
TESLA SITE
CONTROLLER
SUPERCHARGER POST

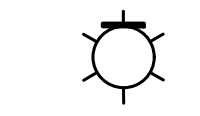
SITE LEGEND



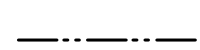
(N) SUPERCHARGER POST,
PRECAST FOUNDATION



(N) CONDUIT ROUTE,
SHOWN FOR
DIAGRAMMATIC
PURPOSES ONLY.



(N) SIGN MOUNTED ON
(E) LIGHT POLE



(E) PROPERTY LINE



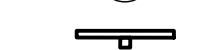
(N) FIXED BOLLARD



(N) UTILITY BOLLARD



(N) POLE-MOUNTED SIGN



(N) BOLLARD-MOUNTED
SIGN



(N) FULL DEPTH ASPHALT



(N) CONCRETE CURB

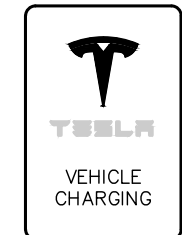
PARKING STALL SCHEDULE

EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	11
PROPOSED TESLA STALLS	10
AB1100 EV VAN CREDIT	1
NET STALL COUNT	0

CHARGING STALLS SCHEDULE

SUPERCHARGER CABINET	POST TAG	SIGN TYPE
1	1A	ENABLED
	1B	ENABLED
	1C	ENABLED
	1D	ENABLED
2	2A	ENABLED
	2B	ENABLED
	2C	ENABLED
	2D	ENABLED & ACCESSIBLE
3	3A	ENABLED
	3B	ENABLED

PARKING SIGNS, REF A501

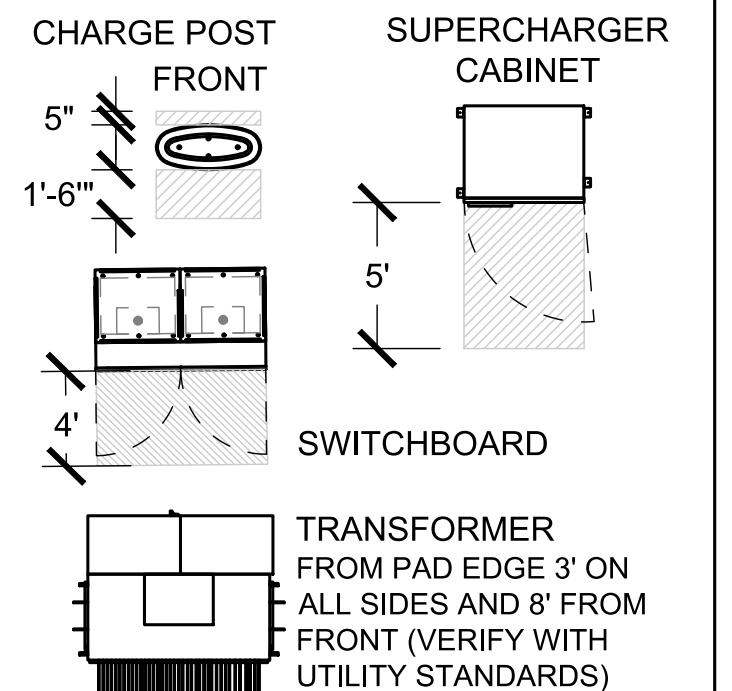


ENABLED



ACCESSIBLE

MINIMUM SERVICE
CLEARANCES



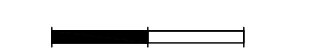
NOTES:

- UTILITY EQUIPMENT/FOUNDATION
DIMENSIONS AND LOCATIONS PER
UTILITY. CONTRACTOR TO VERIFY
AGAINST EXECUTED UTILITY DESIGN.
- UTILITY BOLLARDS PER UTILITY
REQUIREMENTS. CONTRACTOR TO
VERIFY AND COORDINATE WITH UTILITY
ON LOCATION, QUANTITY, AND SPECS.
- CONTRACTOR TO REFER TO EXECUTED
UTILITY DESIGN FOR PRIMARY AND
POINT OF CONNECTION DETAILS.

TESLA

3500 DEER CREEK RD.
PALO ALTO, CA 94304
(650) 661-5000

ORIGINAL SIZE 24"X36"
SHEET SIZE ARCH "D"



6/28/2022

TESLA SUPERCHARGER_MARINA DEL REY,CA
10 SUPERCHARGERS
TESLA SUPERCHARGER_MARINA DEL REY,CA
4637 ADMIRALTY WAY - SUITE EV,
MARINA DEL REY, CA 90292

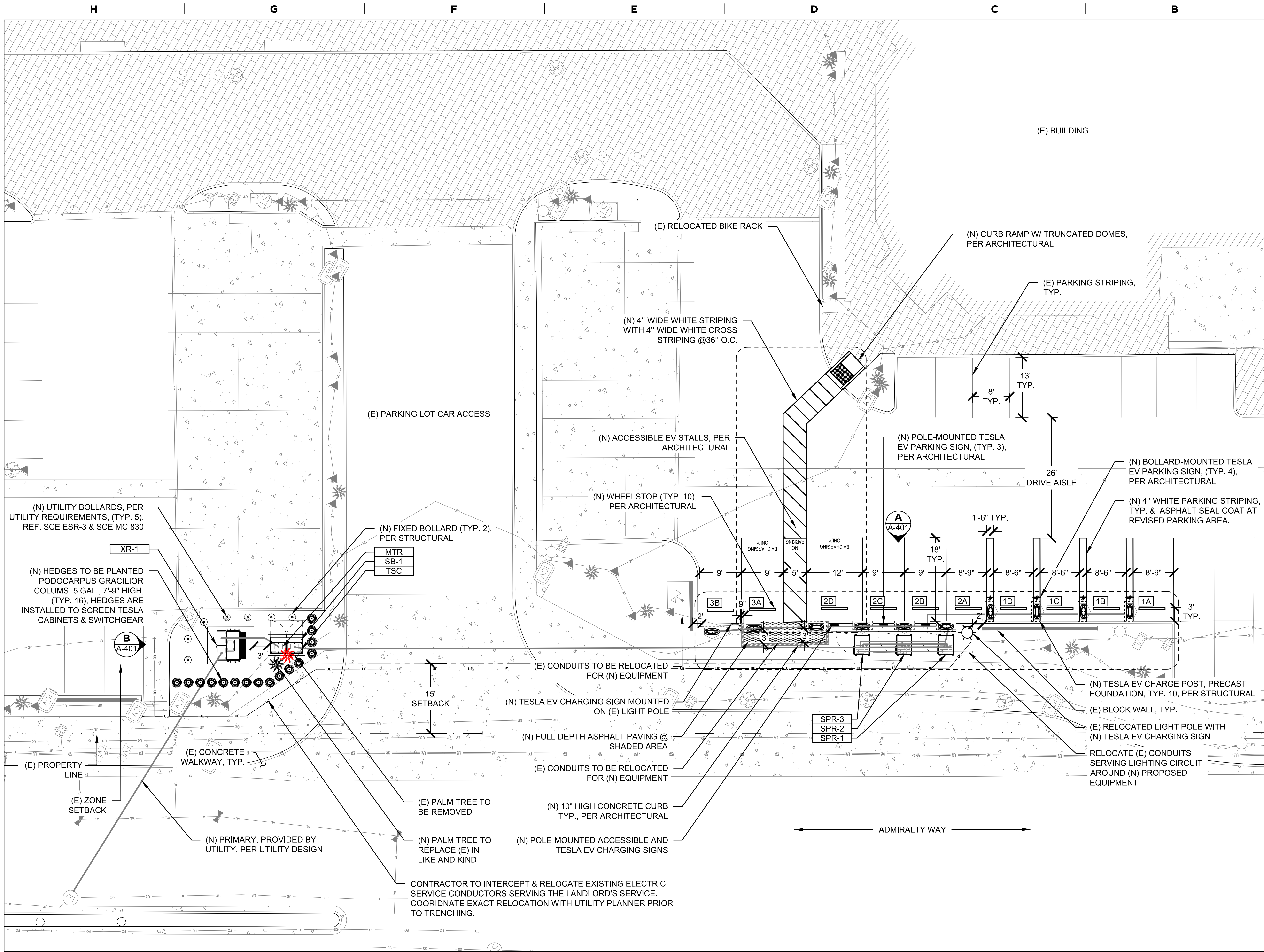
NO.	REVISION	DATE
A	LANDSCAPE PLAN	6/14/22

SITE PLAN

E-101

JB-9029897-00

REV: A IFP



SITE LEGEND

(N) SUPERCHARGER POST, PRECAST FOUNDATION

(N) CONDUIT ROUTE, SHOWN FOR DIAGRAMMATIC PURPOSES ONLY.

(N) SIGN MOUNTED ON (E) LIGHT POLE

(E) PROPERTY LINE

(N) FIXED BOLLARD

(N) UTILITY BOLLARD

(N) POLE-MOUNTED SIGN

(N) BOLLARD-MOUNTED SIGN

(N) FULL DEPTH ASPHALT

(N) CONCRETE CURB

PARKING STALL SCHEDULE

EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	11
PROPOSED TESLA STALLS	10
AB1100 EV VAN CREDIT	1
NET STALL COUNT	0

CHARGING STALLS SCHEDULE

SUPERCHARGER CABINET	POST TAG	SIGN TYPE
1	1A	ENABLED
	1B	ENABLED
	1C	ENABLED
	1D	ENABLED
2	2A	ENABLED
	2B	ENABLED
	2C	ENABLED
	2D	ENABLED & ACCESSIBLE
3	3A	ENABLED
	3B	ENABLED

PARKING SIGNS, REF A501

ENABLED

ACCESSIBLE

MINIMUM SERVICE CLEARANCES

CHARGE POST FRONT

5'

1'-6"

4'

SUPERCHARGER CABINET

5'

SWITCHBOARD

4'

TRANSFORMER FROM PAD EDGE 3' ON ALL SIDES AND 8' FROM FRONT (VERIFY WITH UTILITY STANDARDS)

NOTES:

- UTILITY EQUIPMENT/FOUNDATION DIMENSIONS AND LOCATIONS PER UTILITY. CONTRACTOR TO VERIFY AGAINST EXECUTED UTILITY DESIGN.
- UTILITY BOLLARDS PER UTILITY REQUIREMENTS. CONTRACTOR TO VERIFY AND COORDINATE WITH UTILITY ON LOCATION, QUANTITY, AND SPECS.
- CONTRACTOR TO REFER TO EXECUTED UTILITY DESIGN FOR PRIMARY AND POINT OF CONNECTION DETAILS.

ELECTRICAL SITE PLAN

1" = 10'-0"

EQUIPMENT TAGS

XR-#

TRANSFORMER (PROVIDED BY UTILITY PER UTILITY DESIGN)

SB-#

SWITCHBOARD

MTR

UTILITY METER

SPR-#

SUPERCHARGER CABINET

TSC

TESLA SITE CONTROLLER

#X

SUPERCHARGER POST

PLOT DATE: 6/28/2022 11:43 AM MARISOLIS

PROPRIETARY AND CONFIDENTIAL

3500 DEER CREEK RD.
PALO ALTO, CA 94304
(650) 681-5000

ORIGINAL SIZE 24"x36"
SHEET SIZE ARCH "D"

6/28/2022

TESLA SUPERCHARGER_MARINA DEL REY,CA
10 SUPERCHARGERS

TESLA SUPERCHARGER_MARINA DEL REY,CA
4637 ADMIRALTY WAY - SUITE EV,
MARINA DEL REY, CA 90292

NO.	REVISION	DATE
A	LANDSCAPE PLAN	6/14/22

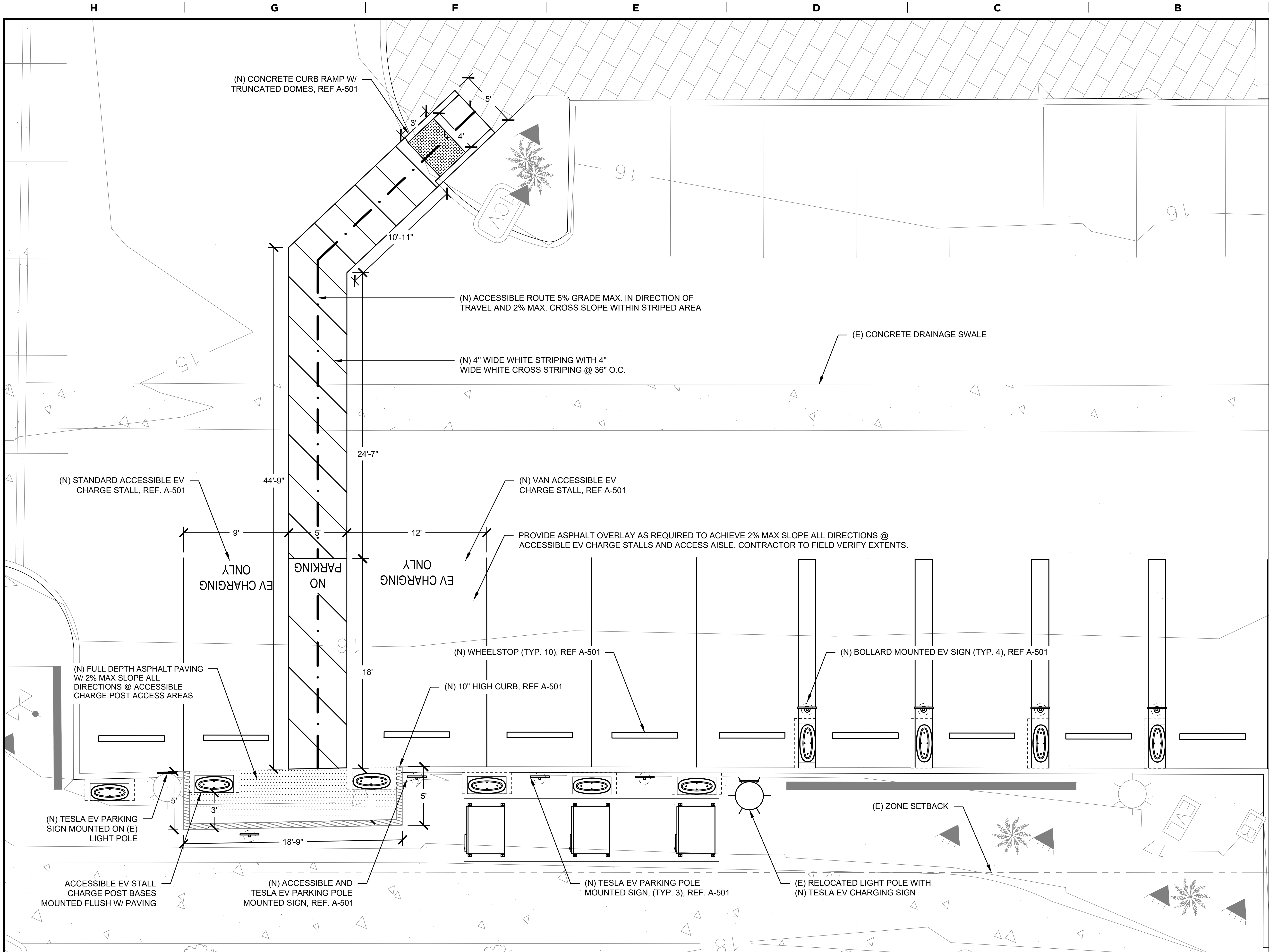
SITE PLAN

E-101

JB-9029897-00

REV: A

IFP



SITE LEGEND

(N) ACCESSIBLE ROUTE

(N) SUPERCHARGER POST

(N) POLE-MOUNTED SIGN

(N) SIGN MOUNTED ON (E) LIGHT POLE

(N) BOLLARD-MOUNTED SIGN

(N) CONCRETE CURB

(N) FULL DEPTH ASPHALT

EV CHARGE STALL SCHEDULE

EV CHARGE STALLS PROPOSED				10
ADA EV STALL TYPE	CAR	VAN	AMBULATORY	
STALLS REQUIRED	1	1	0	
STALLS PROPOSED	1	1	0	

BASED ON CBC TABLE 11B-228.3.2.1

NOTES

CODE COMPLIANCE:
ALL WORK SHALL BE INSTALLED IN COMPLIANCE WITH CALIFORNIA BUILDING CODE. APPLICABLE CODE ARE AS STATED.

ACCESSIBLE STALLS
STANDARD: 11B-812.6.2
VAN: 11B-812.6.1
AMBULATORY: 11B-812.6.3
ACCESS AISLE: 11B-812.7
ACCESSIBLE ROUTE: 11B-812.5
ISA SIGNAGE: 11B-812.8
ADA SURFACE MARKINGS: 11B-812.9

ACCESSIBLE PARKING PLAN

1/4" = 1'-0"

0

1'

2'

4'

8'

W

N

E

S

TESLA

3500 DEER CREEK RD.
PALO ALTO, CA 94304
(650) 681-5000

ORIGINAL SIZE 24"x36"
SHEET SIZE ARCH "D"

LICENSED ARCHITECT
DAVIDSON T. MARSA
C-32449
REN. 05/31/23

Date:
03/29/22

Signed

TESLA SUPERCHARGER_MARINA DEL REY,CA
10 SUPERCHARGERS

TESLA SUPERCHARGER_MARINA DEL REY,CA
4637 ADMIRALTY WAY - SUITE EV,
MARINA DEL REY, CA 90292

DATE

NO.

REVISION

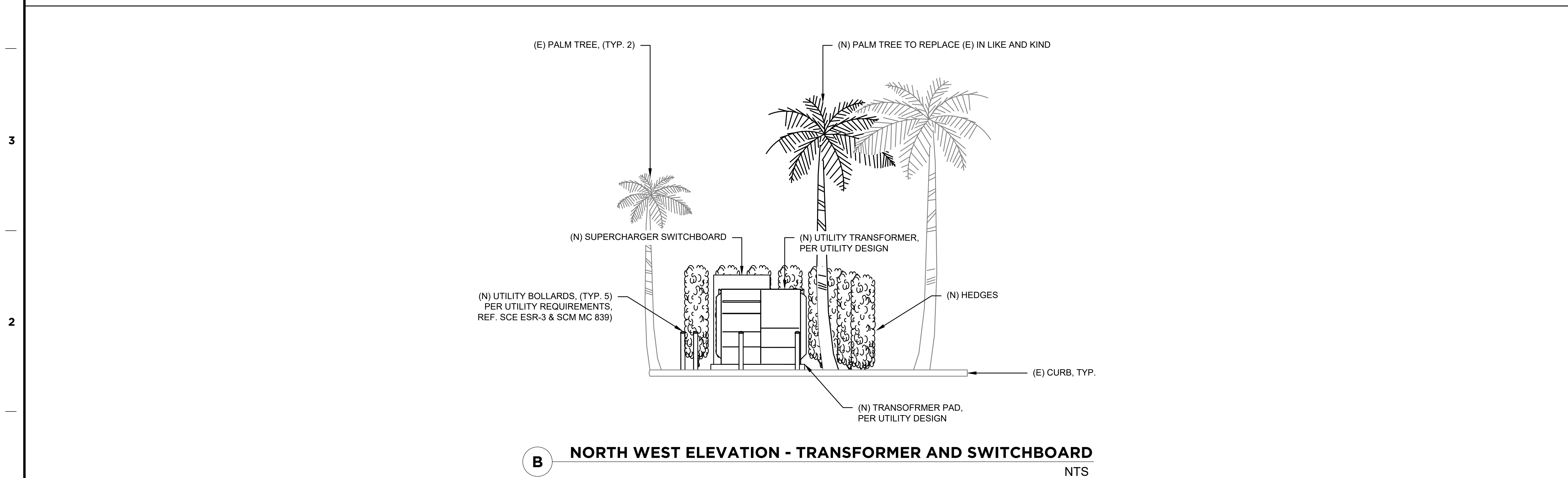
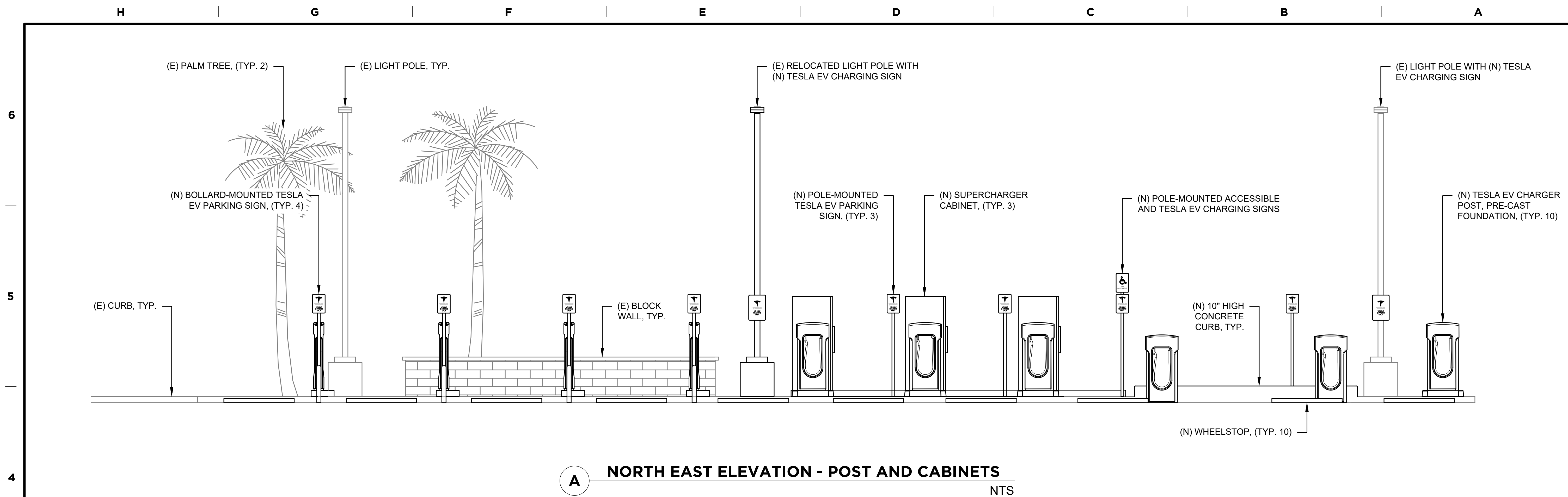
ACCESSIBLE
PARKING
PLAN

A-301

JB-9029897-00

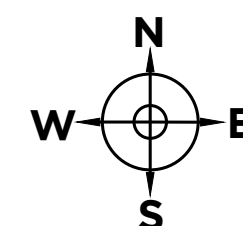
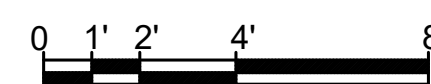
REV: 0

IFP



PARKING ELEVATIONS

1/4" = 1'-0"



PLOT DATE: 3/28/2022 1:25 PM MARISOLIS

PROPRIETARY AND CONFIDENTIAL



3500 DEER CREEK RD.
PALO ALTO, CA 94304
(650) 681-5000

ORIGINAL SIZE 24"X36"
SHEET SIZE ARCH "D"



TESLA SUPERCHARGER_MARINA DEL REY,CA
10 SUPERCHARGERS

TESLA SUPERCHARGER_MARINA DEL REY,CA
4637 ADMIRALTY WAY - SUITE EV,
MARINA DEL REY, CA 90292

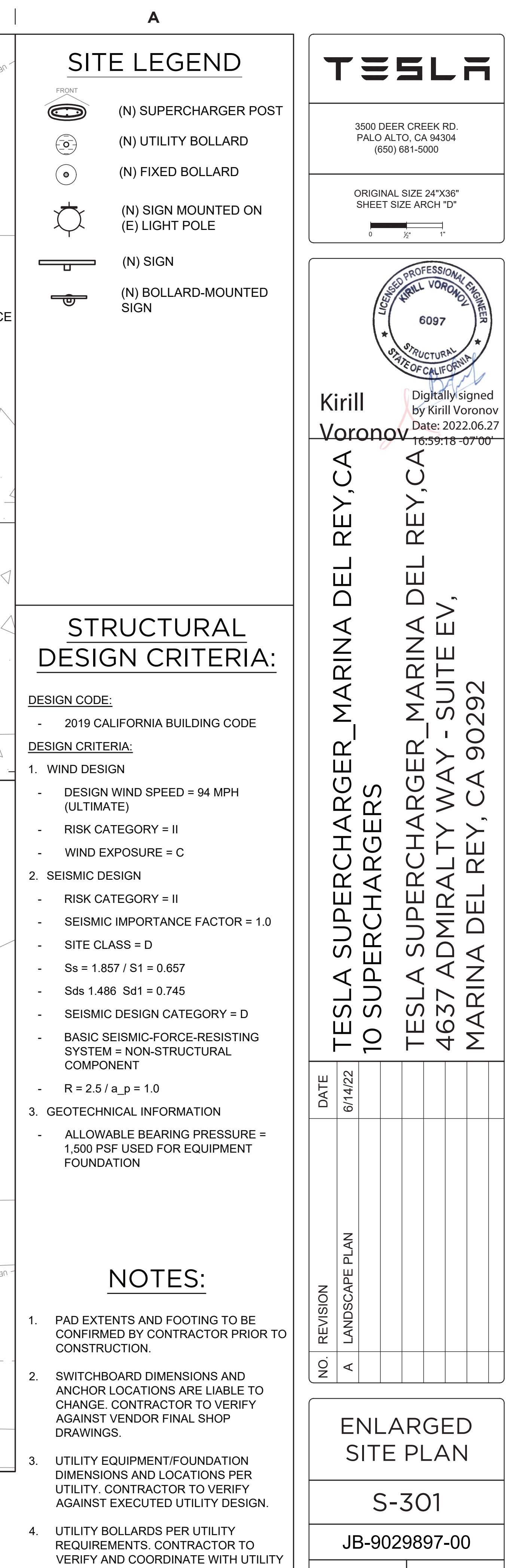
[illegible]

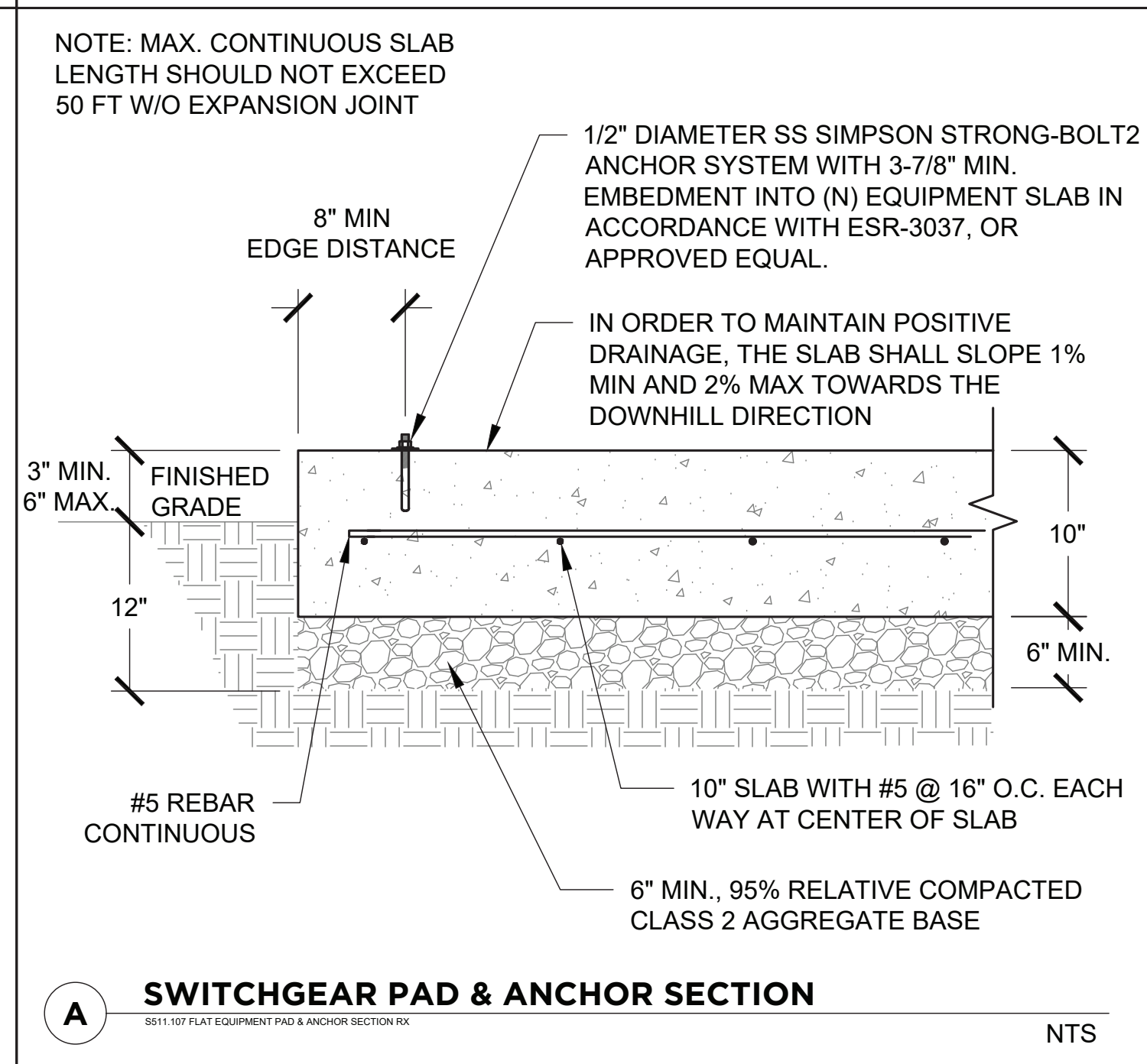
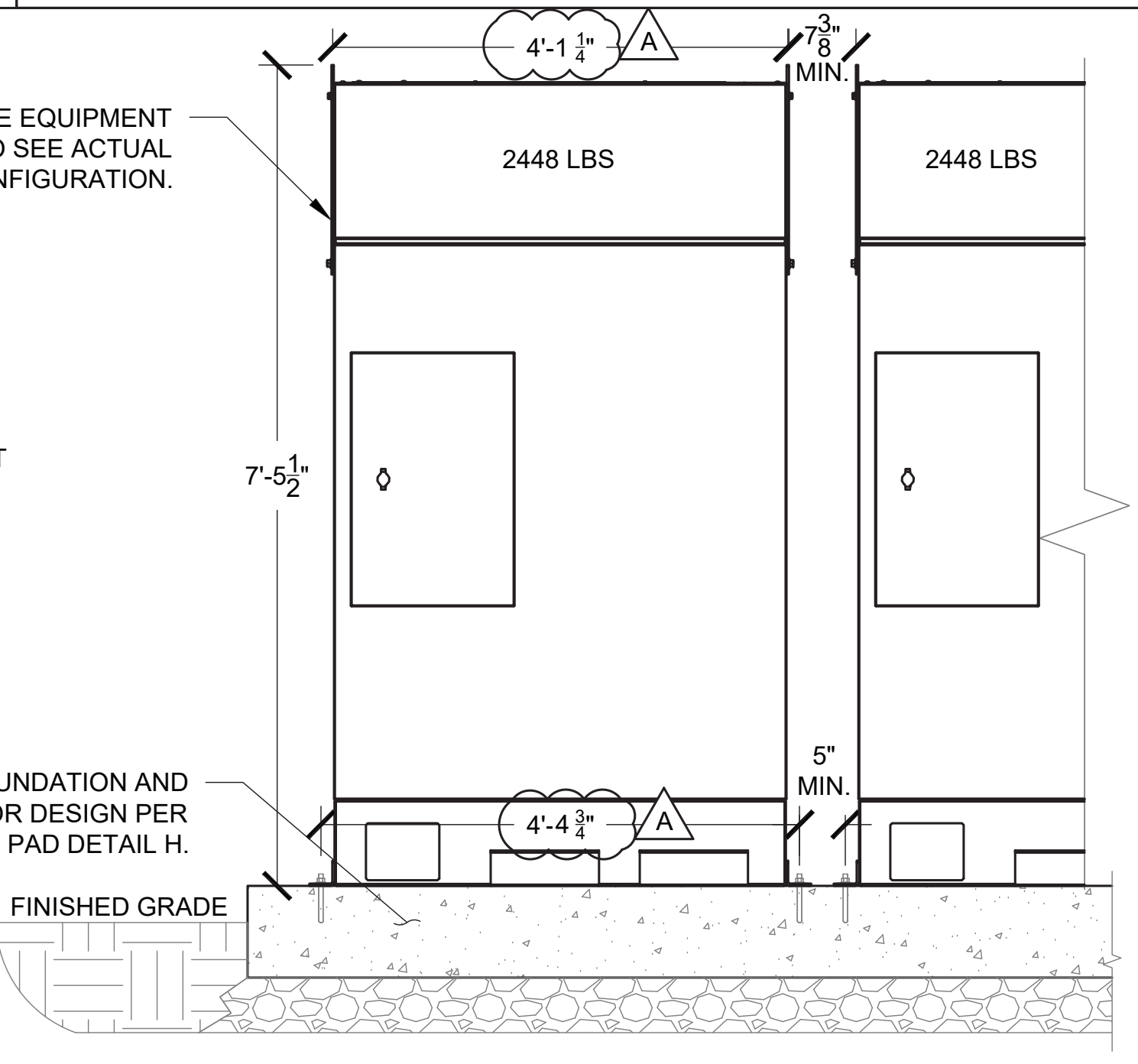
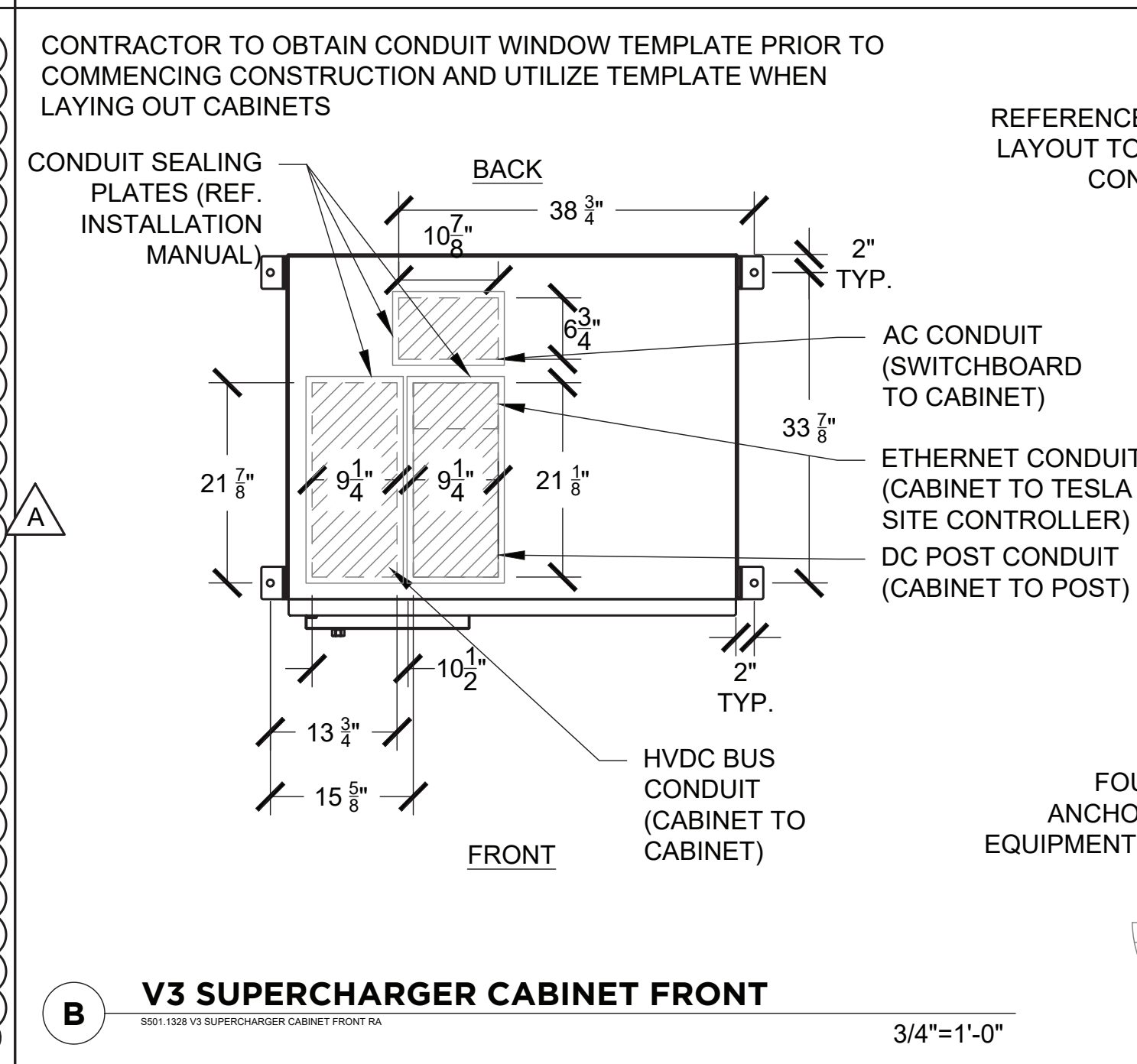
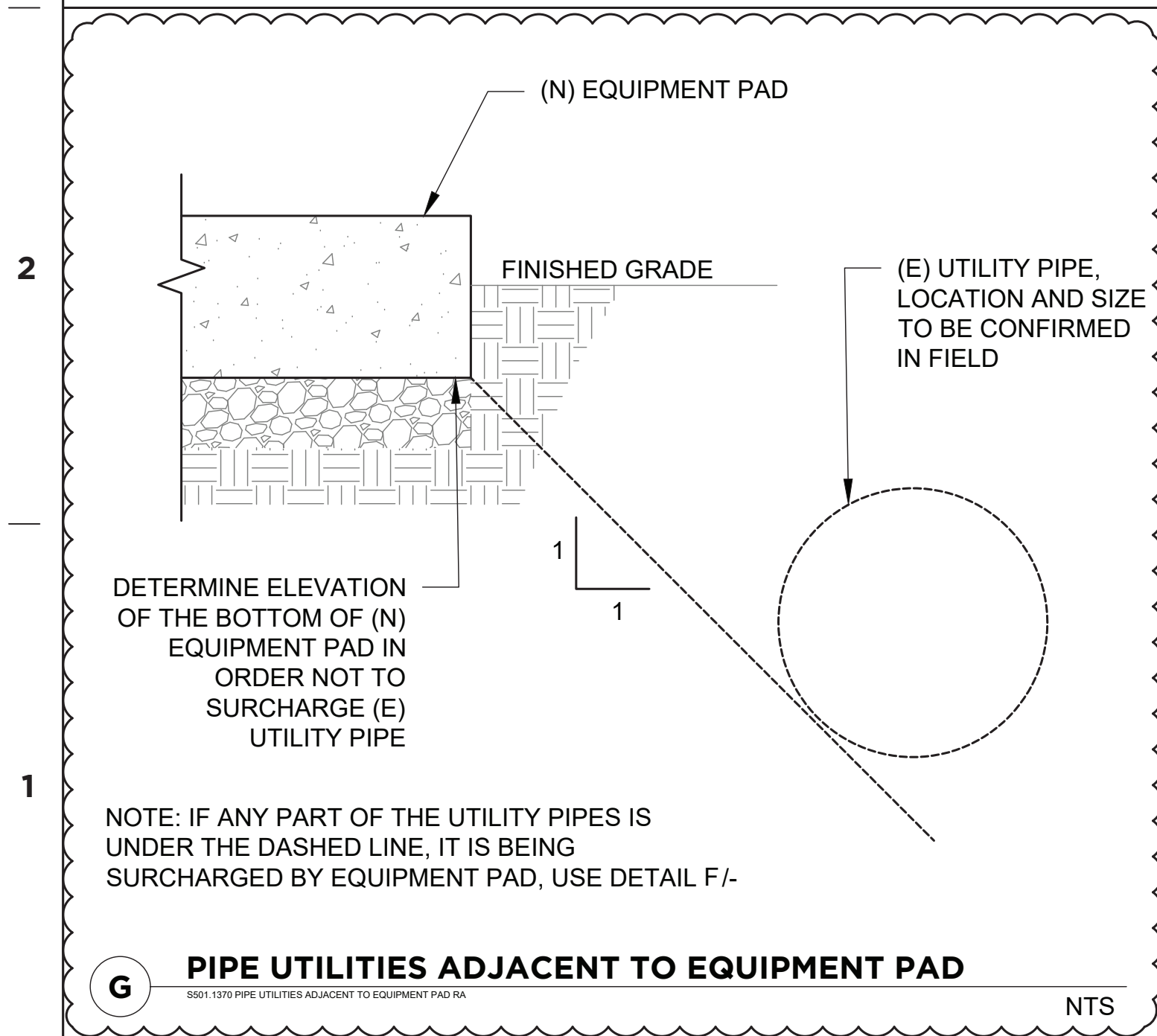
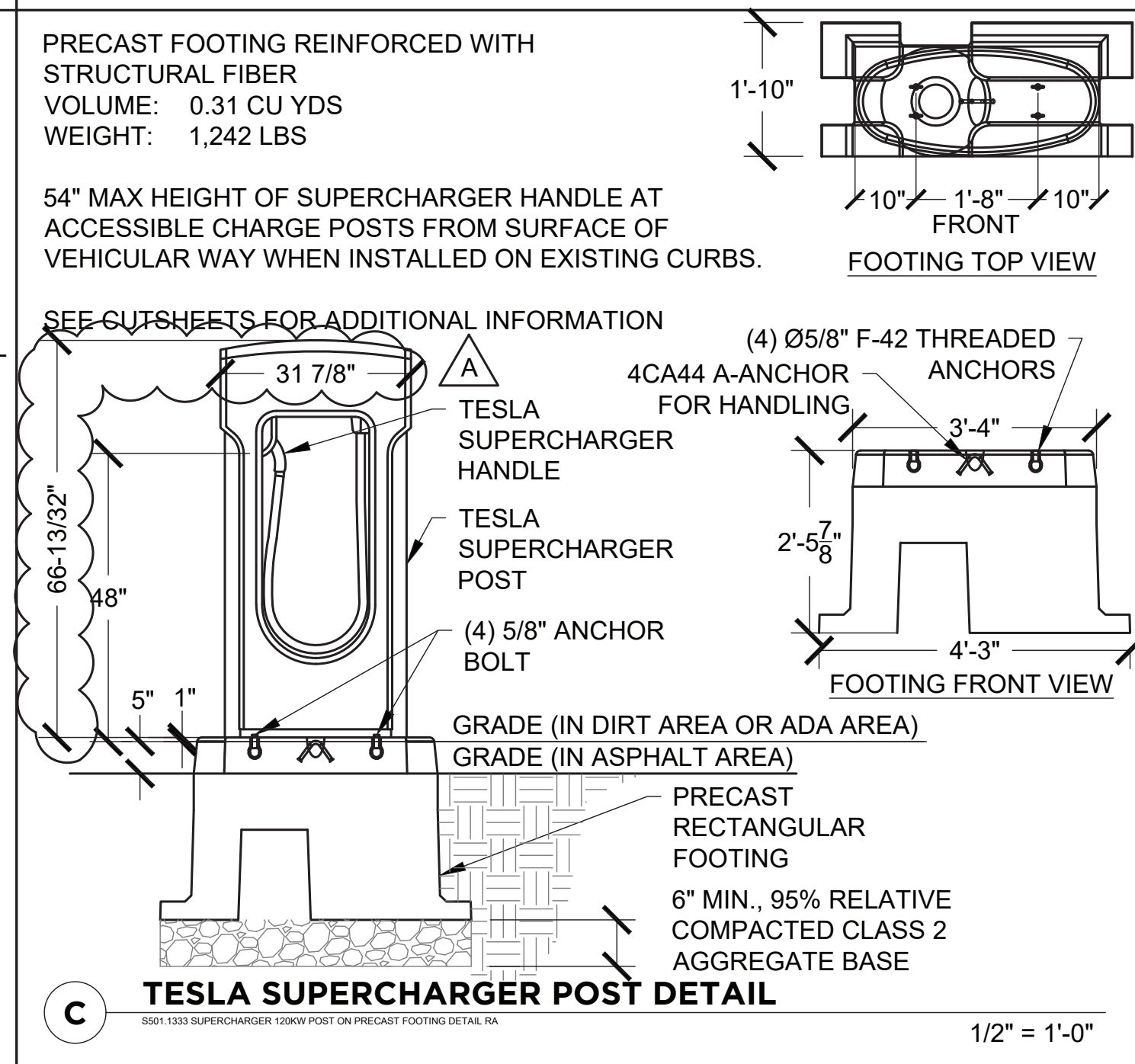
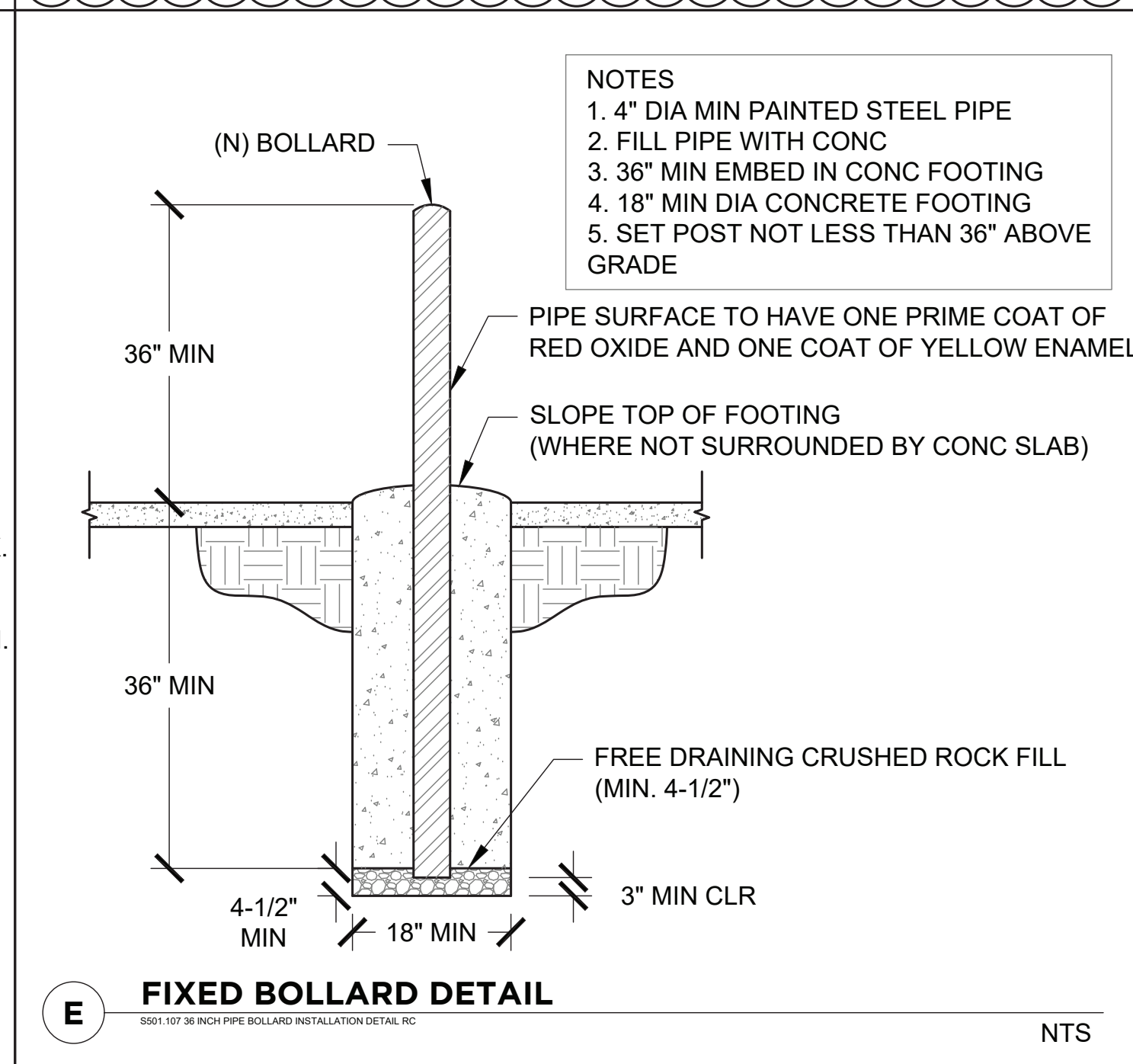
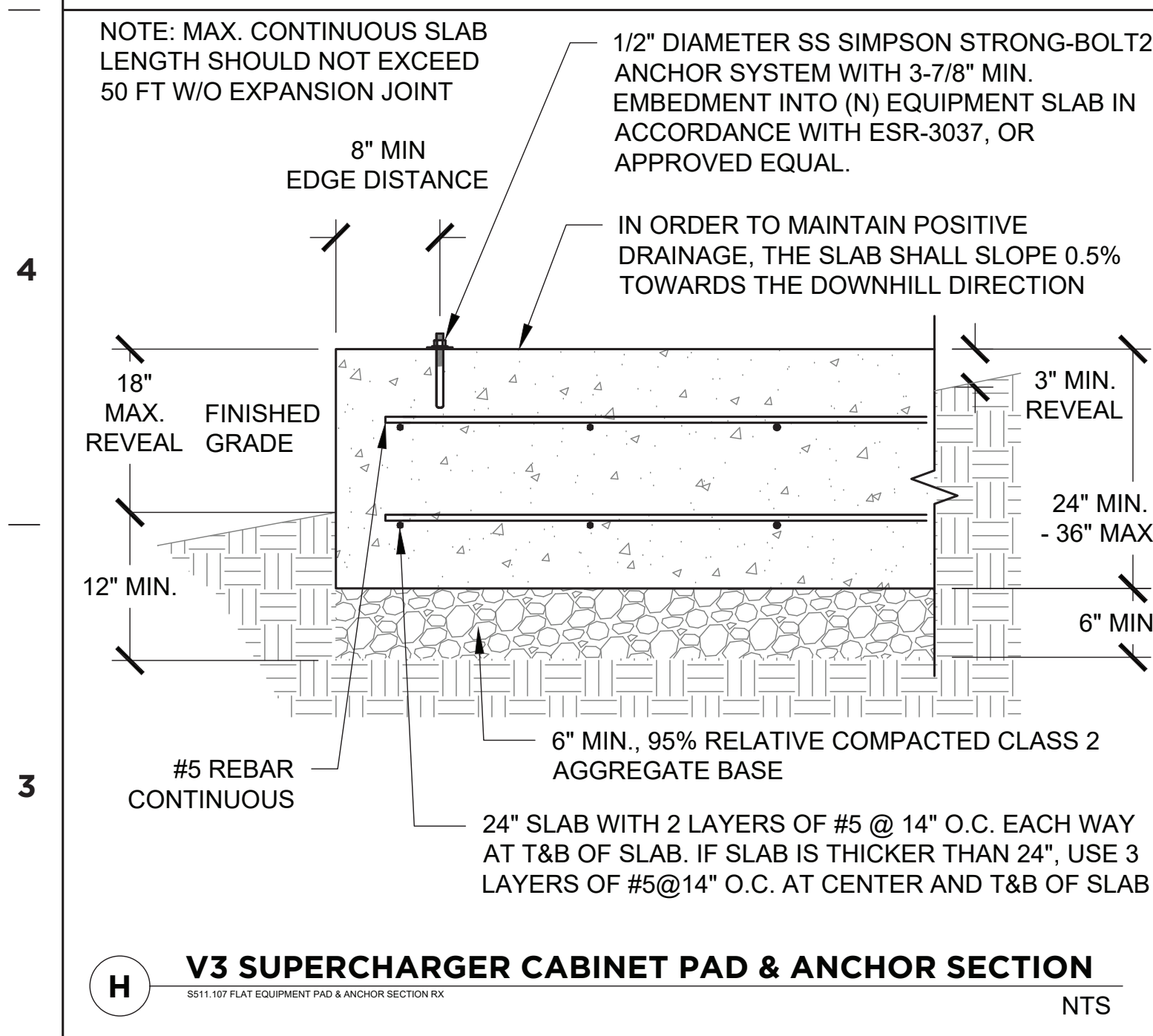
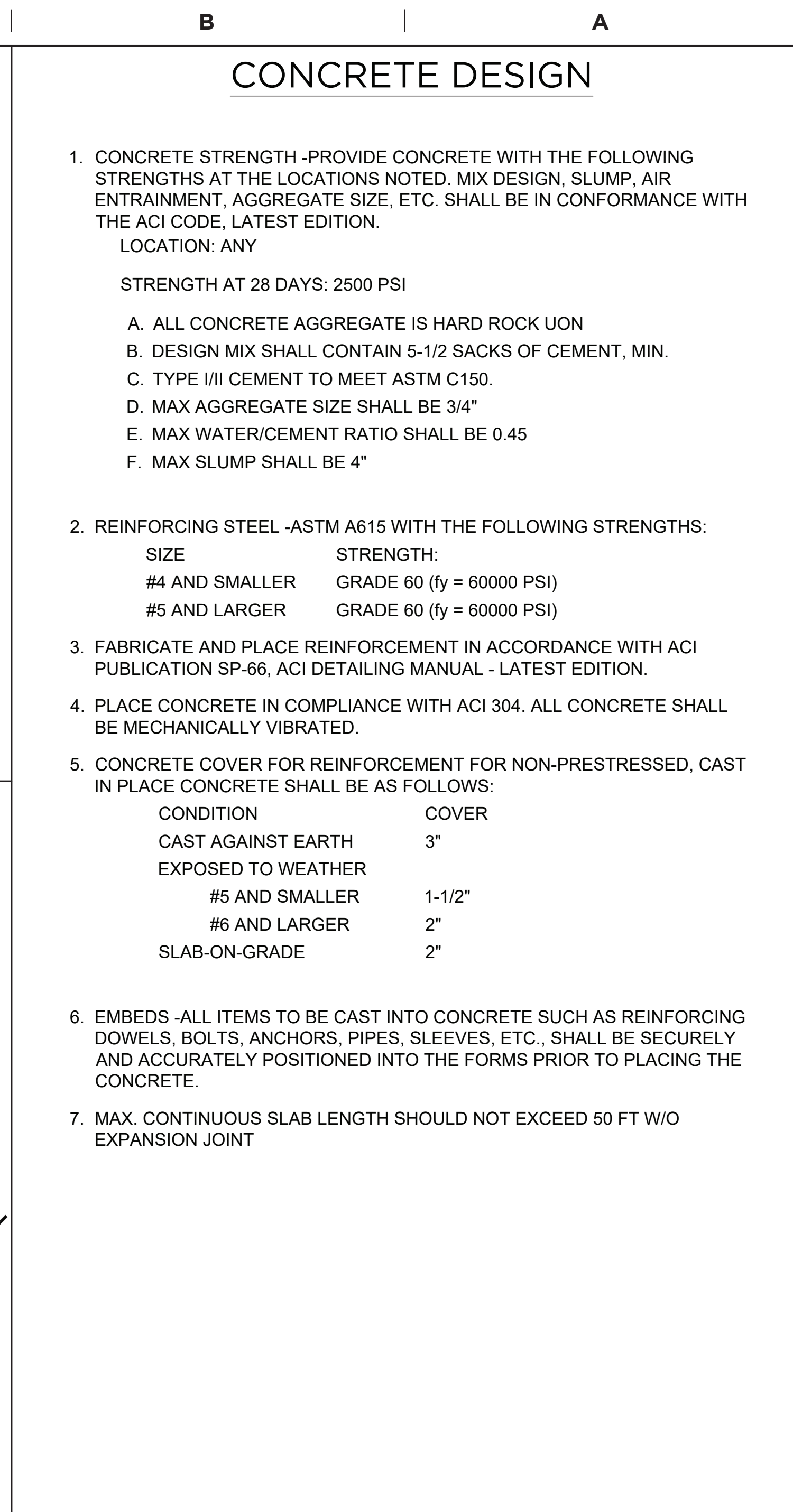
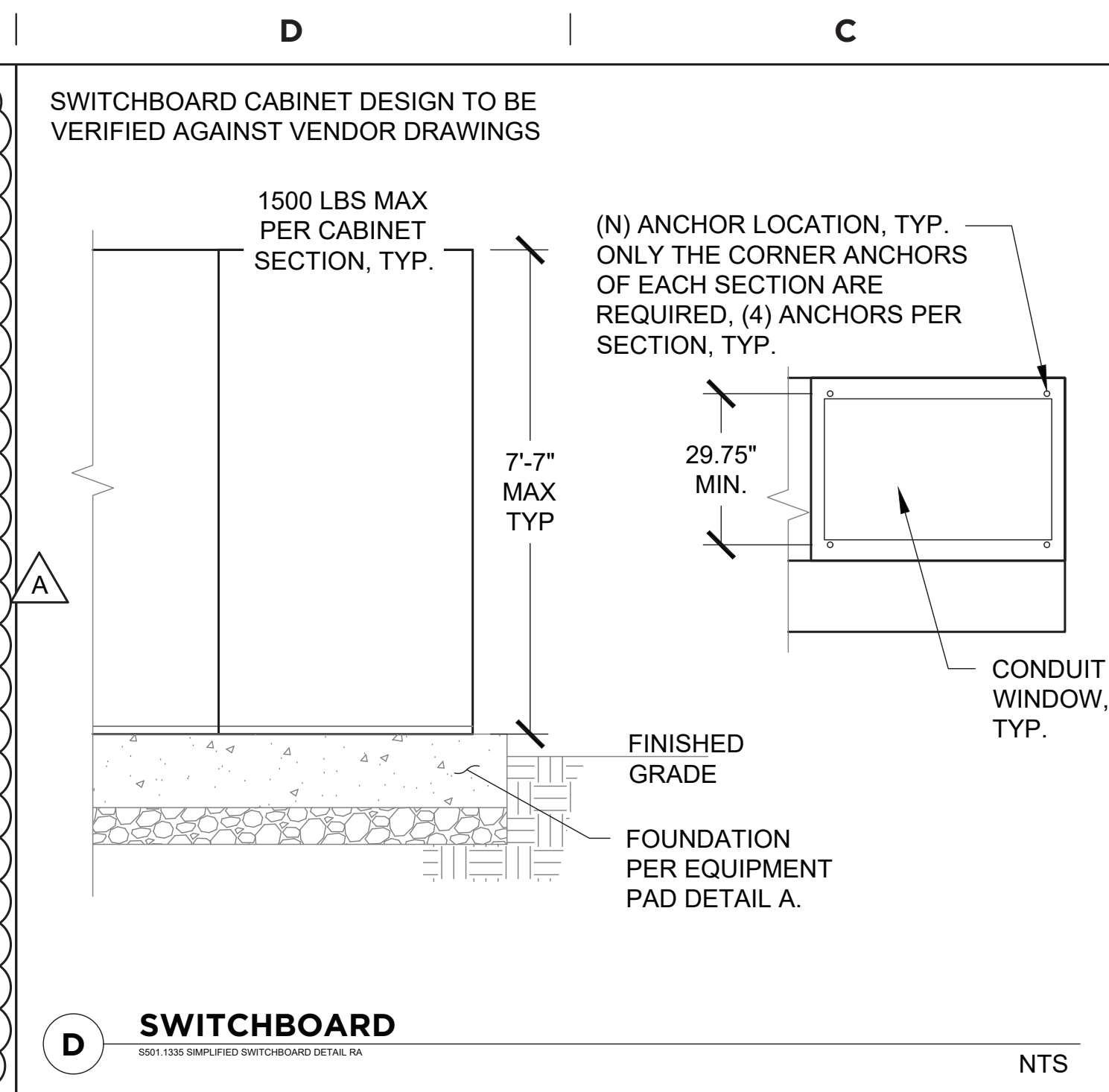
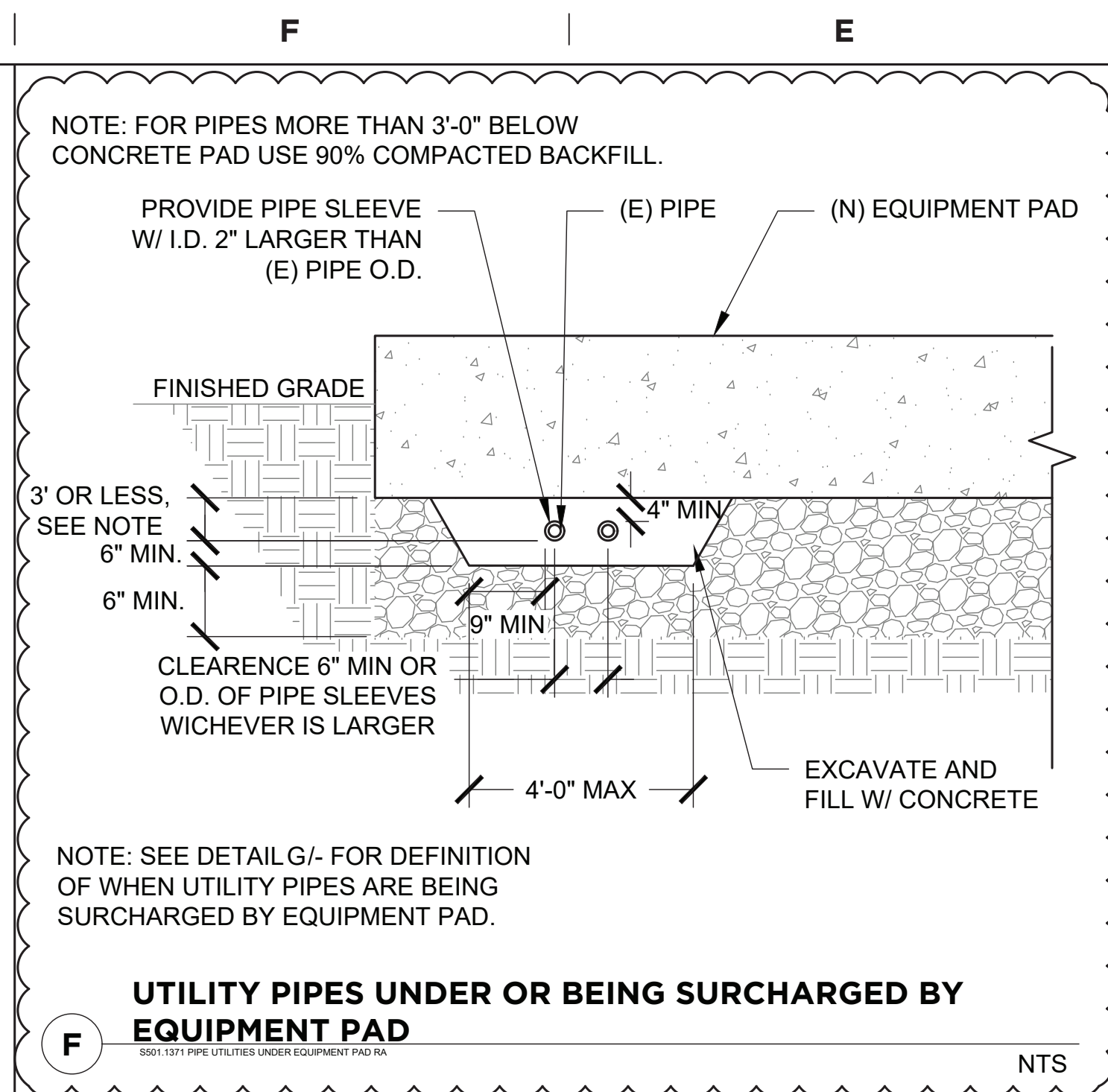
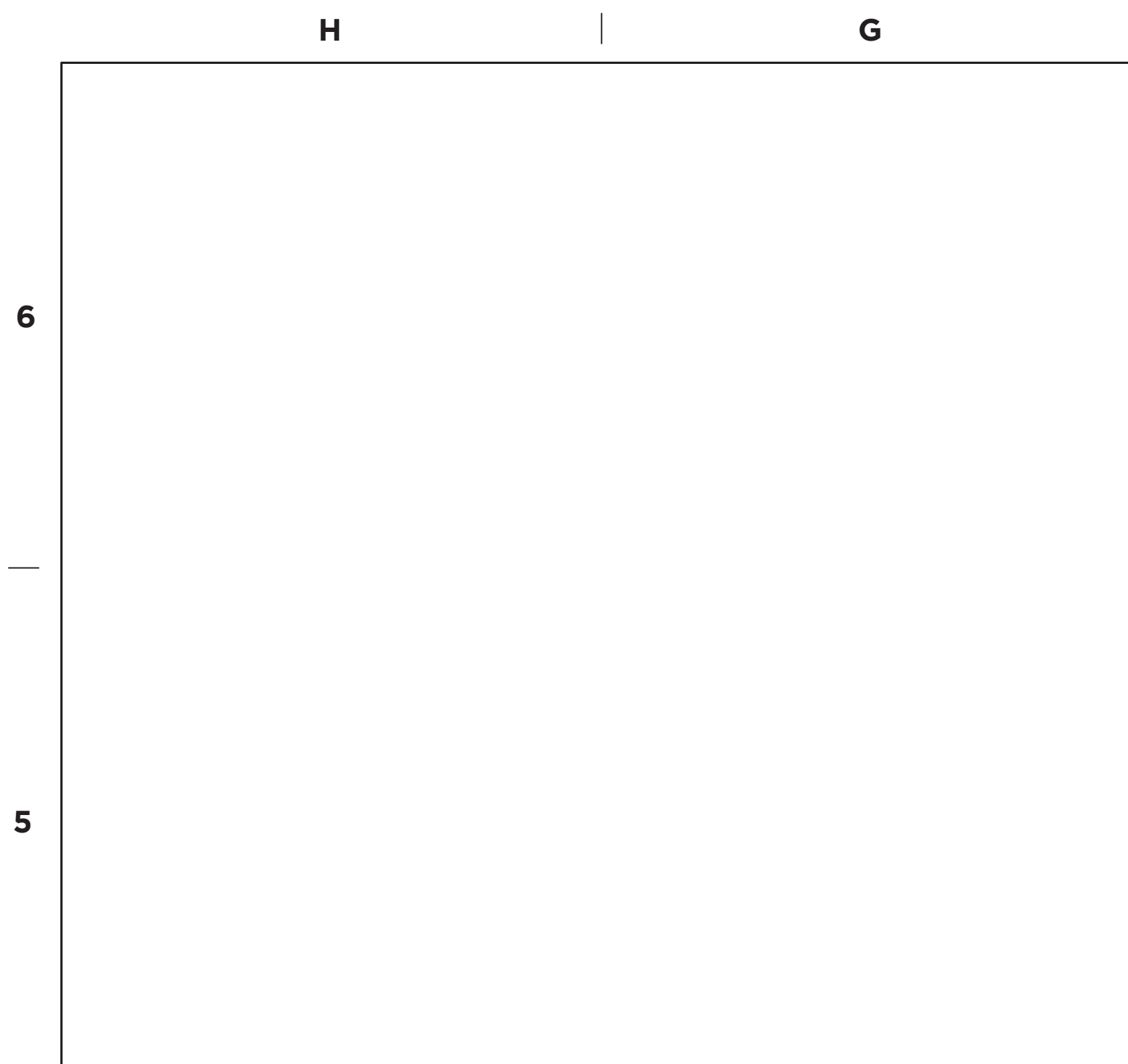
ELEVATIONS

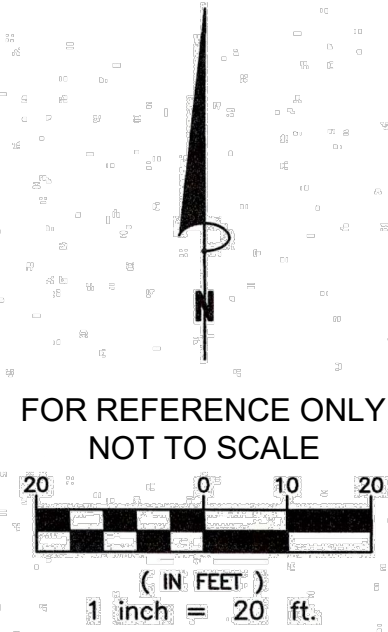
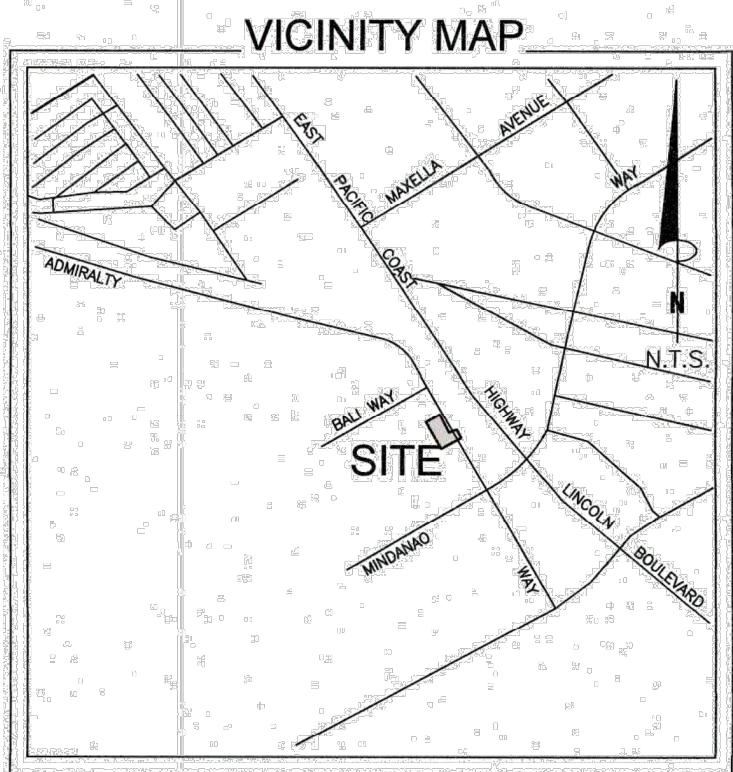
A-401

JB-9029897-00

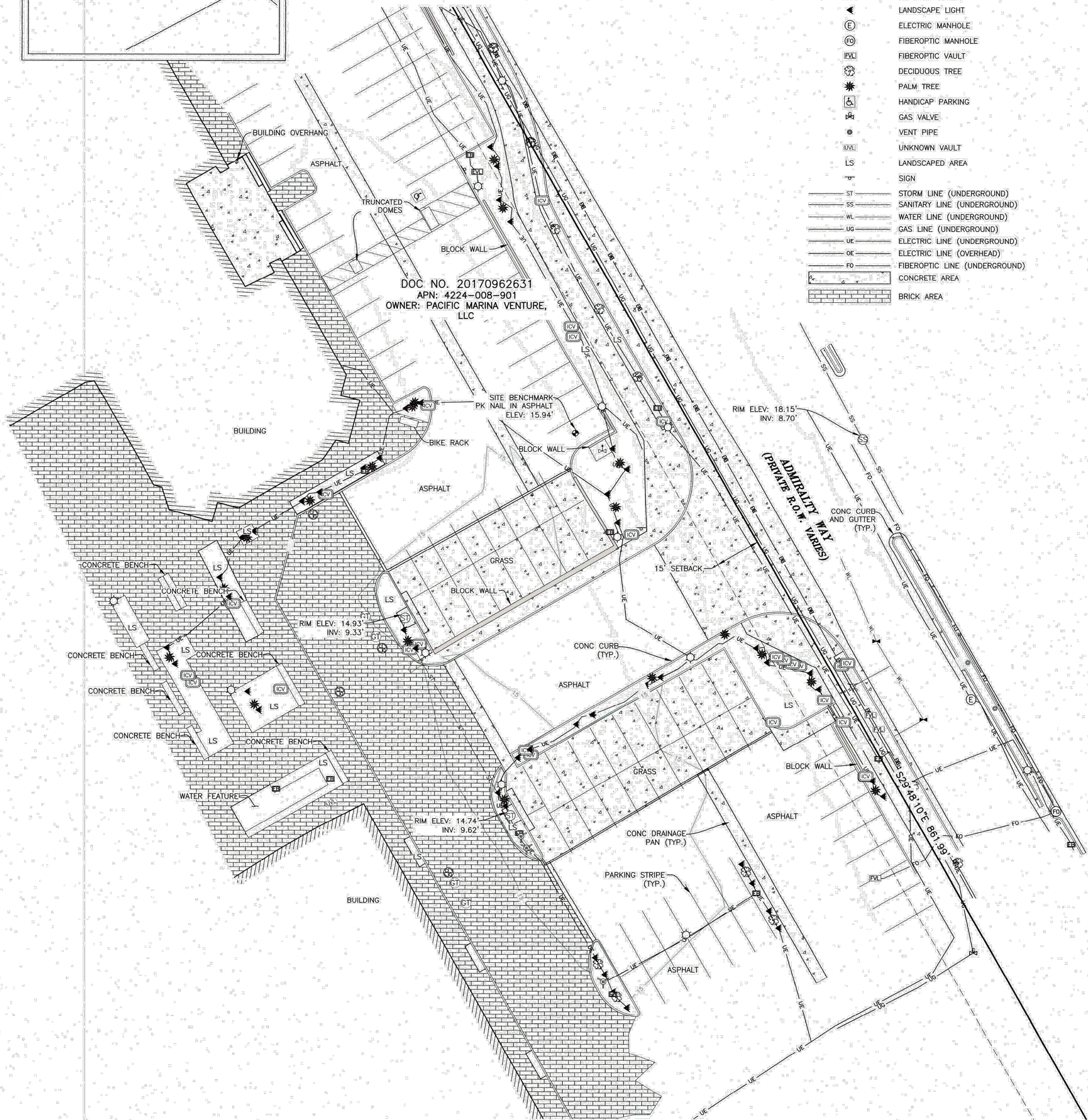
REV: 0	IFP
--------	-----







- LEGEND
- SITE BENCHMARK
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - GREASE TRAP
 - STORM MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - IRRIGATION CONTROL VALVE
 - FIRE DEPARTMENT CONNECTION
 - WATER PRESSURE REGULATOR/ BACKFLOW
 - LIGHT POLE
 - ELECTRIC TRANSFORMER
 - ELECTRIC BOX
 - ELECTRIC VAULT
 - LANDSCAPE LIGHT
 - ELECTRIC MANHOLE
 - FIBEROPTIC MANHOLE
 - FIBEROPTIC VAULT
 - DECIDUOUS TREE
 - PALM TREE
 - HANDICAP PARKING
 - GAS VALVE
 - VENT PIPE
 - UNKNOWN VAULT
 - LANDSCAPED AREA
 - SIGN
 - STORM LINE (UNDERGROUND)
 - SANITARY LINE (UNDERGROUND)
 - WATER LINE (UNDERGROUND)
 - GAS LINE (UNDERGROUND)
 - ELECTRIC LINE (UNDERGROUND)
 - ELECTRIC LINE (OVERHEAD)
 - FIBEROPTIC LINE (UNDERGROUND)
 - CONCRETE AREA
 - BRICK AREA



PROPERTY DESCRIPTION:

A portion of Assessor Parcel Number 4224-008-901 as described in Memorandum of Amended Lease and Restated Lease Agreement recorded at Document Number 20170962631 in the Official Records of Los Angeles County, California.

- SCHEDULE B2 EXCEPTIONS:
- Item No.
- Covenant and Agreement 06/19/2013 Document No. 20130913760
-IS NOT LOCATED ON THE SURVEY AREA.
 - Reciprocal Easement Agreement 09/03/2013 Document No. 20131284459
-IS NOT LOCATED ON THE SURVEY AREA.
 - First Amendment to Reciprocal Easement Agreement 12/30/2014 Document No. 20141422165
-IS NOT LOCATED ON THE SURVEY AREA.
- Items not listed above are determined non-survey related items and are not plotted hereon.

- NOTES:
- This is not intended to be a full boundary survey, the property lines depicted here on are based upon record information provided in a Search Report, prepared by First Corporate Solutions with an order number of ORD-177900-KON7M4, dated January 8, 2021, and rotated to best fit existing improvements.
 - Any underground utilities shown have been located from field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This site was located by standard RF methods.
 - FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA FIRMette published February 12, 2021, referencing Flood Insurance Rate Map, Map Number 06037C1752F effective date 09/26/2008, indicates this parcel of land is located in Zone X (Area of minimal flood hazard).
 - This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Search Report, prepared by First Corporate Solutions with an order number of ORD-177900-KON7M4, dated January 8, 2021.
 - Elevations are based on NAVD 88 datum.
 - BENCHMARK: PK Nail in Asphalt, as shown, Elevation: 15.94' (NAVD 88).
 - BASIS OF BEARINGS: Bearings are relative to NAD83, California State Plane Coordinate System, Zone 5 (0405).
 - Field work for this survey was completed on February 9, 2021.
 - The owner names and tax parcel data shown hereon are based upon the public records available at the original date of this survey. Current ownership and tax parcel data should be verified for accuracy.
 - This site is zoned "SP" (Specific Plan) per Los Angeles County Planning Department.
Building Setbacks:
Front: 15', Side: 5', Rear: 5'
No zoning information provided by the client. Zoning setbacks shown hereon are the interpretation of the surveyor. For clarification of exact zoning designations and setback locations, please, contact the Los Angeles County Planning and Zoning Department at (213) 974-8275.

AREAS OF CONCERN:

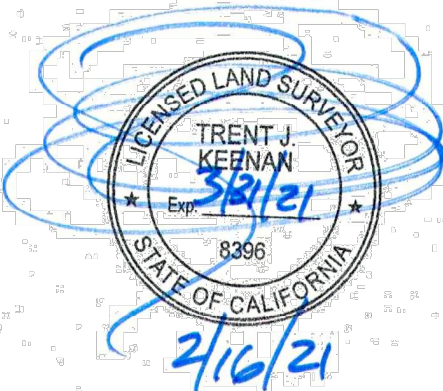
No apparent areas of concern.

SURVEYOR'S STATEMENT:

On the basis of my knowledge, information and belief, I hereby state and declare that this drawing was prepared under my direct supervision to the standard of care of surveyors practicing in the State of California and that the information shown hereon is true and correct to the best of my knowledge and belief.

This statement is neither a warranty nor a guarantee, either expressed or implied.

Trent J. Keenan
California Professional Land Surveyor No. 8396
For and on behalf of Clark Land Surveying, Inc.



Clark Land Surveying, Inc.
177 S. Tiffany Dr., Unit 1
Public West, CO 81007 • 719.882.1270
www.clarks.com

Revisions	
Description	By
No.	Date

SITE NAME:
Pier 44

ENGINEERING DESIGN SURVEY

A PORTION OF
ASSESSOR PARCEL NUMBER 4224-008-901
CITY OF MARINA DEL RAY, LOS ANGELES COUNTY, CALIFORNIA

Project No. 210199
Drawn By: JAI
Checked By: TJK
Date: 02/13/2021
Sheet 1 of 1



TESLA SUPERCHARGER
MARINA DEL REY, CA

Tesla Supercharger Proposal

4637 Admiralty Way, Marina del Rey, CA

Proposal

OPTION 1: NO SCREENING

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards



Photo Simulation View 2



Proposal

OPTION 1: NO SCREENING

A Screening Shrubs

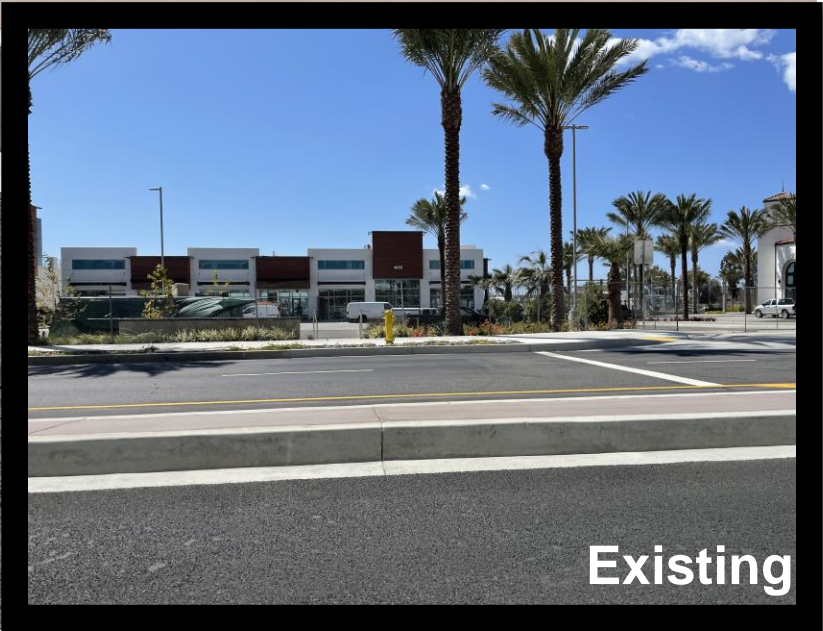


Photo Simulation View 3

Proposal

OPTION 2: SHRUB SCREENING

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards
- E Screening Shrubs



Photo Simulation View 2

Proposal

OPTION 2: SHRUB SCREENING

A Screening Shrubs



Photo Simulation View 3

Proposal

OPTION 3: TREE SCREENING

- A Switchgear
- B Transformer
- C Fixed Bollards
- D Utility Bollards
- E Screening Trees



Photo Simulation View 2

Proposal

OPTION 3: TREE SCREENING

A Screening Trees

A

Existing

Photo Simulation View 3

Proposal

OPTION 4: CAMOUFLAGE VINYL WRAP

- A Switchgear with vinyl wrapping
- B Transformer with vinyl wrapping
- C Fixed Bollards
- D Utility Bollards

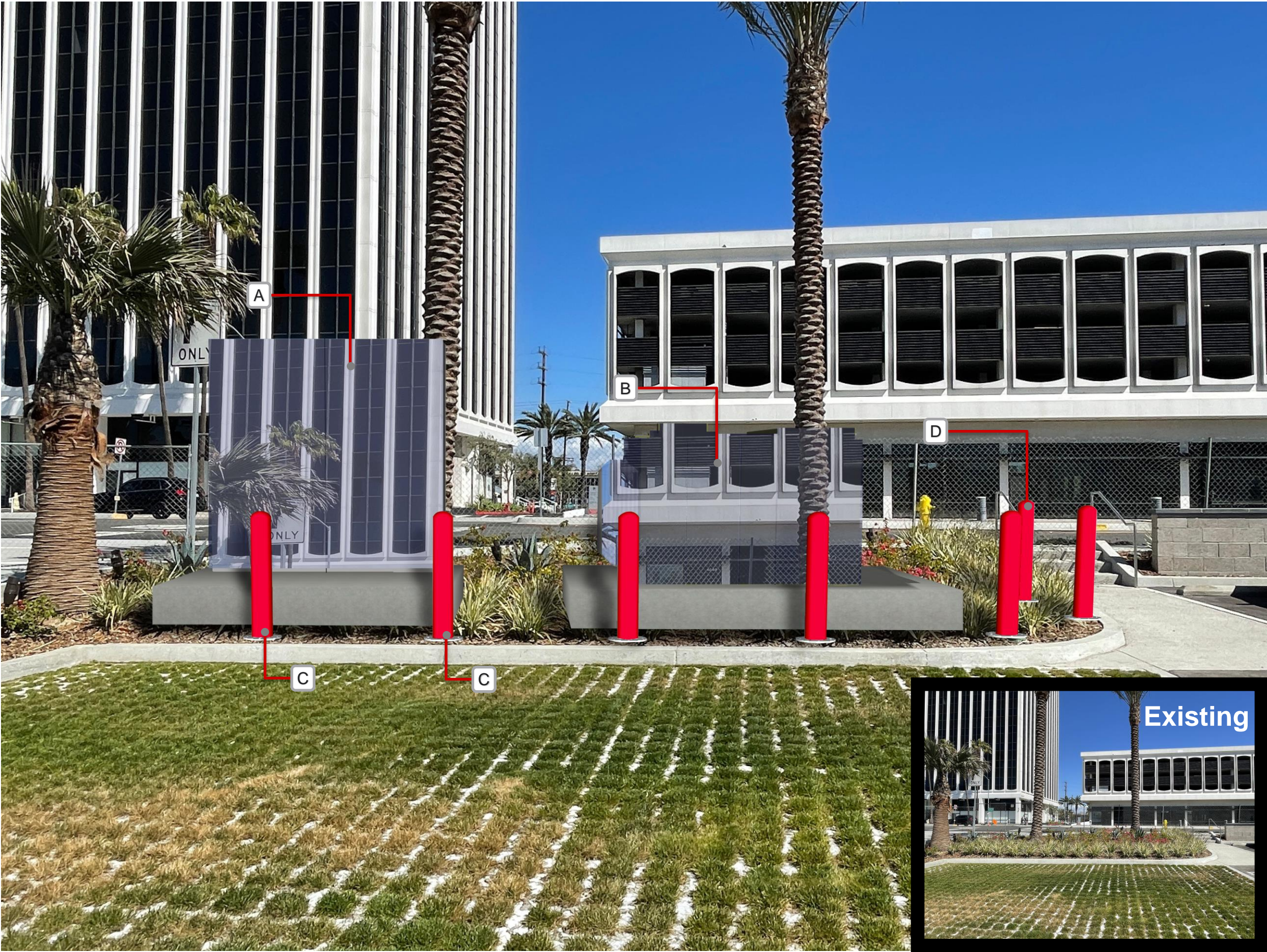
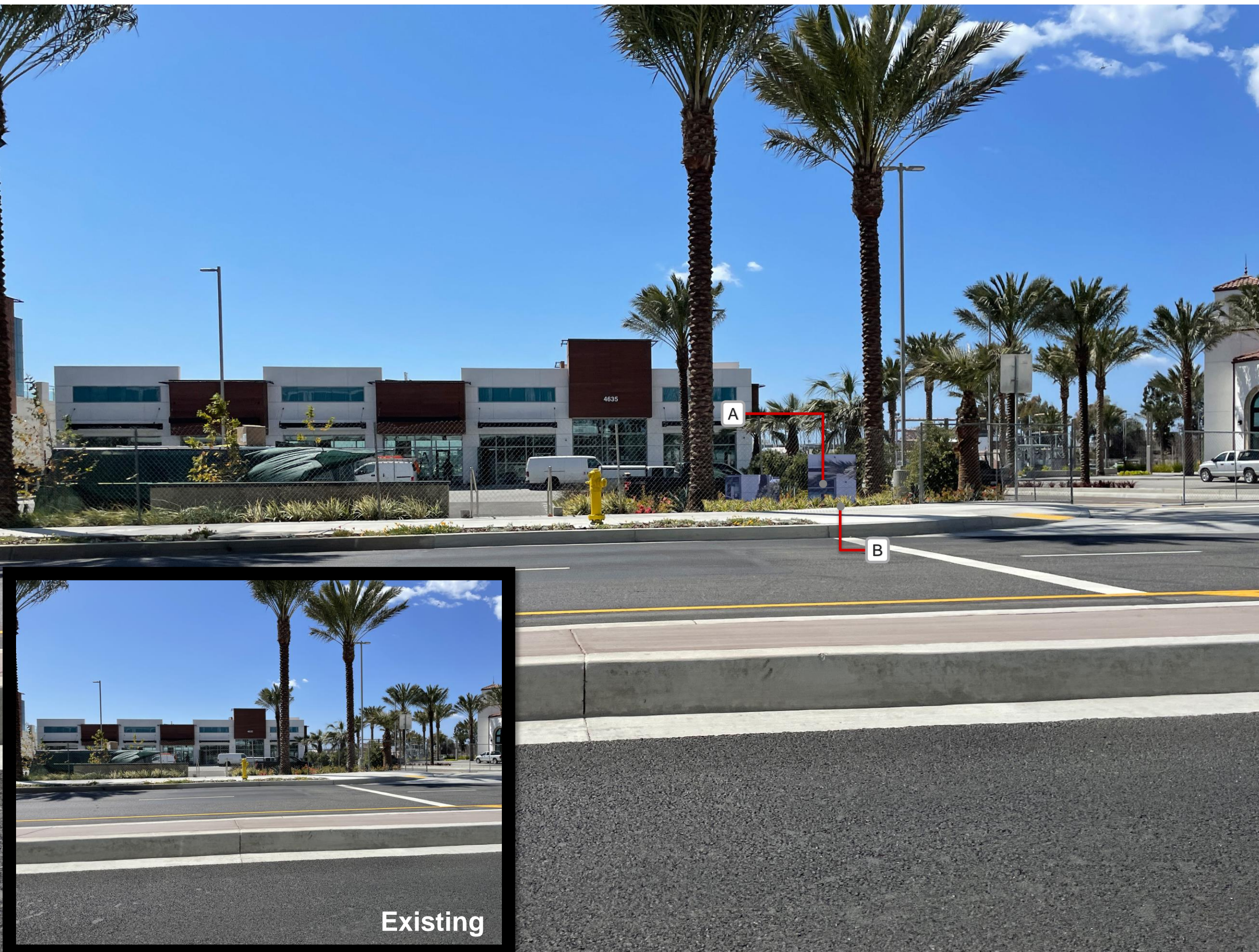


Photo Simulation View 2

Proposal

OPTION 4: CAMOUFLAGE VINYL WRAP

- A Electrical Equipment
- B Screening Shrubs

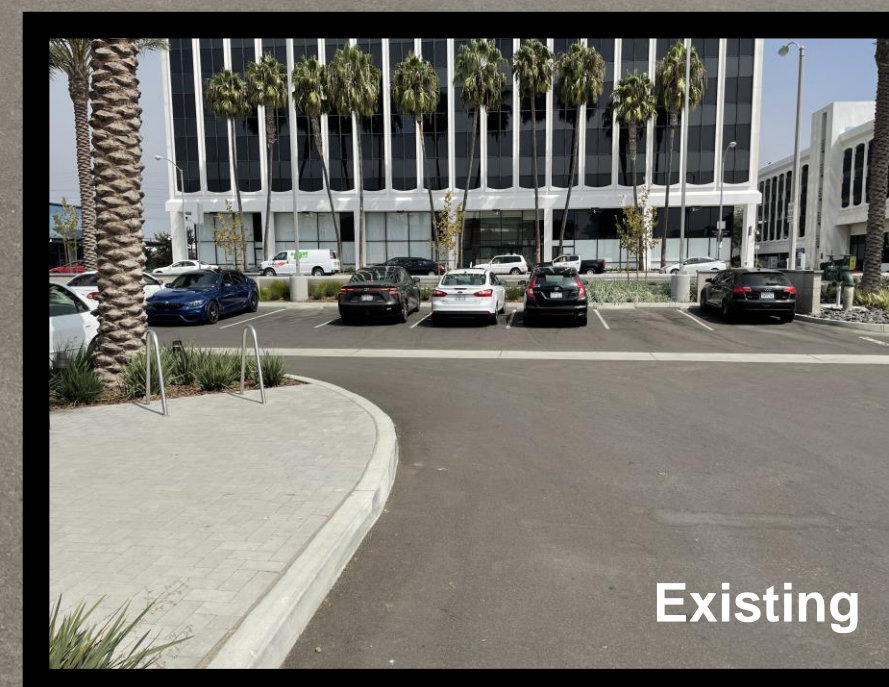


Existing



Proposal

- A** Supercharger Cabinet
- B** Supercharger Post
- C** Tesla EV pole signpost
- D** Tesla EV mounted sign
- E** Bollard-Mounted EV sign
- F** ADA Curb Ramp
- G** ADA full depth asphalt paved area



Existing

Photo Simulation View 1

Proposal

- A Cabinets
- B Supercharger Posts
- C Tesla EV Signpost
- D ADA Area



Photo Simulation View 4



(424) 526-7777 ♦ 13837 Fiji Way, Marina del Rey, CA 90292 ♦ beaches.lacounty.gov

Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Acting Chief Deputy Director

Carol Baker
Deputy Director

September 21, 2022

TO: Design Control Board

FROM: Gary Jones, Director 

**SUBJECT: ITEM 5B – ALIGNING MARINA DEL REY WITH LOS ANGELES COUNTY
EQUITY PRINCIPLES**

Item 5B on your agenda is a presentation regarding the July 12, 2022 Board of Supervisors motion entitled "Aligning Marina del Rey with Los Angeles County Priorities for Equity and Inclusion," presented by Department of Beaches and Harbors staff.

GJ:AC:pw



MOTION BY SUPERVISOR HOLLY J. MITCHELL

JULY 12, 2022

Aligning Marina del Rey with Los Angeles County Priorities for Equity and Inclusion

Marina del Rey (MdR), located in unincorporated Los Angeles County (County), is the second largest built harbor in the world, consisting of 401 acres of land and 403 acres of water. Construction of MdR was completed in the early 1960s, and since then, it has grown into a thriving waterside community and County resource encompassing recreational boating facilities and services, apartments, hotels, restaurants, and civic amenities. MdR is an asset that serves residents throughout the County as well as visitors from all over the world, while generating revenue for the County, which owns all of the land and waterside parcels comprising MdR. Since its inception, MdR has largely been developed on a parcel-by-parcel basis, with the County leasing its land and water to individual private developers. Given the evolution of MdR and the needs of the County's growing and diverse population, continued development according to this piecemeal approach is not sustainable and would forestall a historic opportunity to make MdR accessible to the broadest and most diverse spectrum of visitors and residents since its creation.

In 2014, the County completed an MdR visioning process led by the Department of Regional Planning. However, given the long-term lease commitments that encumbered MdR, the 2014 visioning exercise has not yet yielded substantial change.

- MORE -

MOTION

SOLIS	_____
KUEHL	_____
HAHN	_____
BARGER	_____
MITCHELL	_____

Now, nearly 10 years later, many more MdR leases are nearing expiration, and due to redistricting, as of December 15, 2021, the entirety of MdR became part of the Second Supervisorial District. This presents a unique opportunity to view MdR from a new perspective and to realign MdR with current County priorities of equity and inclusion through a holistic and comprehensive approach.

The County Board of Supervisors (Board) has identified priorities that guide and provide context for all policy and business decisions. By way of example, on July 21, 2020, the Board adopted the “Anti-Racism, Diversity and Inclusion” Initiative, which outlined the County’s efforts to advance an anti-racist policy agenda that guides the Board’s commitment to delivering services through an equity lens. Through this action, the Board expressly recognized, affirmed, and declared that racism is a matter of public health in the County and established an eighth Board-directed priority to systemically address racism and bias in all their forms. Additionally, on May 18, 2021, the Board created a first-of-its-kind Countywide Poverty Alleviation Initiative and Guaranteed Income Pilot Program to combat poverty and the inequitable distribution of wealth.

In the wake of these Board actions, the Department of Beaches and Harbors (DBH), the lead County agency in MdR, initiated a reflective process that included challenging internal discussions on the historic effects of redlining and other racist practices along the coast, including the abiding deprivation of access to beaches and other coastal amenities faced by traditionally marginalized populations. It is apparent that without direct and purposeful action, these inequities and lack of access will remain.

As a critical asset to the entire County, MdR must reflect the values and priorities that the Board has made abundantly clear. By strategically planning for the long-term use of County property, we can help achieve important Board policies and initiatives, including equity, inclusion, and poverty alleviation, as well as environmental justice, the provision of affordable housing, and enhanced tenant and workforce protections. In addition, we have an opportunity to effectuate DBH’s strategic goals, including enhanced public access to MdR, sustained coastal vitality, and environmental stewardship.

Before any comprehensive planning process commences, however, it is imperative that we better understand immediate needs that could be strategically

addressed by leveraging County real estate assets in MdR. To accomplish this, a preliminary needs assessment guided by community input is paramount. As we undertake this important work, it is critical that each existing lease be assessed on a case-by-case basis in light of the goals set by this motion to avoid unnecessarily committing County assets to long-term uses that do not align with the Board's clear direction on policy matters and the priorities discussed above.

I THEREFORE MOVE THAT THE BOARD OF SUPERVISORS:

1. Instruct the Director of the Department of Beaches and Harbors (DBH) in collaboration with the Directors of the Department of Regional Planning, Department of Public Works, Department of Arts and Culture, and the Executive Directors of the Los Angeles County Development Authority, the Poverty Alleviation Initiative, and the Antiracism, Diversity and Inclusion Initiative to incorporate the use of an equity lens, framework, and tools, in consultation with other relevant County departments, stakeholders, labor, and community members/organizations, to report back in writing with the following:
 - a. Within 60 days, provide recommendations for the completion of an assessment that identifies urgent community needs, in light of the Board's adopted County Guiding Equity Principles, that can be strategically addressed in Marina Del Rey (MdR). These recommendations should take into consideration community input, the 2014 MdR Visioning Statement, and include the estimated cost for the retention of a consultant to aid in completion of the assessment and potential funding sources to cover this cost;
 - b. Within 180 days, provide recommendations for the completion of a comprehensive plan for the best and highest use of real estate and water assets in MdR, in light of the Board's adopted County Guiding Equity Principles as well as the needs assessment referenced above. These recommendations should take into consideration community input, the 2014 MdR Visioning Statement, and include the estimated cost for the retention of a consultant to aid in completion of the assessment and

potential funding sources to cover this cost. The comprehensive plan should also identify the process for completing a potential Local Coastal Plan amendment, environmental clearance under CEQA, technical studies, and other necessary components of a comprehensive planning document;

- c. Within 180 days, as part of the report requested per subsection (b) above, provide any additional recommendations for an equitable, holistic, long-term land use plan for MdR that promotes, to the greatest extent possible, the priorities identified in the 2014 Visioning Statement, including but not limited to:
 - i. Increased inclusivity and accessibility of MdR and its waterside amenities for all County residents and visitors, including via public or multi-modal transportation;
 - ii. Increased focus on community-serving amenities and the opportunity to incorporate youth-serving programming, including DBH's Water Awareness, Training, Education and Recreation Program;
 - iii. Sustainable and equitable development and business practices, including LEED Gold certification, payment of Prevailing Wage, and compliance with applicable County policies like Local and Targeted Worker Hiring and Labor Peace Policy;
 - iv. A community aquatic center that is open to the public;
 - v. A community-serving one-stop civic center and plaza, to potentially include new consolidated DBH headquarters, an enhanced library facility, and other County resources;
 - vi. Increased or enhanced park and open spaces for public enjoyment;
 - vii. Expansion of public recreation spaces at Mother's Beach and Burton Chace Park;
 - viii. Activation of a more vibrant waterfront with an array of free and low-cost recreational and community programming accessible to all;

- ix. Incorporation of public art elements;
 - x. New and improved visual identification of MdR as a destination/community, including monument, wayfinding, placemaking/landmark, and informational/interpretive signage, etc.;
 - xi. De-emphasized use of County property for surface parking lots;
 - xii. Enhanced tenant and workforce protections;
 - xiii. Increased provision of affordable and “missing middle” housing;
 - xiv. Protection and expansion of wildlife habitats, especially marine bird rookeries;
 - xv. Protection and enhancement of strategic scenic resources, especially marina and ocean view corridors; and
 - xvi. A transparent and community-focused approach to all aspects of any MdR redevelopment.
2. Instruct the Director of DBH to carefully assess requests for lease extensions in MdR considering the goals set forth in this motion and, unless exigent circumstances exist, avoid long term commitments until the foregoing planning process is completed.

###

(CG)



Caring for Our Coast

Gary Jones
Director

Amy M. Caves
Acting Chief Deputy Director

Carol Baker
Deputy Director

September 21, 2022

TO: Design Control Board
FROM: Gary Jones, Director
SUBJECT: **ITEM 6A - ONGOING ACTIVITIES REPORT**

BOARD ACTIONS ON ITEMS RELATING TO MARINA DEL REY

On August 2, 2022, the Board of Supervisors (BOS) approved the rental of a property owned by the Los Angeles County Flood Control District (District) along Ballona Creek and Marina del Rey Parcels 99, 103, 120, 122 and 123, in the Playa del Rey community of the City of Los Angeles. The Department of Beaches and Harbors (DBH) previously operated and maintained a parking facility at the site under Lease Agreement No. 40321 with the District. However, the Lease Agreement was terminated in 2014 to allow the City of Los Angeles to use the property for its Venice Dual Force Main Project, which upgraded the City's sewer line infrastructure. The City has since completed its operation and vacated the subject property in March 2022.

The District and DBH negotiated and agreed to the terms of a new rental agreement to resume the County's operation of the parking facility and the BOS authorized the Director of Beaches and Harbors (Director) to execute the rental agreement with the District. In addition, the BOS authorized the Director to execute amendments to extend the term of the rental agreement, modify its obligations under the rental agreement or suspend, cancel, or terminate the rental agreement if in the Director's opinion, it is in the best interest of the County.

REGIONAL PLANNING COMMISSION'S CALENDAR

No items related to Marina del Rey were on the August 2022 Regional Planning Commission's agenda.

CALIFORNIA COASTAL COMMISSION CALENDAR

No items related to Marina del Rey were on the August 2022 California Coastal Commission agenda.

FUTURE MAJOR DESIGN CONTROL BOARD ITEMS

There are no future major Design Control Board items at this time.



Design Control Board
September 21, 2022
Item 6A
Page 2

SMALL CRAFT HARBOR COMMISSION MINUTES

The August 2022 Small Craft Harbor Commission meeting minutes are pending.

REDEVELOPMENT PROJECT STATUS REPORT

The updated "Marina del Rey Redevelopment Projects Report" is attached.

GJ:WO:lr
Attachments (1)



(424) 526-7777 ♦ 13837 Fiji Way, Marina del Rey, CA 90292 ♦ beaches.lacounty.gov

Caring for Our Coast

♦ ♦ ♦

Gary Jones
Director

Amy M. Caves
Acting Chief Deputy Director

Carol Baker
Deputy Director

September 21, 2022

TO: Design Control Board
FROM: Gary Jones, Director 
SUBJECT: **ITEM 6B – MARINA DEL REY SPECIAL EVENTS**

BURTON CHACE PARK YOGA CLASS

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Sundays
9:30 a.m. – 10:30 a.m.

Join the Department of Beaches and Harbors (Department) and instructor Anastasia for a yoga session at the water's edge and connect with nature and community. Classes are offered to all, regardless of age or ability for \$10 per class. Children should be able to follow along or sit quietly with a parent/guardian. Students must bring their own mats and water bottles. Please pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

BURTON CHACE PARK WALKING CLUB

Burton Chace Park ♦ Lobby ♦ 13650 Mindanao Way ♦ Marina del Rey
Tuesdays & Thursdays
10:30 a.m. – 11:30 a.m.

The Department is sponsoring a FREE one-hour walking club. Get your exercise while taking in the beautiful view of the Marina del Rey harbor. Call (424) 526-7910 to RSVP or email to chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

BURTON CHACE PARK ZUMBA CLASS

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey



Tuesdays and Thursdays
3:30 p.m. – 4:30 p.m.

Ditch your boring workout and join the Department's FREE outdoor Zumba class at Burton Chace Park! Each class is limited to 10 people. Registration is required and is available on a first-come, first served basis. Pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

DRAWING & PAINTING CLASS
In-Person and online class via Zoom
Wednesdays
5:00 p.m. – 6:30 p.m.

The Department is offering a FREE drawing and watercolor art class for beginners ages 14 years or older. In-person classes are limited to ten people and supplies are provided. Registration is required and is available on a first-come, first served basis. Pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

BEACH EATS
Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey
Thursdays through October 27, 2022
5:00 p.m. – 9:00 p.m.

The Department hosts a gourmet food truck event in Marina del Rey that offers a variety of delectable savory foods and desserts. The weekly assortment of food trucks will vary along with menu options, such as gourmet burgers, hot dogs, tacos, lobster rolls, and more. Paid parking is available for 25 cents for every 10 minutes.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

DANCE MDR
Burton Chace Park ♦ 13640 Mindanao Way ♦ Marina del Rey
Fridays through September 30, 2022
7:00 p.m. – 10:00 p.m.

Join us at Dance MDR for a night of dancing in the park. Pick up new dance moves with beginner lessons from L.A.'s best dance teachers and then groove to the DJ, with a different dance style every Friday night in September. This event is free to the public. Everyone is welcome!

September 23 Hip-Hop
September 30 Salsa

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

MARINA DEL REY FARMERS' MARKET

Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey
Saturdays
9:00 a.m. – 2:00 p.m.

The Department, in collaboration with Southland Farmers' Market Association, is offering the Marina del Rey Farmers' Market on Saturdays. The Marina del Rey Farmers' Market offers fresh, locally grown organic and conventionally grown fruits and veggies. Also available are prepackaged foods and much more! Paid parking is available for 25 cents for every 10 minutes.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

MARINA MOVIE NIGHTS

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Select Saturdays through September 24, 2022
Movie start time: 8:00 p.m.

The Department presents the return of Marina Movie Nights at Burton Chace Park. This summer pack your picnic baskets and bring the family out to the park on Saturday nights to enjoy free outdoor movie screenings under the stars.

Movie Lineup:

September 24 *The Wizard of Oz*

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

BEACH SHUTTLE

Through September 25, 2022
Saturdays from 10:00 a.m. – 10:00 p.m.
Sundays from 10:00 a.m. – 8:00 p.m.

Catch a free ride on the Beach Shuttle to and from Playa Vista, Marina del Rey and the Venice Beach Pier, and enjoy the surf, sand and surroundings of Marina del Rey in a hassle-free and relaxing way. The Beach Shuttle operates during the summer months only on weekends.

For more information: Call (424) 526-7900 or visit beaches.lacounty.gov

FISHERMAN'S VILLAGE WEEKEND CONCERT SERIES

13755 Fiji Way ♦ Marina del Rey
Sponsored by Pacific Ocean Management, LLC
Sundays
2:00 p.m. – 5:00 p.m.

September 25th
Upstream (Reggae)

For more information: Call Pacific Ocean Management at (310) 306-0400

MARINA DRUM CIRCLE

Burton Chace Park ♦ 13640 Mindanao Way ♦ Marina del Rey
Sundays through October 16, 2022
Sessions: 11:30 a.m. – 12:30 p.m. and 1:30 p.m. – 2:30 p.m.

Discover the fun and excitement of interactive group drumming at the water's edge! Drums and other percussion instruments will be provided. Choose from one of two FREE 60-minute sessions that are available for enthusiasts of all ages and skill levels.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

GJ:CML:da

**Marina del Rey Redevelopment Projects Report
As of August 02, 2022**

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
113 -- Mariner's Village	Mark Wagner	* Renovation of 981 apartments * Improvements to promenade	Massing – Existing buildings to remain. Parking – Existing parking to remain.	<p>Proprietary – Item opened on 9/23/2013. On October 30, 2018, the Los Angeles County Board of Supervisors approved an option for an amended at restated lease. The revised project will include 20% affordable units. A proposed extension of the lease and option terms till 10/29/2023 is expected to be heard by the Board on 10/18/2022.</p> <p>Regulatory – The Regional Planning Commission approved an after-the-fact Coastal Development Permit (CDP) for the previous removal of waterbird nests. The appeal of that CDP was approved by the Coastal Commission in September 8, 2021. Lessee is tentatively scheduled to present at the Marina del Rey Design Control Board meeting scheduled for January 19, 2022. Lessee's presentation at Jan 19, 2022's DCB meeting was continued to allow more time to review the proposal. Staff scheduled ex-parte meetings with Meg Coffee and Chair Cho. Lessee's design plans were approved at the March 2022 DCB meeting.</p>