



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Deputy Director

Carol Baker
Deputy Director

MARINA DEL REY DESIGN CONTROL BOARD AGENDA

Wednesday, August 17, 2022, 1:30 p.m.

AUDIO LINK DCB August 17, 2022 MEETING

NOTICE

In accordance with Government Code § 54953 permitting the convening of public agency meetings in light of the Covid-19 pandemic, all regularly scheduled Design Control Board meetings will convene as virtual (online) meetings and by teleconference as determined by the Board.

OBSERVING THE MEETING

To observe the meeting, go to <http://beaches.lacounty.gov/watch-dcb-meeting> (Zoom Meeting ID: 913 7426 1482) or dial (408) 638-0968 or (669) 900-6833.

PROVIDING VERBAL PUBLIC COMMENT

To provide verbal public comment for the record during the meeting, go to <http://beaches.lacounty.gov/watch-dcb-meeting> (Zoom Meeting ID: 913 7426 1482) and staff will assist you via the Zoom chat feature.

If you are calling in to the meeting, send an email to DBHPlanner@bh.lacounty.gov with the agenda item number, first name, last name, email address, and phone number, and identify yourself as the applicant or not the applicant.

PROVIDING WRITTEN PUBLIC COMMENT

To provide written public comment for the record, send an email to DBHPlanner@bh.lacounty.gov with your comment, the agenda item number, your first name and last name, email address, and phone number, and identify yourself as the applicant or not the applicant. Written comments submitted prior to 5 p.m. on the day before the meeting will be provided to the Design Control Board. Written public comments submitted after 5 p.m. on the day before the meeting will not be provided to the Design Control Board, but will be added to the public record.

AUTHORITY TO HOLD THE MEETING BY TELECONFERENCE

The Design Control Board meeting is continuing to be held via teleconference consistent with the Board of Supervisors' findings on July 12, 2022, that 1) in accordance with Assembly Bill (AB) 361 Section 3 (e)(3), California Government Code Section 54953 (e)(3), that it reconsidered the circumstances of the State of Emergency due to the COVID-19 pandemic and that the State of Emergency remains active; and 2) that local officials continue to recommend measures to promote social distancing.



1. **Call to Order, Action on Absences, Pledge of Allegiance, and Order of Agenda**
2. **Approval of the May 18, 2022 and July 20, 2022 Minutes**
3. **Consent Agenda**
The Chair may entertain a motion by a Board member at the beginning of the meeting to approve certain non-controversial agenda items as consent agenda items unless held by a Board member or member(s) of the public for discussion or separate action.
4. **Old Business**
None
5. **New Business**
A. Parcel 95 – Gold Coast West, LLC / Keller Williams Realty – DCB #22-009 – Consideration of new signage

B. Parcel 3 – Los Angeles County Metropolitan Transportation Authority – DCB #22-010 – Conceptual design consideration of a new bus turnaround loop and associated improvements
6. **Staff Reports**
A. Ongoing Activities Report
 - Board of Supervisors Actions on Items Relating to Marina del Rey
 - Regional Planning Commission's Calendar
 - Coastal Commission's Calendar
 - Future Major DCB Agenda Items
 - Small Craft Harbor Commission Minutes
 - Redevelopment Project Status Report
B. Marina del Rey Special Events
7. **Public Comment**
This is the opportunity for members of the public to address the Board on items that are not on the posted agenda, provided that the subject matter is within the jurisdiction of the Board. Speakers are reminded of the three-minute time limitation.
8. **Adjournment**

PLEASE NOTE

1. ADA ACCOMODATIONS: If you require reasonable accommodations or auxiliary aids and services such as material in alternate format or a sign language interpreter, please contact the ADA (Americans with Disabilities Act) Coordinator at (424) 526-7752 (Voice) or (TTY/TDD) users, please call the California Relay Service at 711. The ADA coordinator may be reached by email at rstassi@bh.lacounty.gov.
2. The Los Angeles County Board of Supervisors adopted Chapter 2.160 of the Los Angeles Code (Ord. 93-0031 ~ 2 (part), 1993), relating to lobbyists. Any person who seeks support or endorsement from the Design Control Board on any official action must certify that he/she is familiar with the requirements of this ordinance. A copy of the ordinance can be provided prior to the meeting and certification is to be made before or at the meeting.
3. Si necesita asistencia para interpretar esta información, llame a este numero: 424-526-7777.
4. All materials provided to the Design Control Board Members are available for public review, beginning the

Friday prior to the meeting, at <https://beaches.lacounty.gov/design-control-board/>. The Department of Beaches and Harbors website also provides all reports and audio files from current and past meetings. Electronic copies of project submittals for Business Items referred to in this agenda will be available online for a two week period from the date of this agenda.

DESIGN CONTROL BOARD MINUTES
May 18, 2022

Members Present: Meg Rushing Coffee, Member (First District); Genelle Brooks-Petty (Second District), Tony Wong, P.E., Vice Chair (Fifth District), Steven Cho, Chair (Fourth District)

Members Absent: None

Department Staff Present: Amy Caves, Deputy Director; Warren Ontiveros, Planning Division Chief; Maral Tashjian, Planning Specialist; Porsche White, Planner; Lola Reyna, Secretary

County Staff Present: Parjack Ghaderi, County Counsel; Clark Taylor, Department of Regional Planning

Guests Testifying: Douglas Dohan, CallisonRTKL

1. Call to Order and Pledge of Allegiance

Chair Cho called the meeting to order at 1:30 pm and led the Pledge of Allegiance. Ms. Tashjian read the virtual meeting procedures.

2. Approval of the April 20, 2022 Minutes

Moved by Mr. Wong, seconded by Ms. Brooks-Petty. The April 20, 2022 minutes were approved.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty
Nays: 0

3. Consent Agenda

None

4. Old Business

A. Marina Del Rey Design Guidelines Updates

Ms. White presented the staff report and outlined the County of Los Angeles Department of Beaches and Harbors (DBH) administrative process for tree removals in Marina del Rey.

Board Comment

None

Public Comment

None

Board Member Coffee moved to continue Item 4A to a later date, seconded by Ms. Brooks-Petty.

Ayes: 4 – Chair Cho, Ms. Coffee, Vice Chair Wong, Ms. Brooks-Petty
Nays: 0

5. New Business

A. Parcel 44 – Boardwalk Marina del Rey / Recreation Equipment, Inc. (REI) – DCB #22-004
– Consideration of building modifications and new signage

Ms. White presented the staff report.

Board Comment

Chair Cho asked if there were any applicants present.

Ms. Tashjian stated that there were six members of the Applicants' project team present.

Mr. Dohan introduced himself and awaited comments from the Board.

Public Comment

None

Chair Cho moved to approve DCB #22-004, seconded by Ms. Coffee.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty
Nays: 0

6. Staff Reports

All reports were received and filed.

Moved by Ms. Coffee, seconded by Chair Cho.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty
Nays: 0

7. Public Comment

None

8. Adjournment

Moved by Chair Cho, seconded by Ms. Coffee

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty
Nays: 0

Chair Cho adjourned the meeting at 1:50 p.m.

Respectfully Submitted,

Lola Reyna
Secretary for the Design Control Board

DESIGN CONTROL BOARD MINUTES

July 20, 2022

Members Present: Meg Rushing Coffee, Member (First District); Genelle Brooks-Petty, Member (Second District); Steven Cho, Chair (Fourth District); Tony Wong, P.E., Vice Chair (Fifth District)

Members Absent: None

Department Staff Present: Amy Caves, Acting Chief Deputy Director; Warren Ontiveros, Planning Division Chief; Maral Tashjian, Planning Specialist; Porsche White, Planner; Chantal Alatorre, Planner; Lola Reyna, Secretary

County Staff Present: Parjack Ghaderi, County Counsel; Clark Taylor, Department of Regional Planning

Guests Testifying: Robert Kirsten, A-RTK; Hans Rockenwagner, Dear Jane's; Michelle Kelly, Restore Hyper Wellness

1. Call to Order and Pledge of Allegiance

Chair Cho called the meeting to order at 1:30 pm and led the Pledge of Allegiance. Ms. Tashjian read the virtual meeting procedures.

2. Approval of the June 15, 2022 Minutes

Board Member Coffee moved to approve minutes, seconded by Vice Chair Wong.

Ayes: 3 – Chair Cho, Vice Chair Wong, Ms. Coffee

Nays: 0

Abstained: 1 – Ms. Brooks- Petty

Board Comment

Chair Cho commented that the approval of the May 18, 2022 minutes would be deferred. Ms. White confirmed that the item would be on the August meeting agenda for the Board's review.

3. Consent Agenda

None

4. Old Business

A. Marina del Rey Design Guidelines Update

Ms. White presented staff comments.

Board Comment

None

Public Comment

None

Chair Cho asked if there were any questions or concerns from Board.

Public Comment

None

Vice Chair Wong moved to approve the Guidelines, seconded by Chair Cho

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty

Nays: 0

B. Parcel 44 – Pacific Marina Venture, LLC / Uovo Pasta – DCB #20-004-C – Consideration of new awning

Ms. White presented the staff report.

Board Comment

Chair Cho asked if there were any Applicants present. Ms. Tashjian stated that there was one member of the Applicant's project team present.

Mr. Robert Kirsten introduced himself and commented that the retractable awning would only be used when needed for shade and the awning would be retracted against the building façade when not in use.

Chair Cho asked if the charcoal color of the awning would match the existing black paint on the building facade.

Mr. Kirsten replied that the color choice was selected due to the dust conditions of the area with the intent to complement the existing building façade.

Public Comment

None

Vice Chair Wong moved to approve DCB #20-004-C, seconded by Ms. Brooks-Petty.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee

Nays: 0

5. New Business

Parcel 18 – Dolphin Marina, LTD. / Dear Jane's – DCB #22-007 – Consideration of exterior improvements and new signage

Ms. Alatorre presented the staff report.

Board Comment

Chair Cho requested that staff provide clarification regarding the hand painted mural and vinyl.

Ms. Alatorre clarified that the vinyl would be installed on all windows at the restaurant storefront and all signs would be hand painted, including the monument sign faces.

Chair Cho asked for clarification on a triangular image shown on the monument sign rendering.

Ms. Alatorre deferred the question to the Applicant's project team.

Chair Cho asked if there were any Applicants present. Ms. Tashjian stated that there were two members of the Applicant's project team present.

Mr. Hans Rockenwagner addressed the Board and noted that the triangular image may be an error. Furthermore, he mentioned that he was attending the meeting in place of the project architect, who was unable to attend.

Chair Cho asked if the painted sign would be 3D or painted to look 3D.

Mr. Rockenwagner stated that he believes that it would be 3D.

Ms. Coffee stated that she interpreted the sign description to mean the sign was 2D painted to appear 3D, not an actual 3D sign. She also asked if the triangle shown on the monument sign was meant to be directional.

Chair Cho stated that he agreed with Ms. Coffee's previous interpretation of the sign.

Ms. Coffee asked what the design intent was for the window vinyl graphics.

Mr. Rockenwagner explained that the vinyl covered windows would be located in the bar areas to minimize bright light from vehicle headlights in the evenings, which is not desirable for an intimate setting. The vinyl design was created from photographs of sailboats in the marina, with alternative colors used to provide a slightly abstract look.

Chair Cho asked if the roofing was part of the scope of the project.

Mr. Rockenwagner stated there were no proposed changes to the roof.

Public Comment

None

Vice Chair Wong moved to approve DCB #22-007, seconded by Ms. Coffee

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee

Nays: 0

B. Parcel 44 – Pacific Marina Venture, LLC / Restore Hyper Wellness – DCB #22-008 – Consideration of new signage

Ms. Chantal Alatorre presented the staff report.

Board Comment

Chair Cho asked if there were any applicants present. Ms. Tashjian stated that there was one member of the Applicant's project team present.

Ms. Michelle Kelly of Restore Hyper Wellness introduced herself to the Board and awaited comments.

Ms. Coffee noted that in the project staff report it was stated that the Design Guidelines would only allow one sign per tenant, and any signs for this space would not usually be installed facing the basin. Ms. Coffee asked if there were any other tenants with signage facing the basin.

Chair Cho reviewed photos of site and determined that it appears that two other tenants have signage facing the basin.

Ms. Tashjian clarified that there are no restrictions against having signage facing the basin. She clarified that the Parcel 44 Master Sign Program specifies that tenant identification signage should only be installed at the tenant storefront, where an entrance exists. The Restore Hyper Wellness frontage is along the streetside and they do not have an entrance along the waterside where the additional sign would be installed. However, the Board has the discretion to approve variances to the Master Sign Program.

Public Comment

None

Chair Cho moved to approve DCB #22-008, seconded by Vice Chair Wong.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee

Nays: 0

C. Election of Officers

Vice Chair wong moved to continue with the current Board officers until the end of year, seconded by Chair Cho.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Brooks-Petty, Ms. Coffee

Nays: 0

6. Staff Reports

Chair Cho asked if any staff members had an update about a motion made in a previous Board of Supervisor's meeting regarding the Marina del Rey revisioning plan.

Ms. Caves gave a brief summary of the motion. She noted that the program is still in the early planning stages and suggested that the item can be added to a future agenda and a formal staff presentation could be given at a later date. Furthermore, she mentioned that staff is currently tasked with reporting back to the Board with an urgent needs assesment for the Marina del Rey area.

Chair Cho asked if the plan would activiate the items on the visioning statement.

Ms. Caves stated that the statement would be reviewed.

Chair Cho asked is there was a Deputy from Supervisor Mitchell's office assigned to this project.

Ms. Caves stated that there were mutiple staff assigned depending on the subject matter and contact informtion could be provided to the Board, if needed.

All reports were received and filed.

Moved by Vice Chair Wong, seconded by Chair Cho.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty
Nays: 0

7. Public Comment
None

8. Adjournment

Moved by Chair Cho.

Ayes: 4 – Chair Cho, Vice Chair Wong, Ms. Coffee, Ms. Brooks-Petty
Nays: 0

Chair Cho adjourned the meeting at 2:14 p.m.

Respectfully Submitted,

Lola Reyna
Secretary for the Design Control Board



Location of August 17, 2022 DCB Items



Old Business

None

New Business

5A – Parcel 95 – Keller Williams Realty

5B – Parcel 3 – County Parking Lot #13



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Deputy Director

Carol Baker
Deputy Director

August 17, 2022

TO: Design Control Board

FROM: Gary Jones, Director 

SUBJECT: ITEM 5A – PARCEL 95 – GOLD COAST WEST, LLC / KELLER WILLIAMS REALTY – DCB # 22-009 – CONSIDERATION OF NEW SIGNAGE

Item 5A on your agenda is a submittal from Keller Williams Realty (Applicant), seeking approval for new signage. The project is located at 444 Washington Boulevard, within the Parcel 95 Marina West Shopping Center.

PROJECT OVERVIEW

Existing Conditions

Parcel 95 is developed with four existing buildings on approximately 1.7 landside acres, and is bordered to the east by Parcel LLS, to the west by Via Dolce, to the north by Washington Boulevard, and to the south by Parcel 10, Pearl Apartments. The Keller Williams Realty office occupies a building adjacent to the Epstein & Associates building to the east and a parking lot to the west.

Proposed Project

The proposed project consists of installing one new tenant identification sign.

SIGNAGE

Building Façade

The Applicant proposes to install one tenant identification sign on the building façade, facing Washington Blvd. The proposed sign would be approximately 3' tall by 9' wide and would be installed approximately 15' above grade. The sign would be composed of acrylic channel letters and would include red, black, and white colors. No illumination is proposed.

STAFF REVIEW

Staff finds that the improvements do not alter the overall architectural style of the parcel and are generally consistent with the Marina del Rey Design Guidelines. Following DCB approval, all signs are subject to review by the Los Angeles County Department of



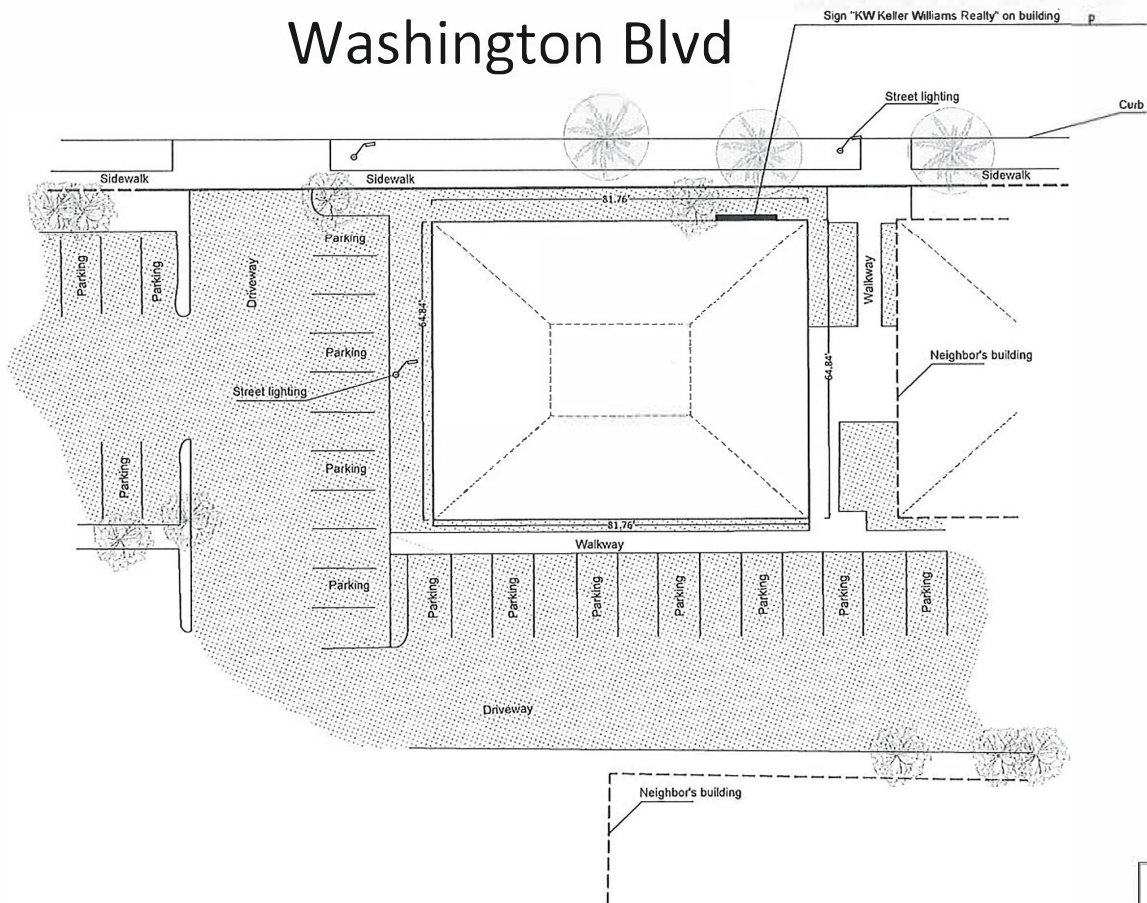
Regional Planning for conformity with the Marina del Rey Revised Permanent Sign Controls.

Staff recommends APPROVAL of DCB #22-009, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**

GJ:WO:jy

Washington Blvd



444 Washington Blvd
Marina Del Rey, CA 90292
Scale: 1"=20'





Ⓐ NON ILLUMINATED CHANNEL LETTERS MOUNTED ON WALL

SCALE: 3/32"=1'-0"



444

118" x 25"

77 1/8" x 24" 16" x 5"
kw ADVISORS
KELLER WILLIAMS REALTY

NON ILLUMINATED CHANNEL LETTERS MOUNTED ON WALL

SCALE: 3/32"=1'-0"

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Carol Baker
Deputy Director

August 17, 2022

TO: Design Control Board

FROM: Gary Jones, Director 

SUBJECT: ITEM 5B – PARCEL 3 – LOS ANGELES COUNTY METROPOLITAN TRANSPORTATION AUTHORITY (METRO) – DCB #22-010 – CONCEPTUAL DESIGN CONSIDERATION OF A NEW BUS TURNAROUND LOOP AND ASSOCIATED IMPROVEMENTS

Item 5B on your agenda is a submittal from the Los Angeles County Metropolitan Transportation Authority (Applicant), seeking approval for a new bus turnaround loop and associated improvements at the Parcel 3 leasehold. The project is located at 4601 Via Marina.

PROJECT OVERVIEW

Existing Conditions

Parcel 3 is developed with a public parking lot, Lot 13, and contains 139 parking spaces. The parking lot is owned by the County and operated by the Department and is located across the street from Parcel 113 (Mariners Village Apartments).

Proposed Project

The proposed project consists of constructing a new concrete bus turnaround loop in Lot 13, new landscaping, and installing new signage. The proposed bus loop would allow for the extension of Big Blue Bus Line 18 on Via Marina from Marquesas Way to Captain's Row, opening new access to residents and visitors. In addition, the proposed project would provide a new community connection between Marina del Rey and the Metro Rail 'E' (Expo) Line Downtown Santa Monica Station, Montana Avenue, and Westwood/UCLA. No new bus stops would be established in Lot 13.

SITE DESIGN

The Applicant proposes to construct a new concrete bus turnaround loop in Lot 13. The Applicant would replace portions of the existing pavement in the lot with a new concrete roadway suitable for a transit bus. In addition, the Applicant would install two new driveways and restripe the parking lot. To accommodate a new bus turnaround loop, the Applicant proposes to remove a section of an existing timber barrier fence, an existing



driveway entrance, portions of existing brick paving, a bench, a portion of sidewalk, and an existing concrete curb and gutter.

Parking

Completion of the new bus loop would require removal of six parking spaces in Lot 13.

Landscaping/Plant Palette

The Applicant proposes to remove one New Zealand Christmas Tree. The tree would be replaced on site with the same species, in an expanded landscape area. The expanded landscape area would also include Star Jasmine, Tomlinson Natal Plum, and mulch.

SIGNAGE

Traffic Control Signs

The Applicant proposes to install five new post-mounted traffic control signs and each would be installed approximately 5'-6" above grade. The Applicant would install two 2' tall by 2' wide freestanding stop signs that would contain white text on a red background. One 1'-6" tall by 1'-6" wide "Right-Turn Only" sign in black text on a yellow and white background would be installed. One 2' tall by 2' wide "Do Not Enter" sign in white text on a red background would be installed. The Applicant also proposes to install one 1'-6" tall by 1'-6" wide "Curved Road" sign in black on a yellow background. In addition, the Applicant would paint "Stop" and several directional arrows in white colored font onto the asphalt.

STAFF REVIEW

Staff finds that the project is generally consistent with the Marina del Rey Design Guidelines. Following DCB conceptual approval, the project is subject to review by the Los Angeles County Department of Regional Planning, followed by a final design review by your Board.

Staff recommends APPROVAL of DCB #22-010, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) Upon returning to your Board post-entitlement for final site review, the Applicant is to provide complete design details to include materials, colors, landscape and irrigation, and signage.**



LOS ANGELES COUNTY

METROPOLITAN TRANSPORTATION AUTHORITY

PROGRAM MANAGEMENT

NEW BUS TERMINAL LOOP

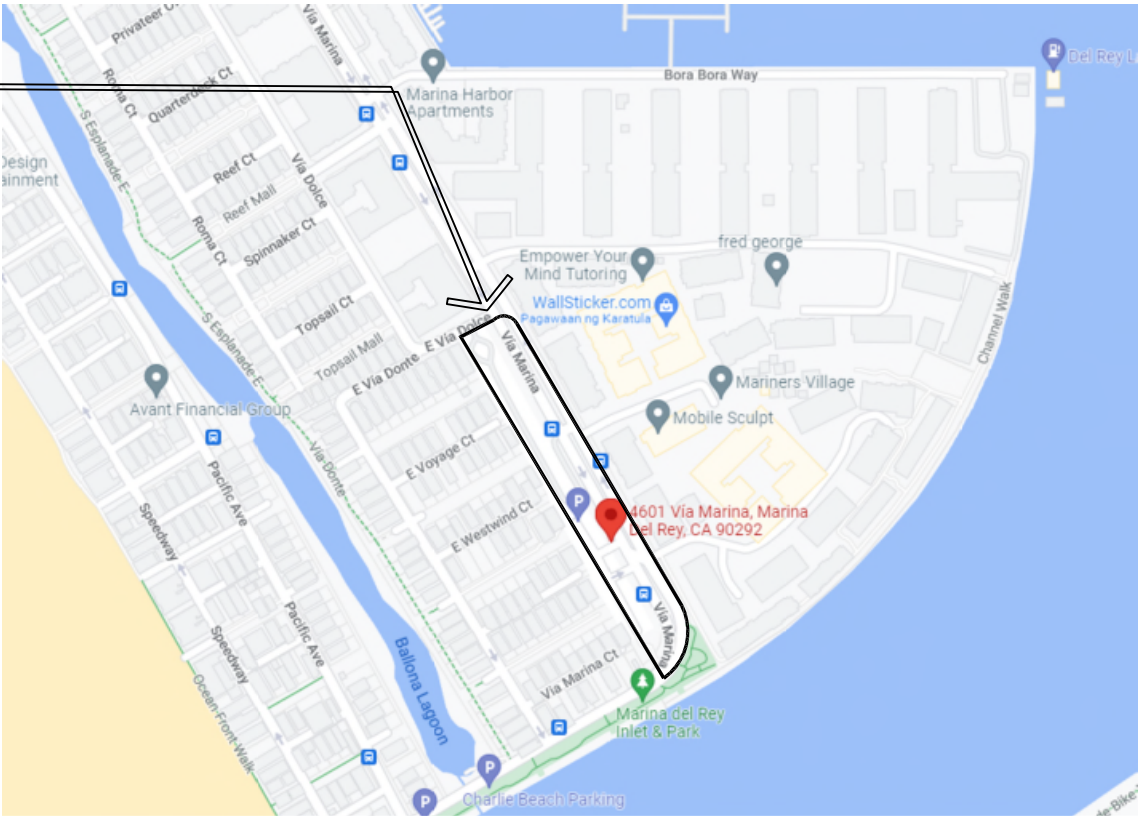
COUNTY LOT 13

4601 VIA MARINA, MARINA DEL REY, CA 90292

SITE PLAN NO SCALE

PROJECT LOCATION

COUNTY LOT 13, 4601 VIA MARINA,
MARINA DEL REY, CA 90292



DRAWING INDEX

SHEET INDEX	DESCRIPTION
T-1	SITE PLAN AND DRAWING INDEX
S-1	TOPOGRAPHIC SURVEY
S-2	TOPOGRAPHIC SURVEY
C-1A	DEMOLITION PLAN, ENLARGED DEMOLITION PLAN, LEGEND AND DEMOLITION NOTES
C-1B	ENLARGED DEMOLITION PLAN
C-2A	CONSTRUCTION PLANS, ENLARGED CONSTRUCTION PLAN, LEGEND AND CONSTRUCTION NOTES
C-2B	ENLARGED CONSTRUCTION PLAN AND DETAILS
C-3	DETAILS
LP-001	PLANTING PLAN
LP-002	PLANTING PLAN
LD-001	PLANTING DETAIL
LI-001	IRRIGATION PLAN
LI-002	IRRIGATION PLAN
LID-001	IRRIGATION DETAILS
ST-1	NEW STRIPING PLAN AND DETAILS
RF-1	DRIVEWAYS & STANDARD PLAN NO. S-440-4
RF-2	STANDARD PLAN NO. S-440-4

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

REV.	DATE	BY	APP.	DESCRIPTION

DESIGNED BY MAM
DRAWN BY MM
CHECKED AW
DATE OCT. 2021



LOS ANGELES COUNTY

METROPOLITAN TRANSPORTATION AUTHORITY

PROGRAM MANAGEMENT

RECOMMENDED

DATE

APPROVED

DATE

NEW BUS TERMINAL LOOP

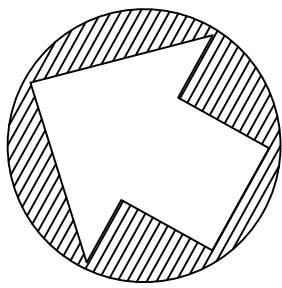
COUNTY LOT 13

4601 VIA MARINA, MARINA DEL REY, CA 90292

LOCATION MAP, SITE PLAN

AND DRAWING INDEX

FILE/JOB NUMBER
SCALE AS NOTED
DWG. NO. T-1
SHEET



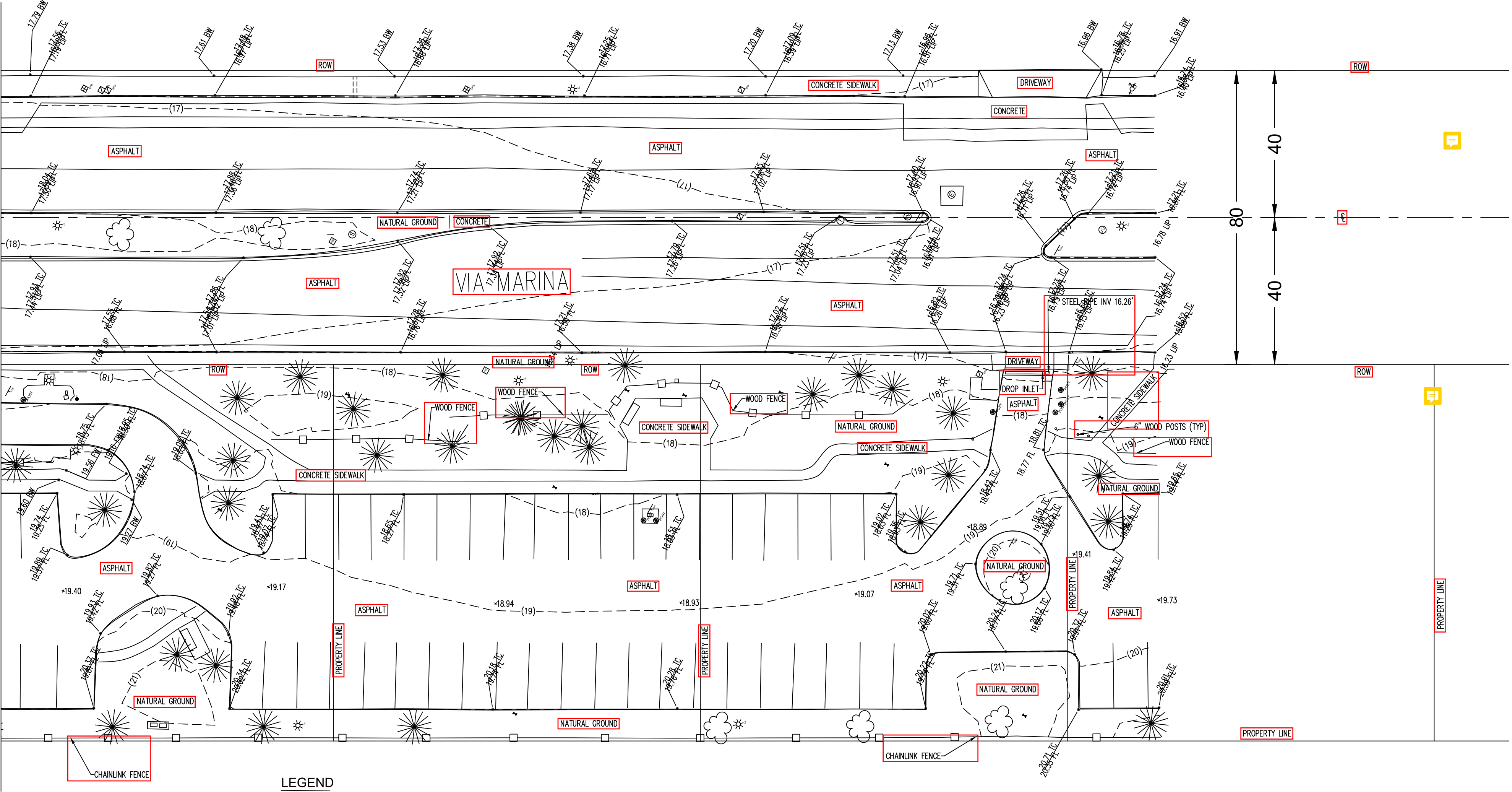
NOTE:
COORDINATES SHOWN ARE BASED ON THE CALIFORNIA
COORDINATE SYSTEM (CCS83), ZONE V, 1983 NAD (2017.50 EPOCH)

BEARINGS ARE BASED ON THE BEARING BETWEEN CALIFORNIA
SPATIAL REFERENCE CENTER CONTINUOUS GPS STATIONS "WRHS"
TO "LFRS" BEING N5°22'33"E

ELEVATIONS ARE BASED ON CITY OF LOS ANGELES BENCH MARK
"17-02173", DESCRIBED AS "SPK W CURB PACIFIC AV 21FT S/O C/L
PROD SPINNAKER ST."
ELEV. = 14.324 FEET (NAVD 88, YEAR OF ADJUSTMENT, 2000)

DATE OF SURVEY: NOVEMBER, 2021

MATCH LINE SHEET 2



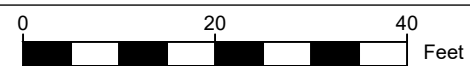
SURVEY SHEET INDEX



- LINE TYPE LEGEND

 - RIGHT-OF-WAY
 - - - STREET CENTERLINE
- LEGEND

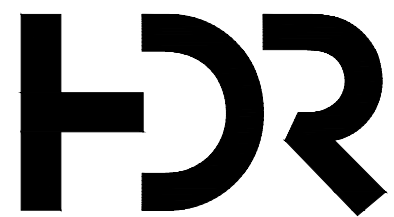
 - COMM. PULLBOX
 - DECIDUOUS TREE
 - DRAINAGE MANHOLE
 - ELEC. MAINT. HOLE
 - ELEC. PULLBOX
 - EVERGREEN TREE
 - FENCE
 - FIRE HYDRANT
 - GAS VALVE
 - GUY ANCHOR
 - IRR CONTROL VALVE
 - LIGHT STANDARD
 - PALM TREE
 - POST
 - POWER POLE
 - SEWER MANHOLE
 - SIGN
 - UNKNOWN PULLBOX
 - VALVE VAULT
 - WATER METER



Project Status Project Issue Date

NOTE: THESE DRAWINGS WERE ORIGINALLY PRODUCED AT 22x34 SHEET SIZE. PRINTING AT A DIFFERENT SHEET SIZE WILL AFFECT THE GRAPHIC SCALES.

REV	DATE	BY	APP	DESCRIPTION



DESIGNED BY	J. WOLF
DRAWN BY	J. WOLF
CHECKED BY	A. GARCIA
DATE	12/2/21



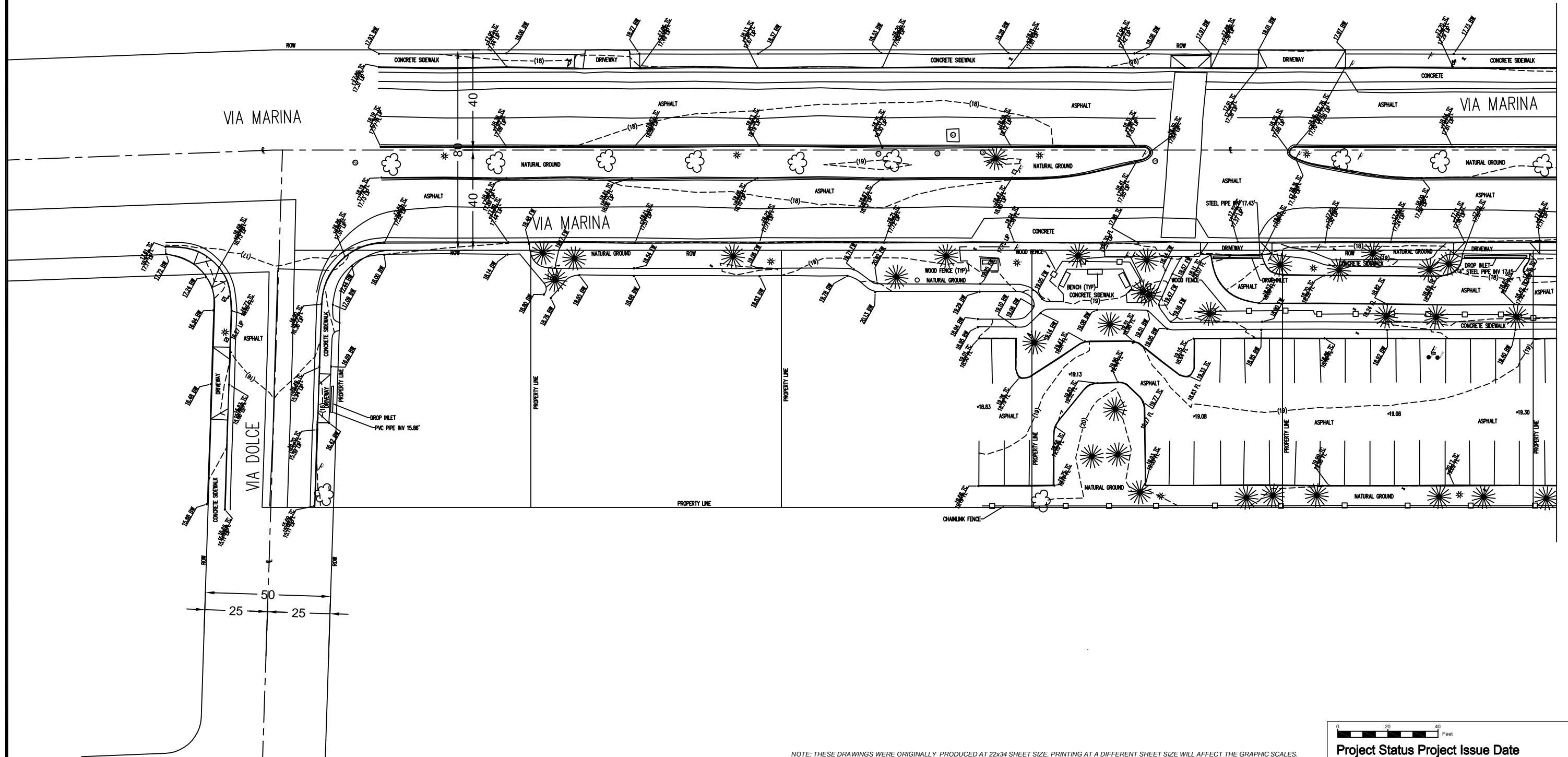
LOS ANGELES COUNTY METROPOLITAN
TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

RECOMMENDED DATE APPROVED DATE

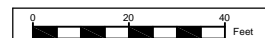
COUNTY OF LA LOT 13	CONTRACT NO.
TOPOGRAPHIC SURVEY	DRAWING NO. T-100 SCALE 1"=20' SHEET NO. S-1

REV.	0

11/22/2021 11:34:05 AM



NOTE: THESE DRAWINGS WERE ORIGINALLY PRODUCED AT 22x34 SHEET SIZE. PRINTING AT A DIFFERENT SHEET SIZE WILL AFFECT THE GRAPHIC SCALES.



Project Status Project Issue Date

REV	DATE	BY	APP	DESCRIPTION



DESIGNED BY	J. WOLF
DRAWN BY	A. GARCIA
CHECKED BY	
DATE	12/21



LOS ANGELES COUNTY METROPOLITAN
TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

RECOMMENDED	DATE	APPROVED	DATE
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COUNTY OF LA LOT 13
TOPOGRAPHIC SURVEY

CONTRACT NO.	
DRAWING NO.	T-100
SCALE	1"=20'
SHEET NO.	S-2

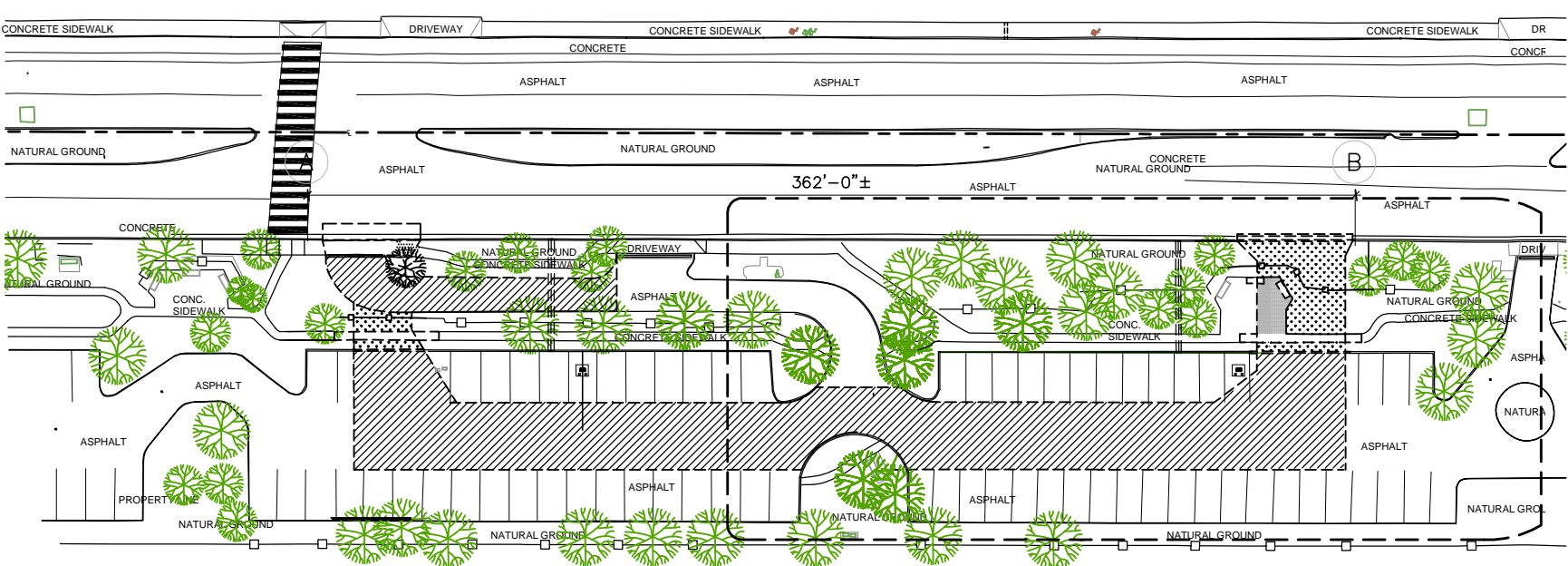
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LEGEND

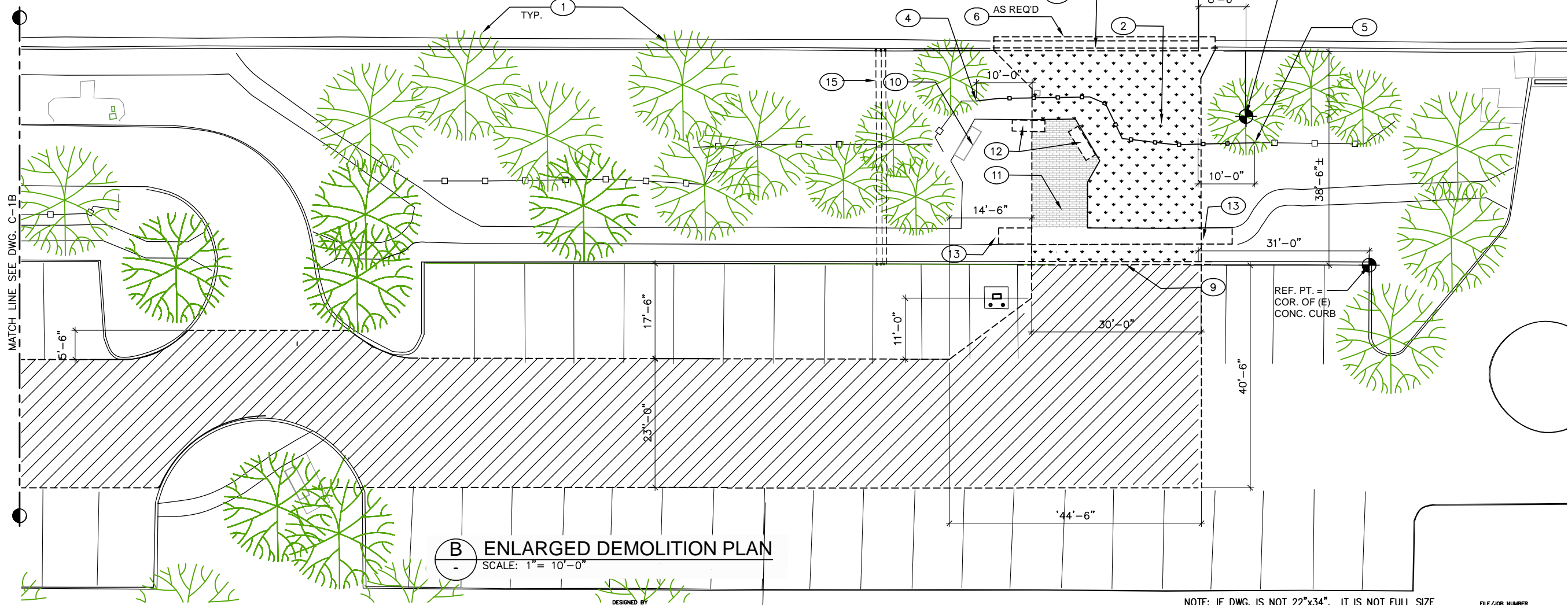
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING NATURAL GROUND TO BE REMOVED UP TO FULL DEPTH OF NEW CONCRETE PAVEMENT. REMOVE EXISTING TIMBER BARRIER FENCE WITHIN THE AREA.
- EXISTING TIMBER BARRIER FENCE TO REMAIN AND TO BE PROTECTED
- EXISTING ASPHALT TO BE REMOVED UP TO FULL DEPTH OF NEW CONCRETE PAVEMENT.
- EXISTING CONCRETE SLAB TO BE REMOVED UP TO FULL DEPTH OF NEW CONCRETE PAVEMENT.
- EXISTING CONCRETE CURB TO REMAIN

DEMOLITION NOTES:

- 1. PROTECT EXISTING TREES AND FOLLOW RECOMMENDATIONS AS DIRECTED IN TREE ASSESMENT REPORT DATED AUGUST 23rd, 2021.
- 2. ALL PULLBOXES IN PROPOSED ENTRANCE DRIVEWAY MUST BE RELOCATED OUTSIDE THE DRIVEWAY.
- 3. REMOVE TRENCH DRAIN.
- 4. BEGIN REMOVAL OF TIMBER BARRIER FENCE.
- 5. END REMOVAL OF TIMBER BARRIER FENCE.
- 6. SAWCUT LINE.
- 7. REMOVE EXISTING DRIVEWAY ENTRANCE.
- 8. REMOVE/RELOCATE ONE WAY SIGN.
- 9. REMOVE EXISTING CONCRETE CURB AND GUTTER.
- 10. BENCH TO REMAIN IN PLACE.
- 11. REMOVE EXISTING BRICK PAVING.
- 12. REMOVE EXISTING BENCH.
- 13. REMOVE EXISTING SIDEWALK.
- 14. EXISTING DRIVEWAY TO REMAIN
- 15. EXISTING 3 DRAINAGE PIPES TO REMAIN



A DEMOLITION PLAN
SCALE: 1"= 20'-0"



B ENLARGED DEMOLITION PLAN
SCALE: 1"= 10'-0"

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

REV.	DATE	BY	APP.	DESCRIPTION



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DRAWN BY
MM
CHECKED
AW
DATE
OCT. 2021



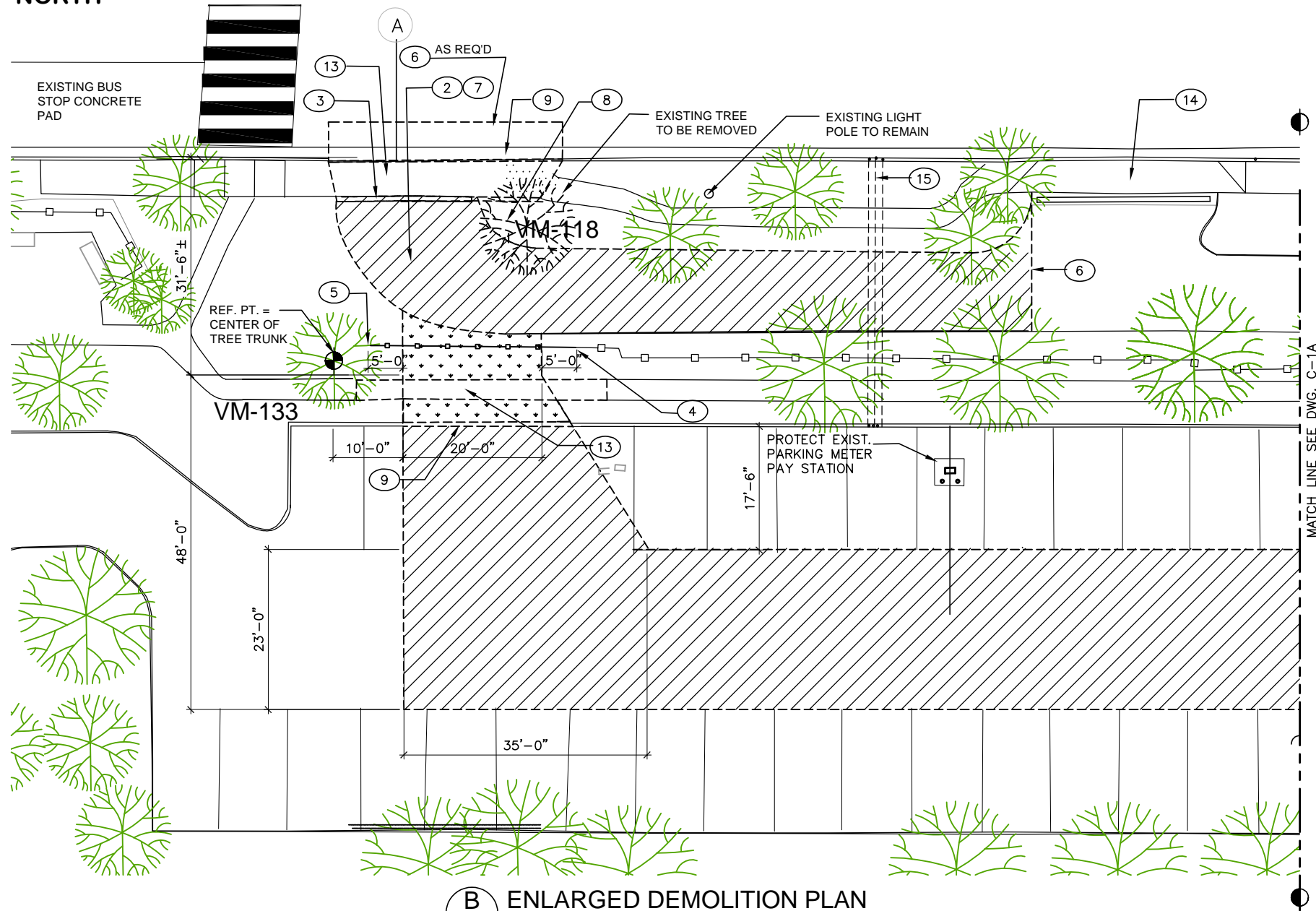
LOS ANGELES COUNTY
METROPOLITAN TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

RECOMMENDED DATE APPROVED DATE

NEW BUS TERMINAL LOOP
COUNTY LOT 13
4601 VIA MARINA, MARINA DEL REY, CA 90292

DEMOLITION PLAN, ENLARGED DEMOLITION PLAN
DEMOLITION NOTES AND LEGEND

FILE/JOB NUMBER
SCALE AS NOTED
DWG. NO. C-1A
SHEET



B ENLARGED DEMOLITION PLAN
SCALE: 1" = 10'-0"

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

REV.	DATE	BY	APP.	DESCRIPTION



MAM
DRAWN BY MM
CHECKED AW
DATE OCT. 2021



FILE/JOB NUMBER

LOS ANGELES COUNTY
METROPOLITAN TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

RECOMMENDED

DATE

APPROVED

DATE

NEW BUS TERMINAL LOOP COUNTY LOT 13 4601 VIA MARINA, MARINA DEL REY, CA 90292
ENLARGED DEMOLITION PLAN

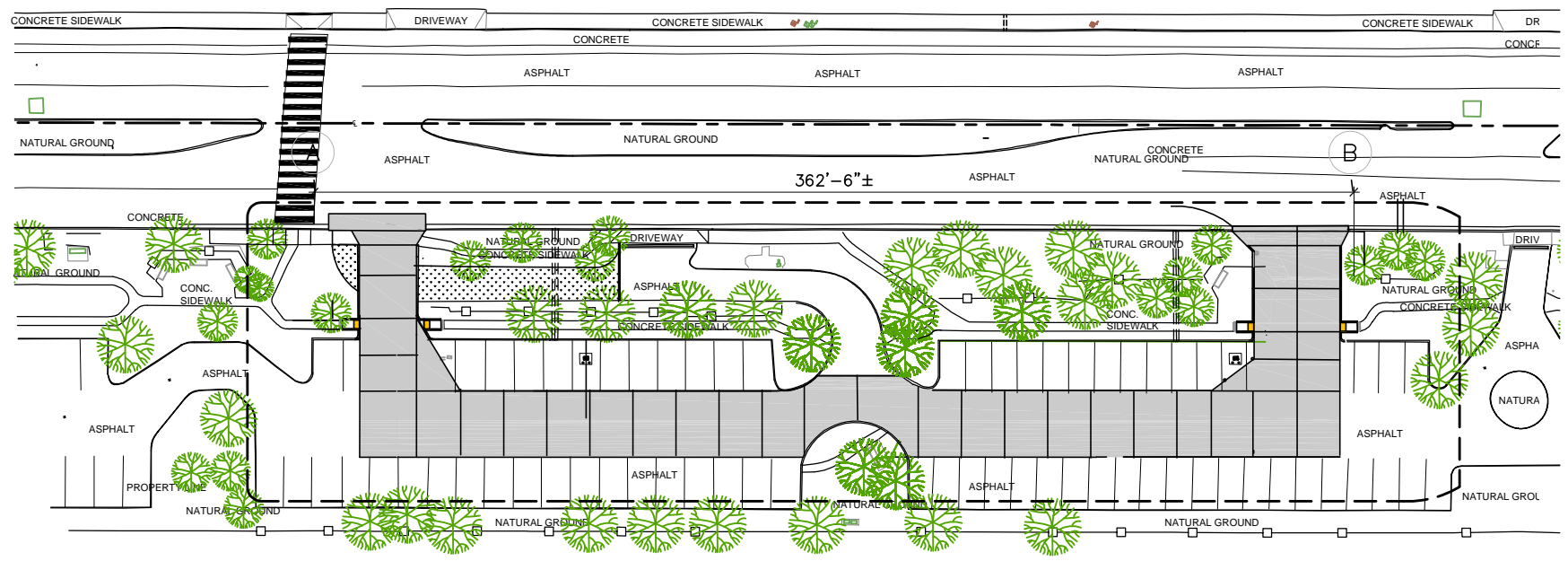
SCALE AS NOTED
DWG. NO. C-1B
SHEET

LEGEND

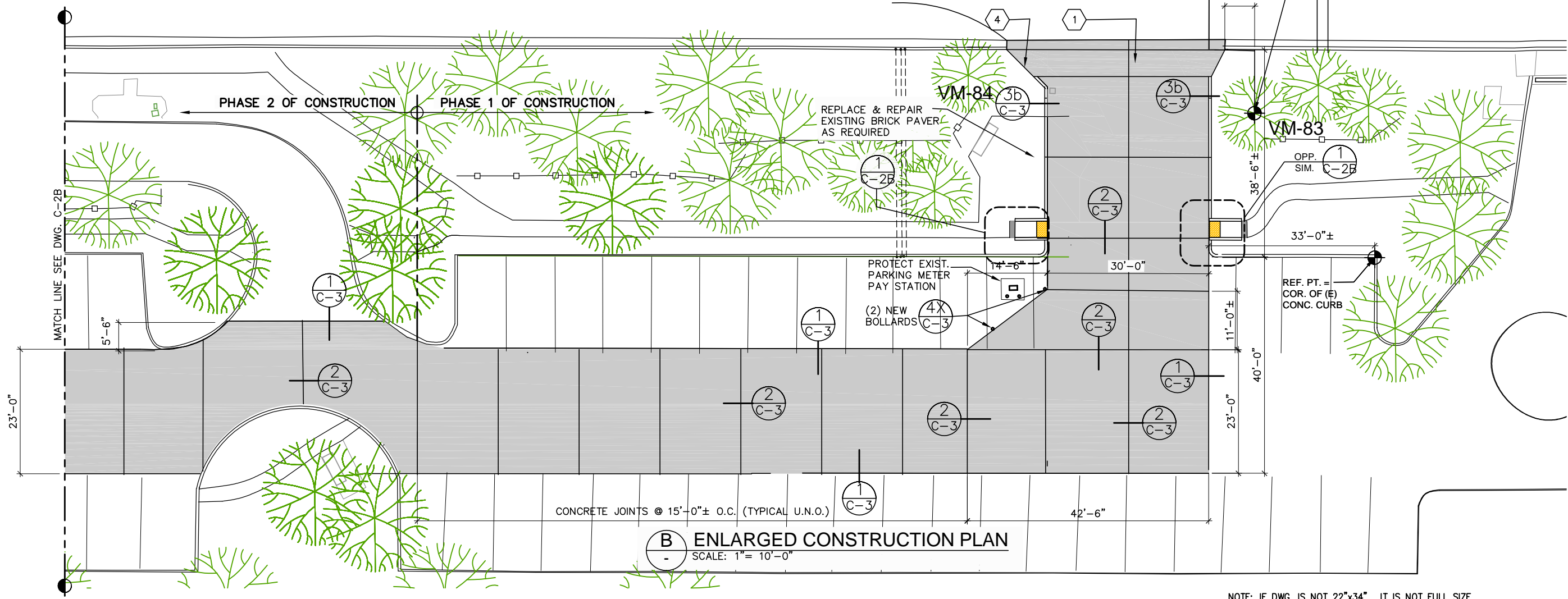
- EXISTING TREE TO REMAIN
- NEW LANDSCAPE AREA. SEE LANDSCAPING PLAN.
- EXISTING WOOD FENCE TO REMAIN AND TO BE PROTECTED
- NEW CONCRETE SLAB SEE DETAILS
- EXISTING CONCRETE CURB TO REMAIN

CONSTRUCTION NOTES:

- 1 CITY OF LOS ANGELES STANDARD DRIVEWAY CASE 1
W= 26'-0"
X= 3'-0"
Y= 5'-0"
- 2 CITY OF LOS ANGELES STANDARD DRIVEWAY CASE 2
W= 36'-0"
X= 3'-0"
Y= 5'-0" TO MATCH EXISTING
- 3 10'-0" BACK FROM THE BACK OF SIDEWALK - START 5'-0" TAPER OF CURB FROM 6" TO 0" BOTH SIDES.
- 4 10'-0" BACK FROM THE BACK OF STREET - START 5'-0" TAPER OF CURB FROM 6" TO 0" BOTH SIDES.



A CONSTRUCTION PLAN
SCALE: 1"= 30'-0"



B ENLARGED CONSTRUCTION PLAN
SCALE: 1"= 10'-0"

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

REV.	DATE	BY	APP.	DESCRIPTION

DESIGNED BY

DRAWN BY
MM
CHECKED
AW
DATE
OCT. 2021

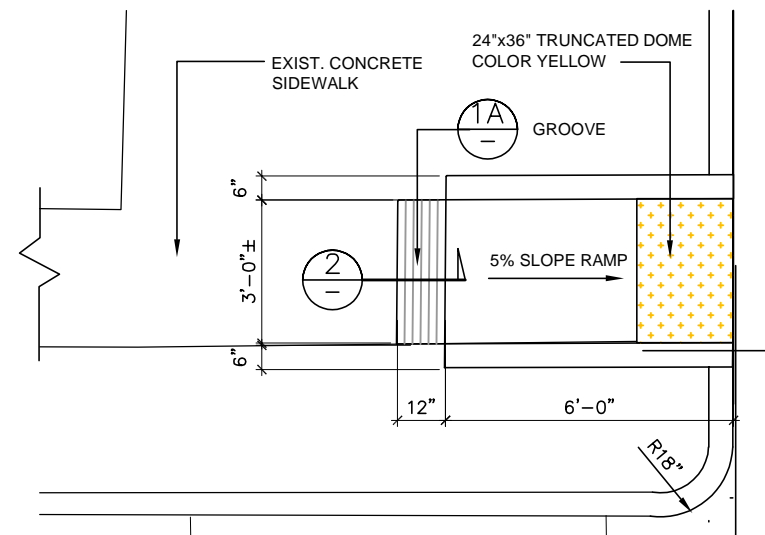
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LOS ANGELES COUNTY
METROPOLITAN TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

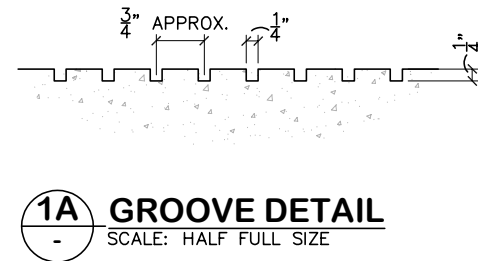
NEW BUS TERMINAL LOOP
COUNTY LOT 13
4601 VIA MARINA, MARINA DEL REY, CA 90292

CONSTRUCTION PLAN, ENLARGED CONSTRUCTION PLAN
CONSTRUCTION NOTED AND LEGEND

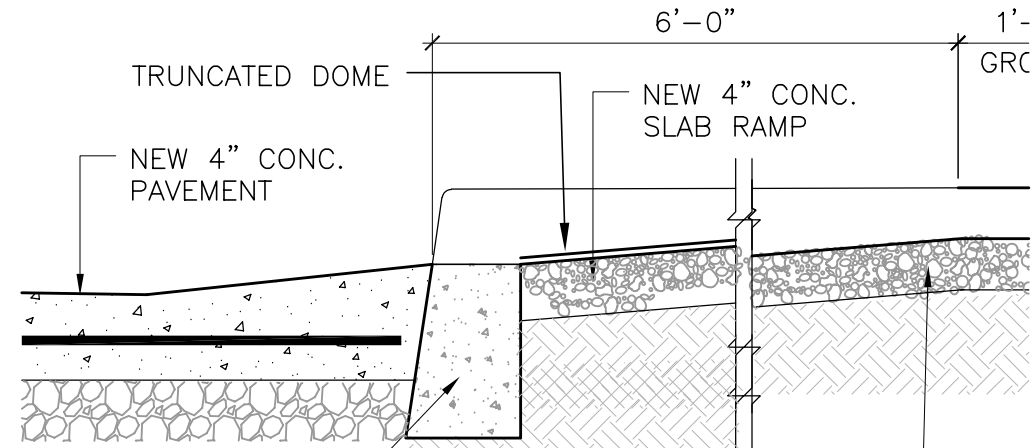
FILE/JOB NUMBER	SCALE	AS NOTED
DWG. NO.	C-2A	
SHEET		



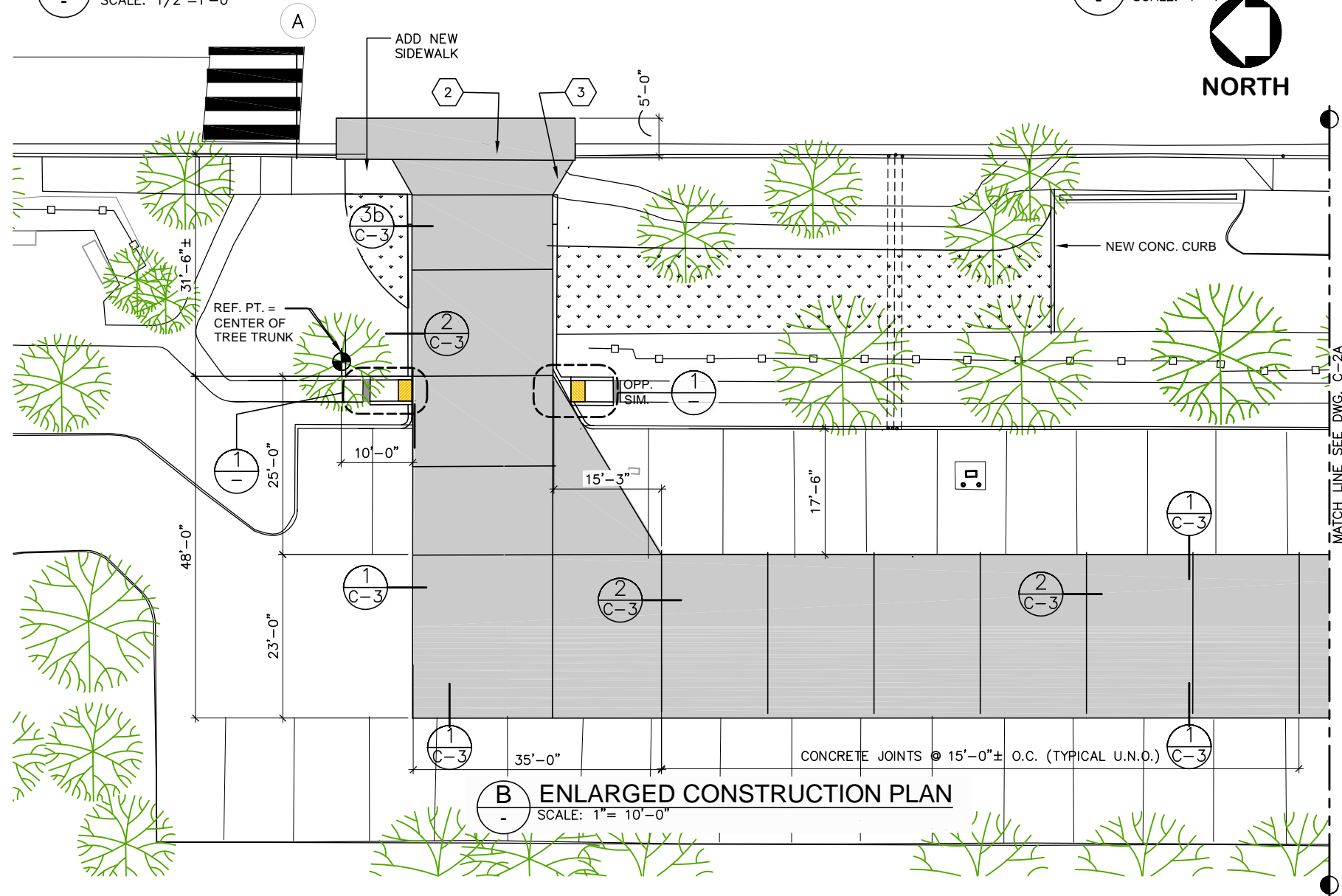
1 HC RAMP PLAN
SCALE: 1/2"=1'-0"



1A GROOVE DETAIL
SCALE: 1/2"=1'-0"



2 NEW HC RAMP SECTION DETAIL
SCALE: 1/2"=1'-0"



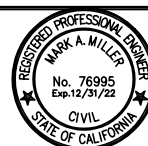
B ENLARGED CONSTRUCTION PLAN
SCALE: 1"=10'-0"



NORTH

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

REV.	DATE	BY	APP.	DESCRIPTION



DESIGNED BY
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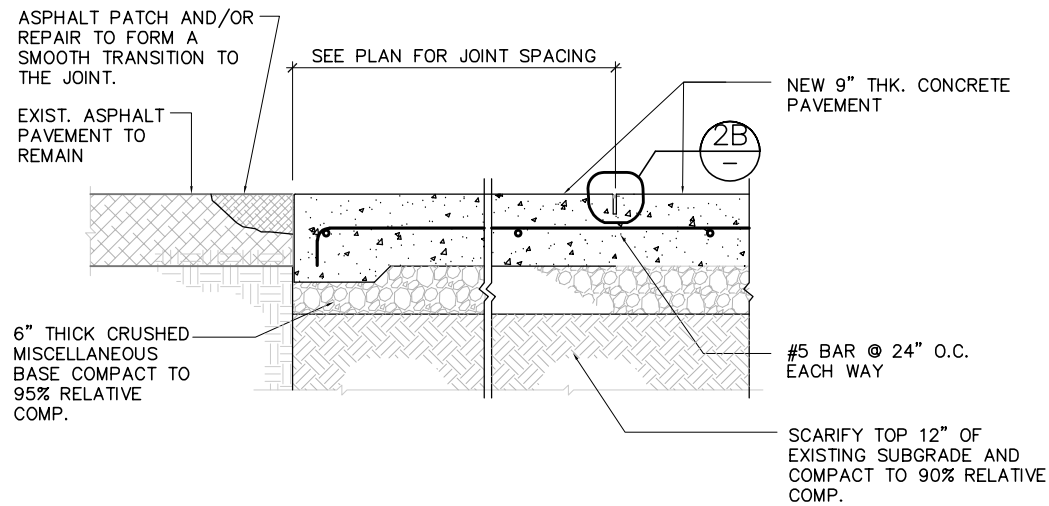


LOS ANGELES COUNTY
METROPOLITAN TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

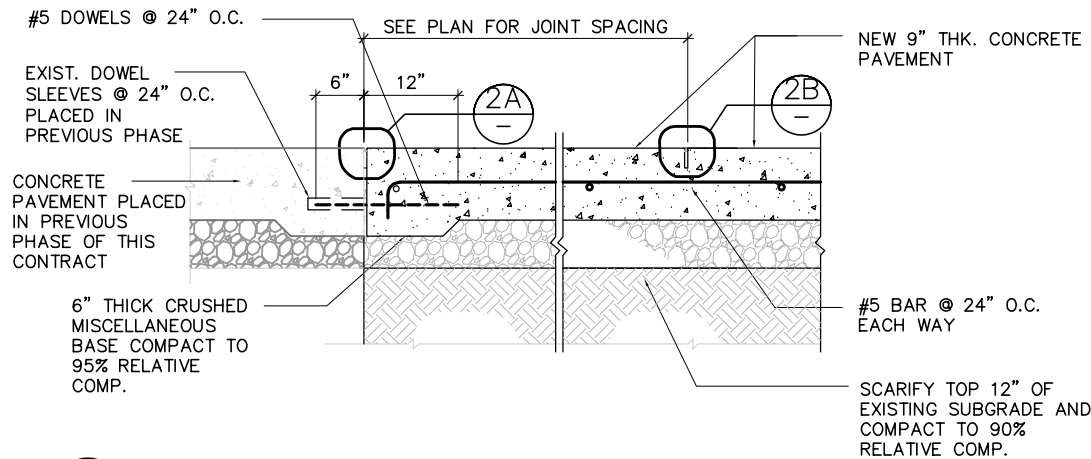
NEW BUS TERMINAL LOOP
COUNTY LOT 13
4601 VIA MARINA, MARINA DEL REY, CA 90292

ENLARGED CONSTRUCTION PLAN
AND DETAILS

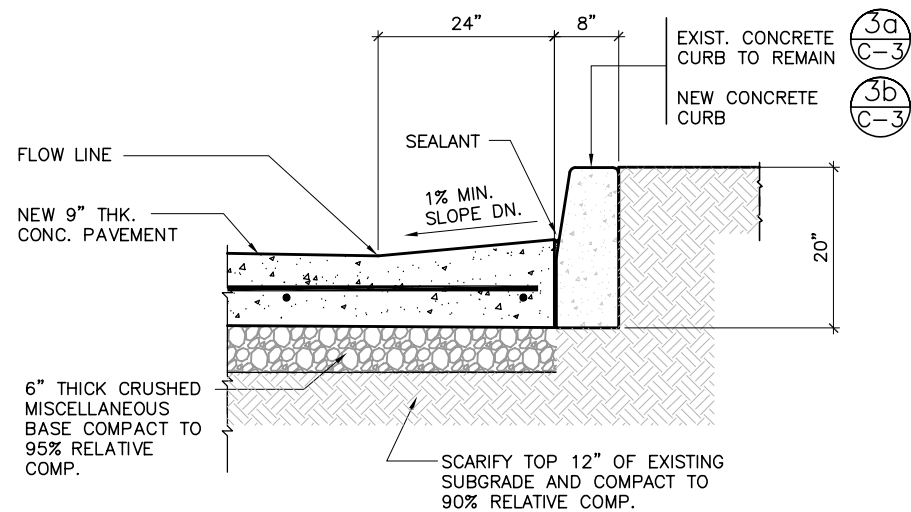
FILE/JOB NUMBER	
SCALE	AS NOTED
DWG. NO.	C-2B
SHEET	



1 CONCRETE/ASPHALT PAVEMENT DETAIL
SCALE: 1"=1'-0"

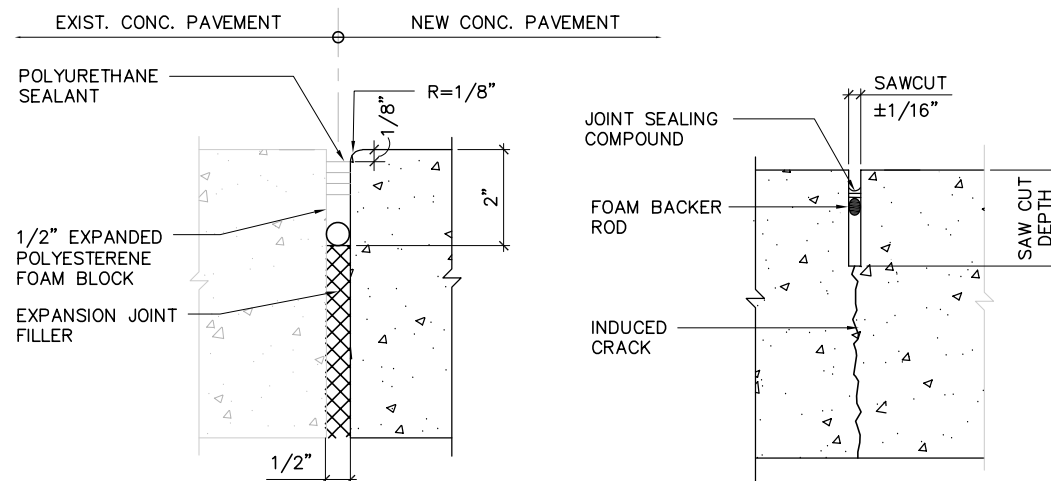


2 CONCRETE JOINT PAVEMENT DETAIL
SCALE: 1"=1'-0"



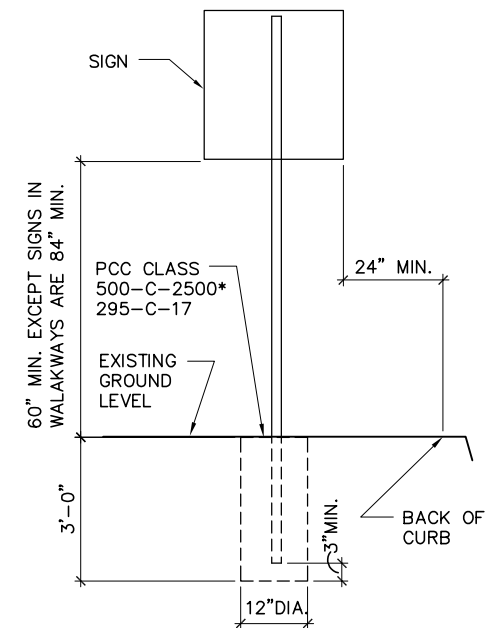
3a NEW CONC.PAV. / EXIST. CONC. CURB DETAIL
SCALE: 1"=1'-0"

3b NEW CONC.PAV. / NEW CONC. CURB DETAIL
SCALE: 1"=1'-0"

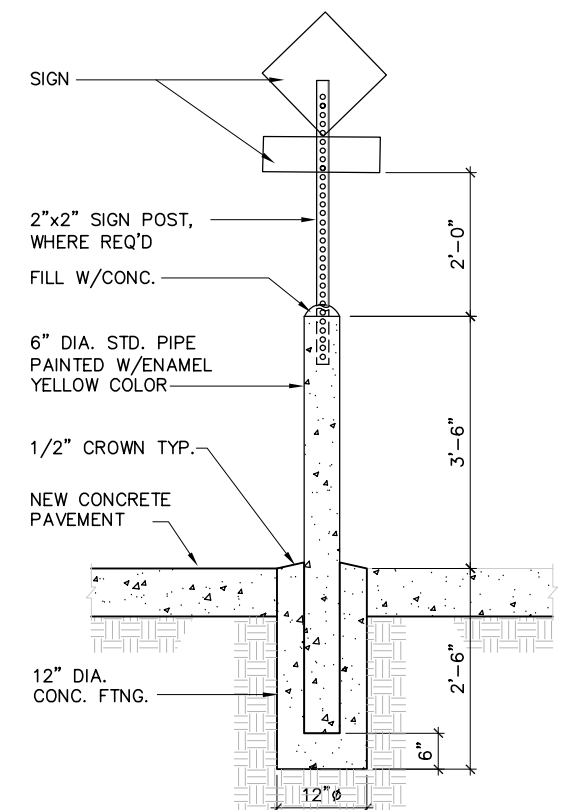


2A DETAIL
SCALE: 6"=1'-0"

2B DETAIL
SCALE: 6"=1'-0"



5 SIGN ON POST DETAIL
N.T.S.

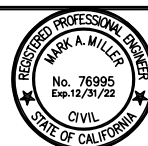


4 SIGN ON BOLLARD DETAIL
SCALE: 3/4"=1'-0"

4X BOLLARD DETAIL
SCALE: 3/4"=1'-0"
SAME AS 4 ABOVE BUT WITHOUT POST & SIGN

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

REV.	DATE	BY	APP.	DESCRIPTION



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MAM
DRAWN BY
MM
CHECKED
AW
DATE
OCT. 2021



LOS ANGELES COUNTY
METROPOLITAN TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

RECOMMENDED DATE APPROVED DATE

NEW BUS TERMINAL LOOP
COUNTY LOT 13
4601 VIA MARINA, MARINA DEL REY, CA 90292

DETAILS

FILE/JOB NUMBER

SCALE AS NOTED

DWG. NO. C-3

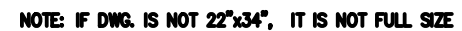
SHEET





1. LANDSCAPE DRAWINGS REFLECT IMPROVEMENTS ASSOCIATED TO SITE DEVELOPMENT WITH REGARD TO DESCRIPTIONS OF PLANTING AND IRRIGATION ONLY. REFER TO APPROPRIATE DISCIPLINES FOR OTHER ASSOCIATED SITE IMPROVEMENTS DESIGN AND DOCUMENTATION.
2. CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH ENGINEER, SITE SUPERINTENDENT, APPROPRIATE AGENCIES AND AS-BUILT CONSTRUCTION DOCUMENTATION FOR THE LOCATIONS OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS INCLUDING PLANT MATERIALS AND IRRIGATION SYSTEM THAT ARE DAMAGED DURING CONSTRUCTION.
4. ALL EXISTING DRAIN LINES SHALL BE PROTECTED IN PLACE. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING DRAIN LINE THAT ARE DAMAGED DURING CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL DRAIN LINES, IRRIGATION SUPPLY LINES, CONDUIT, SLEEVES, ETC. SHALL BE IN PLACE PRIOR TO INSTALLATION OF SITE LANDSCAPE CONSTRUCTION.
6. ALL LIMIT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
7. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL CODES AND ORDINANCES.
8. CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS AND UNSUITABLE MATERIAL GENERATED BY THE CONTRACTOR'S OPERATIONS. CONSTRUCTION SITE SHALL BE MAINTAINED AT ALL TIMES SO THAT NO OBSTRUCTION, CONSTRUCTION EQUIPMENT OR CONSTRUCTION PROCESS CAUSES POTENTIAL HARM OR DANGER TO PUBLIC OR CONSTRUCTION SITE. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR NEGLIGENCE.
9. THE CONTRACTOR SHALL VERIFY THE MEASUREMENT OR LOCATION PRIOR TO BEGINNING WORK. IMMEDIATELY BRING DISCREPANCIES TO THE ATTENTION OF THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
10. CONTRACTOR SHALL PERFORM ALL PROTECTION, DEMOLITION, REMOVAL AND SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK SHOWN ON THE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS.
11. ALL SUBCONTRACTOR'S WORK SHALL BE UNDER PRIME CONTRACTOR'S CONTRACT.
12. QUANTITIES NOTED ON PLAN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES.
13. TREE PROTECTION FENCE SHALL BE INSTALLED PER TREE ASSESSMENT REPORT PREPARED BY JTL CONSULTANTS DATED AUGUST 23, 2021.
14. TREE REMOVAL, TREE TRIMMING, EXCAVATION WITHIN OR NEAR THE DRIP LINE OF THE TREES SHALL BE PERFORMED PER TREE ASSESSMENT REPORT PREPARED BY JTL CONSULTANTS DATED AUGUST 23, 2021.

1. A MINIMUM 3-INCH LAYER OF ORGANIC MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
2. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES FOR SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
3. FILL SHRUBS AND GRASSES IN ALL PLANTERS FROM EDGE TO EDGE WITHOUT VOID PER PLANT SPACING NOTED IN THE PLANT LEGEND.
4. REPLACE ALL EXISTING PLANTS DAMAGED BY CONSTRUCTION ACTIVITIES WITH IN-KIND.

TREES	BOTANICAL NAME	COMMON NAME	Q'TY	SIZE	SPACING	WUCOL	PLANT FACTOR
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	1	24" BOX	AS SHOWN	L	.20
SHRUBS & GROUND COVER							
	CARISSA MACROCARPA 'TOMLINSON'	TOMLINSON NATAL PLUM	50	5 GAL	AS SHOWN	L	.20
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	112	5 GAL	36" O.C.	M	.30

 EXISTING TREE TO REMAIN
 EXISTING TREE TO BE REMOVED
 EXISTING TIMBER BARRIER FENCE TO REMAIN
 PA
 EXISTING PLANTING AREA

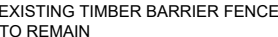


				<div>PROJECT FIRM</div> <div><div></div><div>Maintenance Design Group</div><div>350 S. GRAND AVE. SUITE 2900 LOS ANGELES, CA 90017 T: 213.239.5800</div></div>				<div>DESIGNED BY</div> <div>CD</div> <div>DRAWN BY</div> <div>CD</div> <div>CHECKED</div> <div>YK</div> <div>DATE</div> <div>MAR. 2022</div>				<div></div> <div>LOS ANGELES COUNTY METROPOLITAN TRANSPORTATION AUTHORITY PROGRAM MANAGEMENT</div> <div>RECOMMENDEDDATEAPPROVEDDATE</div>				<div>PROPOSED BUS TERMINAL LOOP COUNTY LOT 13 4601 VIA MARINA, MARINA DEL REY, CA 90292</div> <div>FILE/JOB NUMBER</div> <div>SCALE</div> <div>AS NOTED</div> <div>DWG. NO.</div> <div>LP-001</div> <div>SHEET</div> <div>1 OF 6</div>							
				<div>ISSUING FIRM</div> <div><div></div><div>YKD</div><div>2629 FOOTHILL BLVD. #204 LA CRESCENTA, CA 91214 T: (213) 220-9699</div></div>												PLANTING PLAN							
3/10/2022				PLAN CHECK SUBMITTAL																			
REV. DATE BY APP.				DESCRIPTION																			



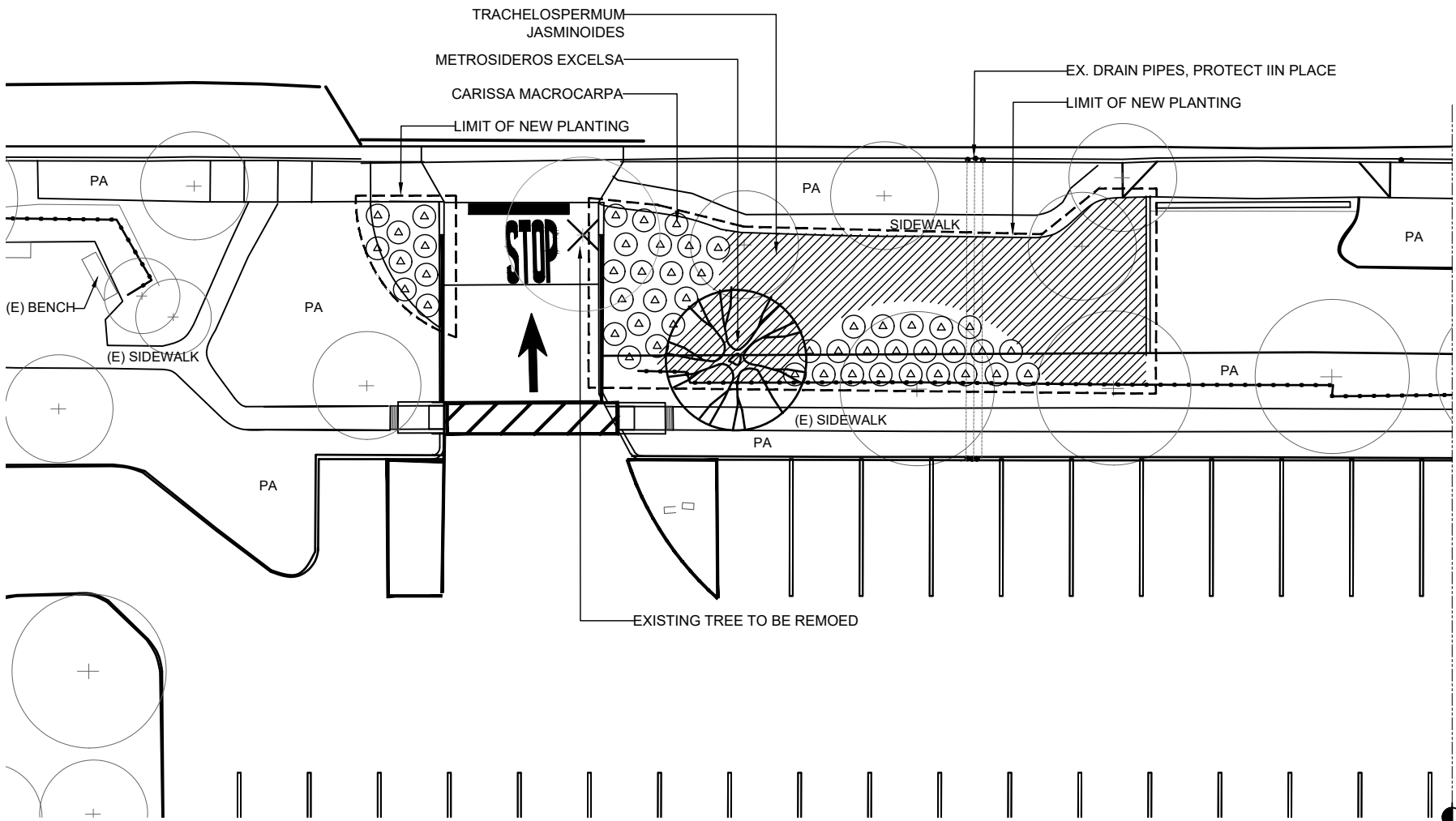
PLANTING SCHEDULE							
TREES	BOTANICAL NAME	COMMON NAME	Q'TY	SIZE	SPACING	WUCOL	PLANT FACTOR
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	1	24" BOX	AS SHOWN	L	.20
SHRUBS & GROUND COVER							
	CARISSA MACROCARPA 'TOMLINSON'	TOMLINSON NATAL PLUM	49	5 GAL	AS SHOWN	L	.20
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	112	5 GAL	36" O.C.	M	.30

LEGEND



PA

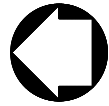
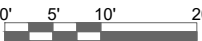
EXISTING PLANTING AREA



PLANTING PLAN

$$1'' = 10'-0''$$


NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE



NORTH

[illegible]

PROJECT PRIME	<div data-bbox="876 1828 938 1848">  </div> <div data-bbox="938 1828 1081 1856"> <div data-bbox="938 1828 969 1848"> Maintenance Design Group </div> <div data-bbox="969 1828 1081 1856"> 350 S. GRAND AVE. SUITE 2900 LOS ANGELES, CA 90017 T: 213.239.5800 </div> </div>
DRAWING DESIGNER	<div data-bbox="876 1848 938 1856">  </div> <div data-bbox="938 1848 1081 1856"> 2629 FOOTHILL BLVD., #204 LA CRESCENTA, CA 91214 T: (213) 220-9699 </div>



CD
DRAWN BY CD
CHECKED YK
DATE MAR. 2022



FILE/JOB NUMBER
LOS ANGELES COUNTY
METROPOLITAN TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

RECOMMENDED	DATE	APPROVED	DATE
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PROPOSED BUS TERMINAL LOOP
COUNTY LOT 13
4601 VIA MARINA, MARINA DEL REY, CA 90292

PLANTING PLAN

SCALE	AS NOTED
DWG. NO.	LP-002
SHEET	2 OF 6

IRRIGATION NOTES:

1. THIS DESIGN IS DIAGRAMMATIC ONLY. ALL EQUIPMENT SHOWN ON PAVED AREAS IS FOR GRAPHIC CLARITY PURPOSES ONLY AND SHALL BE INSTALLED INSIDE PLANTING AREAS WHENEVER POSSIBLE. EXACT ROUTING TO BE DETERMINED ON SITE. ANY EQUIPMENT INSTALLED IN PAVED AREAS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

2. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO LOCAL BUILDING AND PLUMBING CODES HAVING JURISDICTION.

3. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION. AS WELL AS METRO DESIGN CRITERIA FOR AREAS WITHIN METRO ROW.

4. IF IT IS FOUND DURING INSTALLATION THAT THE SITE VARIES FROM THE DRAWINGS, NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR HIS DULY APPOINTED REPRESENTATIVE IMMEDIATELY PRIOR TO PROCEEDING WITH INSTALLATION.

5. COORDINATE THE INSTALLATION OF ALL IRRIGATION MATERIALS, INCLUDING PIPING WITH THE LANDSCAPE DRAWINGS TO AVOID INTERFERING WITH THE PLANTING OF TREES, SHRUBS, OR OTHER PLANT MATERIALS.

6. NOTE ACCURATELY ON ONE SET OF REPRODUCIBLE PRINTS OF THE DRAWING, RECORD PLAN KEPT UP TO DATE AS THE PROJECT IS UNDER CONSTRUCTION. DIMENSION FROM TWO FIXED POINTS OF REFERENCE, THE LOCATION OF THE PRESSURE SUPPLY LINE ROUTING, DIRECTIONAL TURNS, ALL VALVES AND ALL MAJOR EQUIPMENT. AS-BUILT PLANS TO BE TURNED OVER AFTER PROJECT ACCEPTANCE BY THE CITY. MAINTAIN RECORD DRAWINGS AND SPECIFICATIONS ON SITE AT ALL TIMES. RECORD DRAWINGS SHALL BE UPDATED WEEKLY. SITE REVIEWS WILL NOT BE CONDUCTED WITHOUT THESE DRAWINGS.

7. ALL PIPE AND WIRES CROSSING HARDSCAPE SHALL BE INSTALLED INSIDE SLEEVE. REFER TO SPECIFICATIONS (32 80 00) FOR ADDITIONAL INFORMATION.
8. EXCAVATE TRENCHES TO SUFFICIENT DEPTH TO PROVIDE COVERAGE OF 18" OVER ALL PRESSURE SUPPLY LINES AND 12" OVER ALL NON-PRESSURE SUPPLY LINES. UNLESS OTHERWISE NOTED ON DRAWINGS, WHEN PIPING IS LOCATED UNDER PAVED AREAS, CONSIDER DIMENSION TO BE BELOW SUB-GRADE.

9. COMPACT BACKFILL FOR TRENCHING TO A DRY DENSITY EQUAL TO THE ADJACENT UNDISTURBED SOIL, CONFORMING TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER IRREGULARITIES.

10. IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO DEFINE AREAS AS REQUIRED TO DETERMINE EXACT LOCATION OF IRRIGATION HEADS PRIOR TO INSTALLATION.

11. REFER TO IRRIGATION SPECIFICATIONS (32 80 00) FOR ADDITIONAL INFORMATION PERTAINING TO IRRIGATION SYSTEM.

12. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING SYSTEM INSTALLATION AND AT FINAL WALK THROUGH AS NECESSARY FOR CONFORMANCE ASSURANCE, CONFLICTS WITH UTILITIES, STRUCTURES, ETC.

13. LOCATIONS OF IRRIGATION CONTROLLER, BACK FLOW PREVENTION DEVICE, WATER METER AND VALVES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS ON SITE.

14. IRRIGATION SYSTEM SHALL BE IN GOOD OPERATING CONDITION DURING THE CONSTRUCTION. IF IRRIGATION SYSTEM NEEDS TO BE TURNED OFF FOR CONSTRUCTION, CONTRACTOR SHALL HAND WATER ALL EXISTING PLANTS.

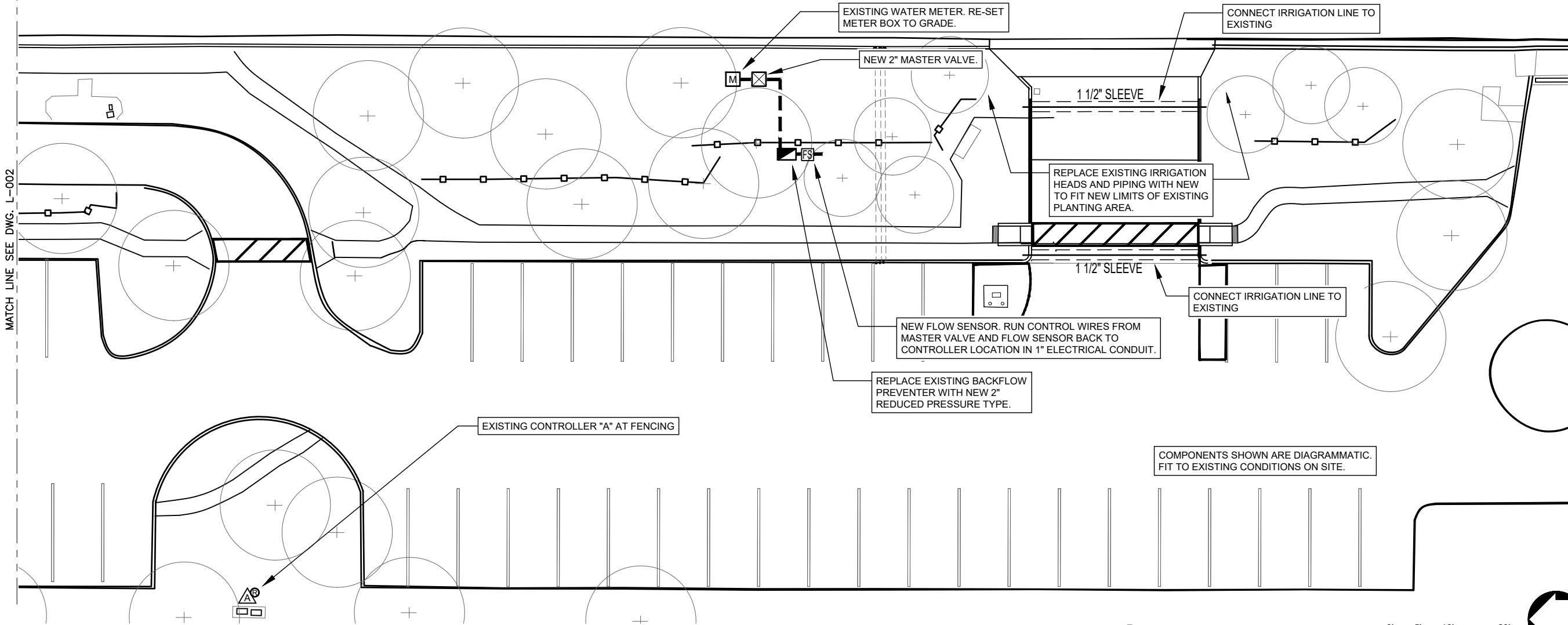
15. REPLACE ALL EXISTING IRRIGATION EQUIPMENT DAMAGED BY THE CONSTRUCTION WITHOUT ADDITIONAL COST TO THE OWNER.

IRRIGATION EQUIPMENT LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL/TYPE	SIZE	DETAIL #/SHEET
	MASTER CONTROL VALVE	SUPERIOR	3100 N/O (LINE SIZE)	SEE PLAN	B / LD001
	REMOTE CONTROL VALVE	EXISTING		SEE PLAN	
	BACKFLOW PREVENTER IN BACKFLOW ENCLOSURE	FEBCO / WILKINS / STRONG BOX	825Y W/ WYE FILTER / 600 SERIES / BC-45CR	SEE PLAN	C, D / LD001
	FLOW SENSOR	RAIN BIRD	FS-100P	1"	F / LD001
	WATER METER	EXISTING		SEE PLAN	
	IRRIGATION CONTROLLER	EXISTING		SEE PLAN	
	LATERAL LINE	U.S. PLASTICS	SCH. 40 PVC	SEE PLAN	A / LD001
	PIPE SLEEVE	U.S. PLASTICS	SCH. 40 PVC (2X DIAMETER OF PIPE)		

IRRIGATION NOZZLES LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	BODY	RADIUS	GPM	PSI	DETAIL # /SHEET
	POP-UP SPRAY	RAINBIRD	6VAN Q	1812	5'	0.30	20	5 / LD-002
	POP-UP SPRAY	RAINBIRD	6VAN H	1812	5'	0.49	20	5 / LD-002
	POP-UP SPRAY	RAINBIRD	10H	1812	10'	0.65	20	5 / LD-002
	POP-UP SPRAY	RAINBIRD	10F	1812	10'	1.30	20	5 / LD-002
	POP-UP SPRAY	RAINBIRD	15H	1812	15'	0.75	20	5 / LD-002
	POP-UP SPRAY	RAINBIRD	15Q	1812	15'	1.50	20	5 / LD-002



IRRIGATION PLAN

1" = 10'-0"

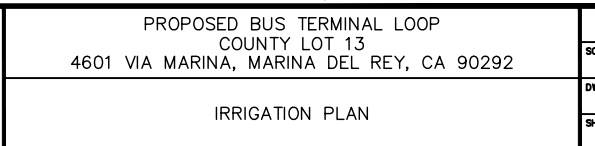


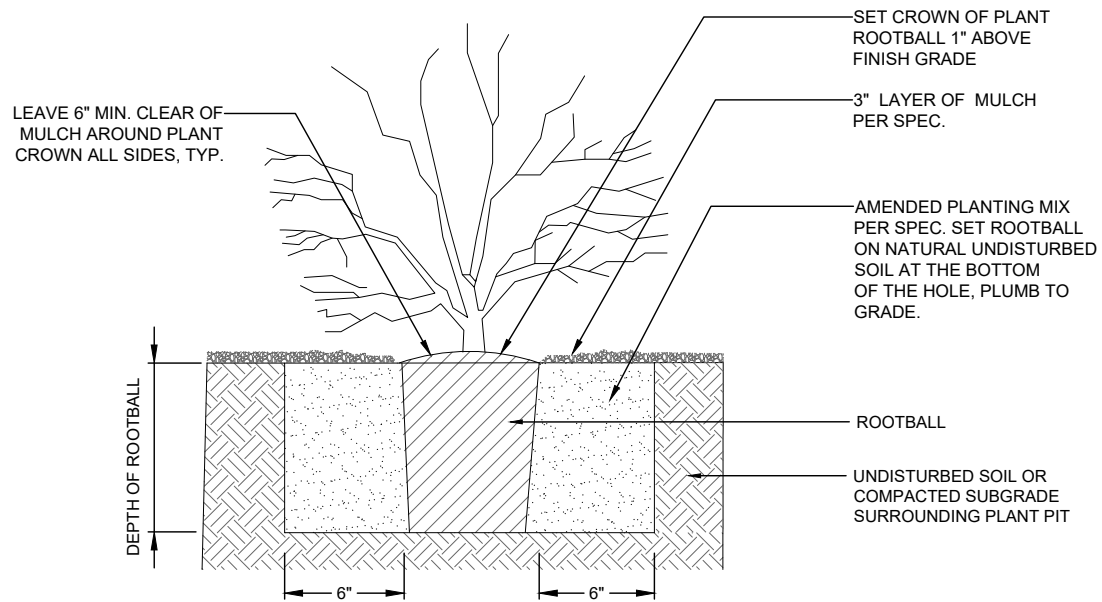
0' 5' 10' 20'



NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

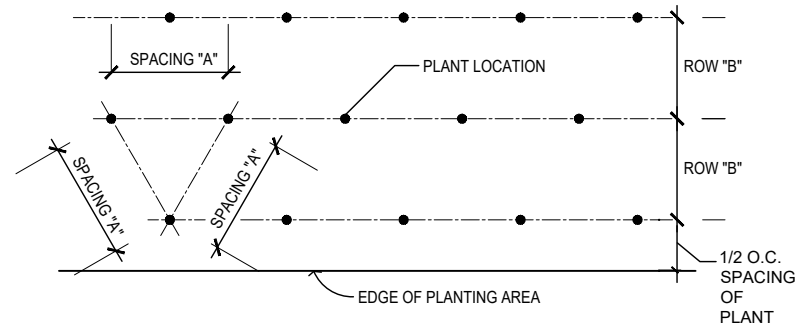
				PROJECT FIRM Maintenance Design Group 350 S. GRAND AVE. SUITE 2900 LOS ANGELES, CA 90017 T: 213.239.5800		DESIGNED BY CD DRAWN BY CD CHECKED YK DATE MAR. 2022		LOS ANGELES COUNTY METROPOLITAN TRANSPORTATION AUTHORITY PROGRAM MANAGEMENT		PROPOSED BUS TERMINAL LOOP COUNTY LOT 13 4601 VIA MARINA, MARINA DEL REY, CA 90292		FILE/JOB NUMBER
				DRAWING DESIGNER YKD 2629 FOOTHILL BLVD., #204 LA CRESCENTA, CA 91214 T: (213) 220-9699						IRRIGATION PLAN		SCALE AS NOTED
												DWG. NO. LI-001
												SHEET 4 OF 6





SHRUB/GROUND COVER PLANTING
NO SCALE

2

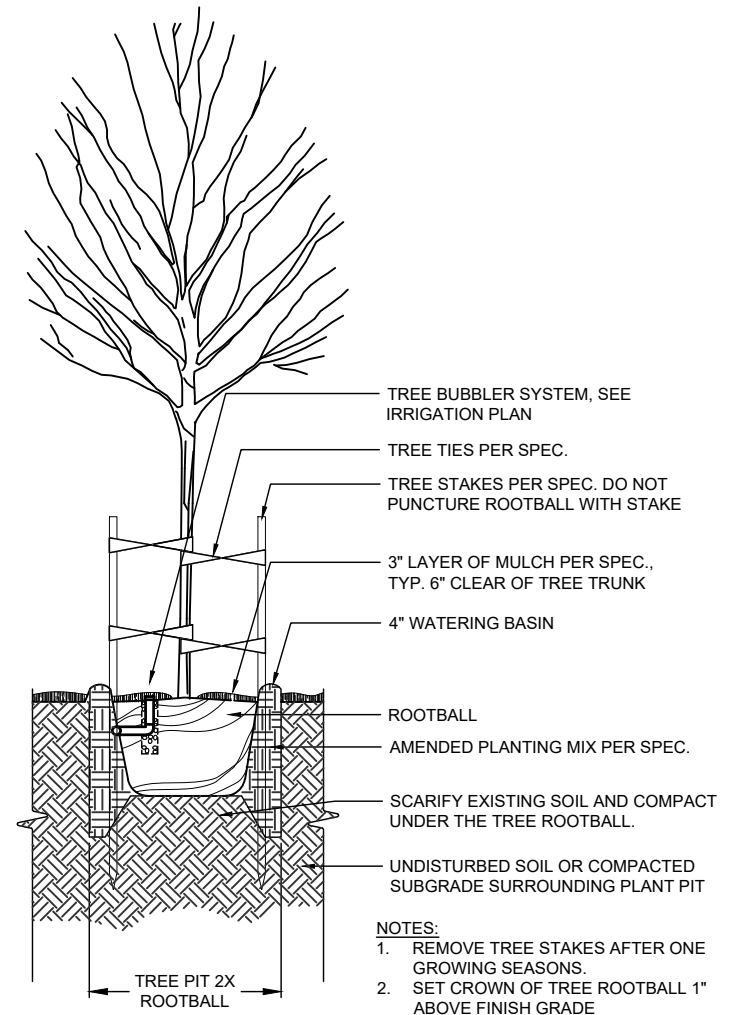


SPACING "A"	ROW SPACING "B"
12" O.C.	10 3/8" O.C.
18" O.C.	15 5/8" O.C.
24" O.C.	20 3/4" O.C.
30" O.C.	26 " O.C.
36" O.C.	31 1/8" O.C.

NOTE: REFER TO PLANTING SCHEDULE (LP-001) FOR PLANT SPACING REQUIREMENTS.

SHRUB/GROUND COVER SPACING
NO SCALE

3

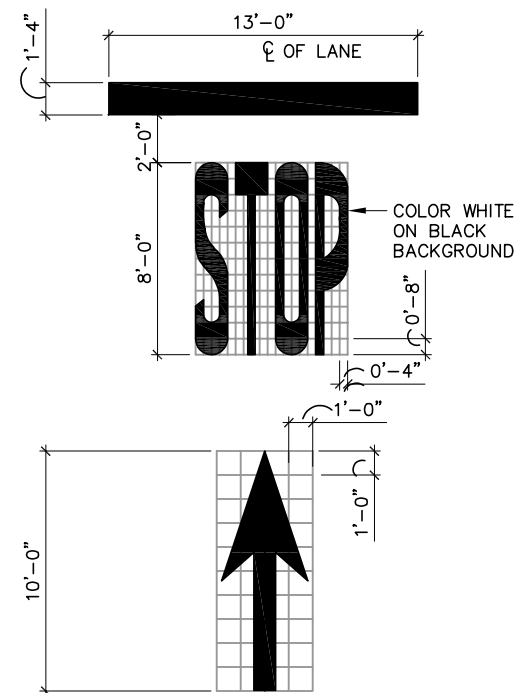
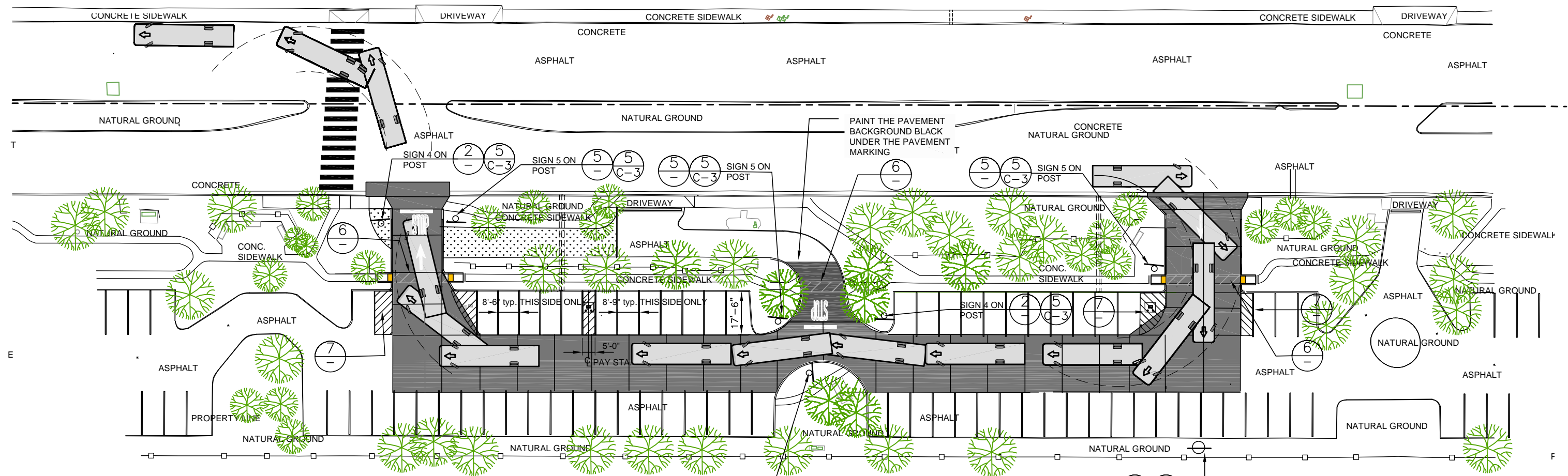


- NOTES:
1. REMOVE TREE STAKES AFTER ONE GROWING SEASONS.
 2. SET CROWN OF TREE ROOTBALL 1" ABOVE FINISH GRADE

TREE PLANTING
NO SCALE

1

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE



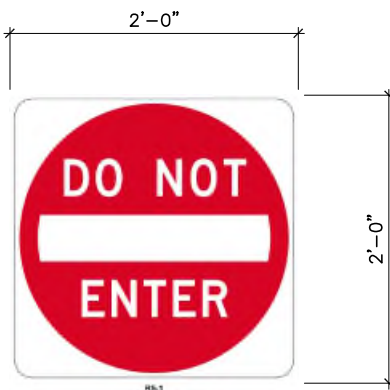
1 THERMOPLASTIC PAVEMENT MARKING DETAILS
SCALE: 1/4"=1'-0"

EXISTING NO. OF PARKING STALLS	137
PROPOSED NO. OF PARKING STALLS	131
EXISTING NO. OF ADA PARKING STALLS	4
PROPOSED NO. OF ADA PARKING STALLS	4

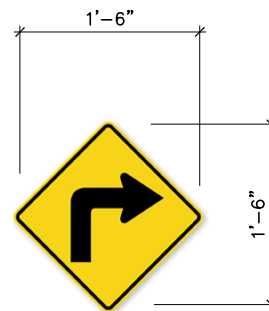
NOTES:

1. THE TYPICAL STALL WIDTH IS 9'-0" UNLESS NOTED OTHERWISE.
2. THE TYPICAL STALL LENGTH IS 17'-6"

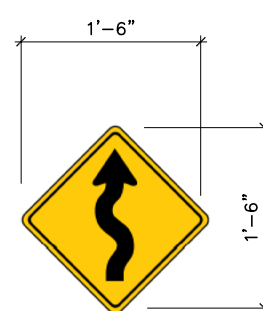
A STRIPING PLAN
NOT TO SCALE



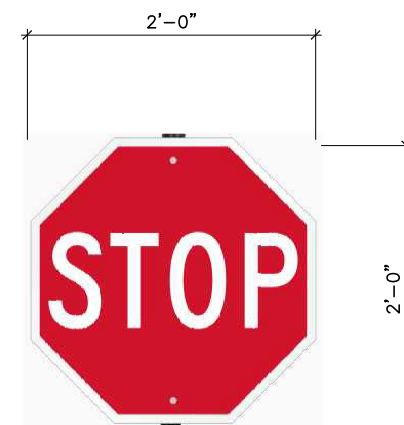
2 DO NOT ENTER SIGN
NOT TO SCALE



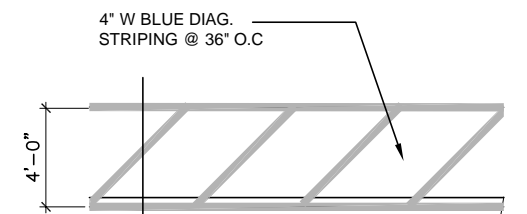
3 RIGHT TURN ONLY
NOT TO SCALE



4 CURVED ROAD
NOT TO SCALE



5 STOP SIGN
NOT TO SCALE



6 HC WALKWAY STRIPING
NOT TO SCALE



7 NO PARKING STRIPING
NOT TO SCALE

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

REV.	DATE	BY	APP.	DESCRIPTION

DESIGNED BY	MAM
DRAWN BY	MM
CHECKED	AW
DATE	OCT. 2021



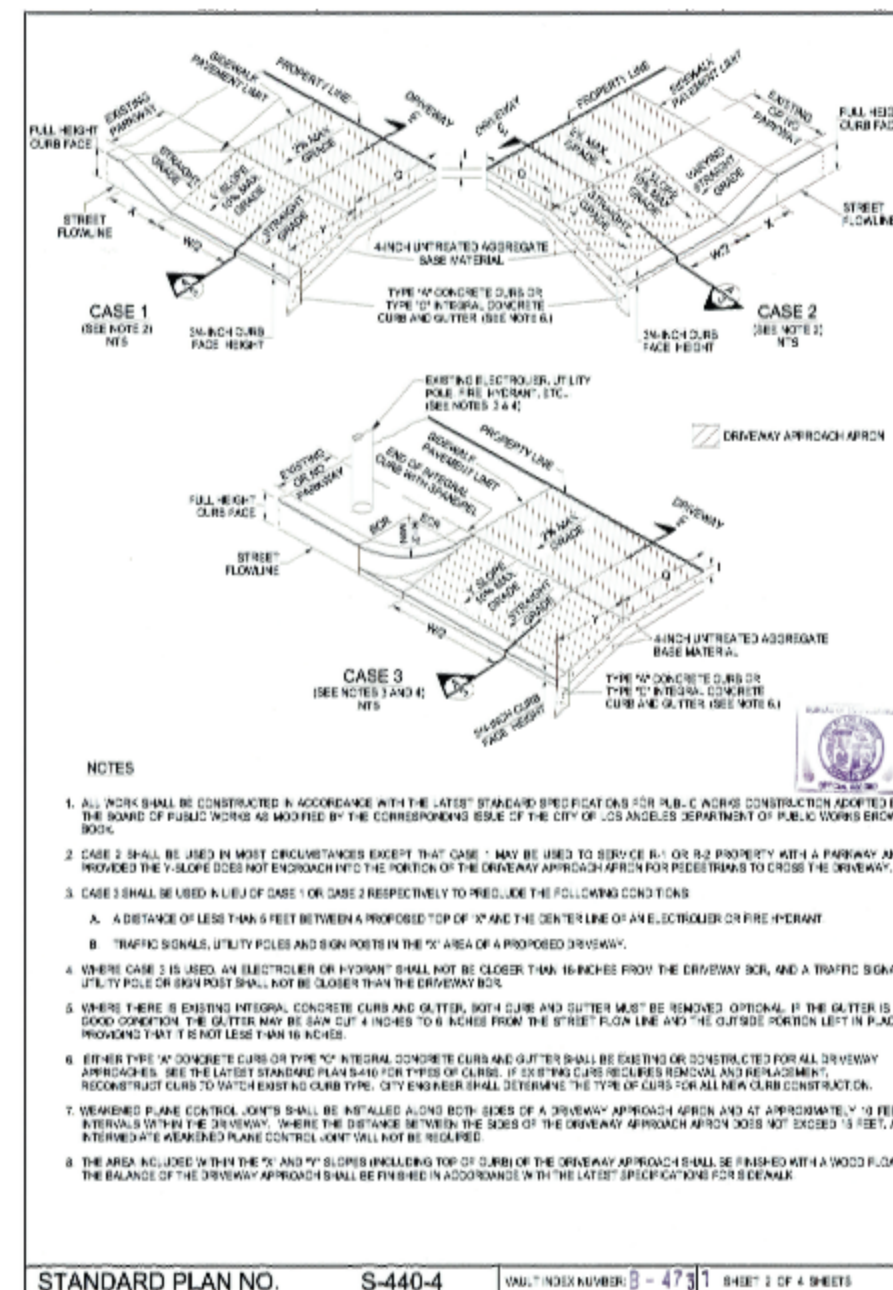
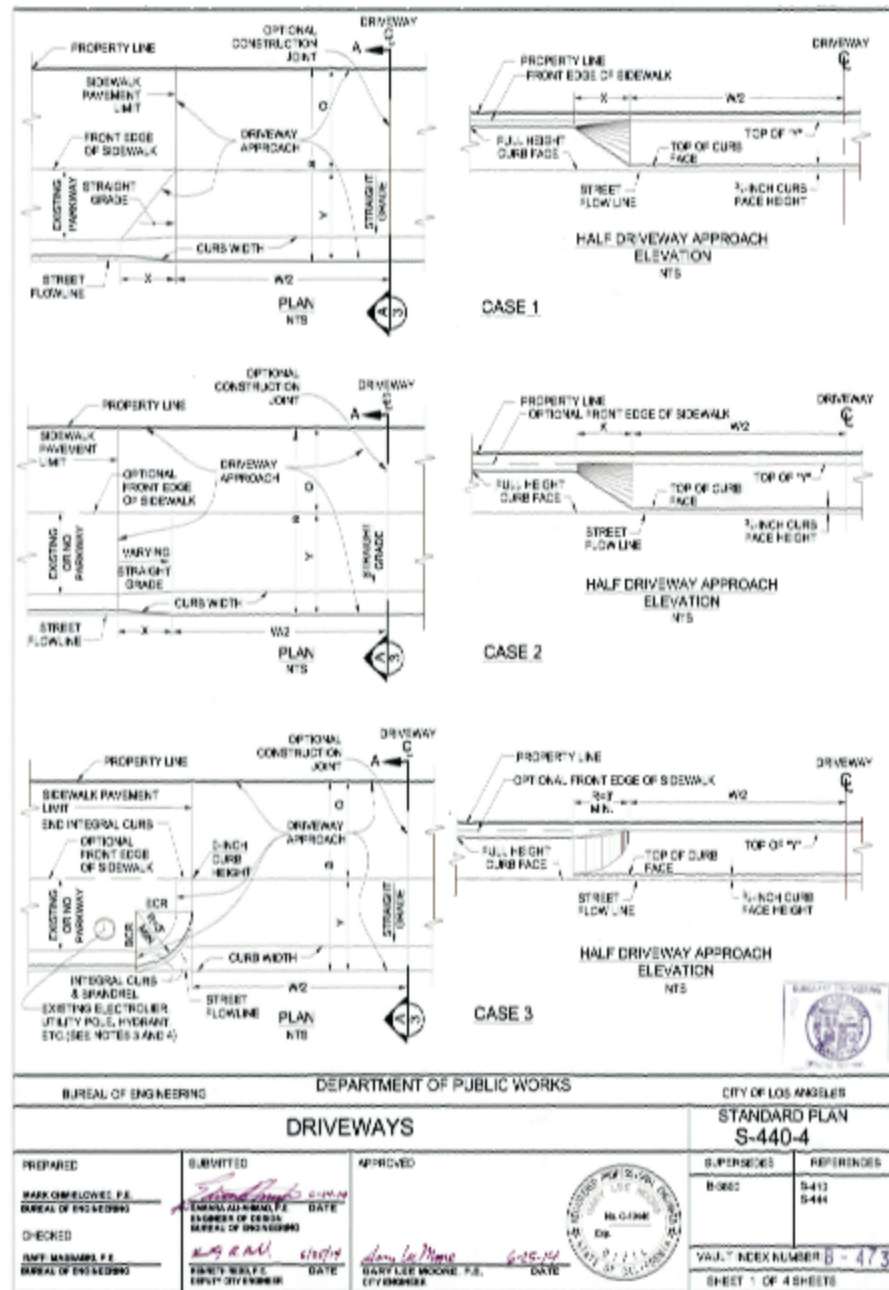
LOS ANGELES COUNTY METROPOLITAN TRANSPORTATION AUTHORITY PROGRAM MANAGEMENT

RECOMMENDED DATE APPROVED DATE

NEW BUS TERMINAL LOOP
COUNTY LOT 13
4601 VIA MARINA, MARINA DEL REY, CA 90292

NEW STRIPING PLAN AND DETAILS

FILE/JOB NUMBER	
SCALE	AS NOTED
DWG. NO.	ST-1
SHEET	



NO.	DATE	BY	APP.	DESCRIPTION

DESIGNED BY	MAN
DRAWN BY	MAN
CHECKED BY	MAN
DATE	OCT. 2021



LOS ANGELES COUNTY
METROPOLITAN TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

RECOMMENDED DATE APPROVED DATE

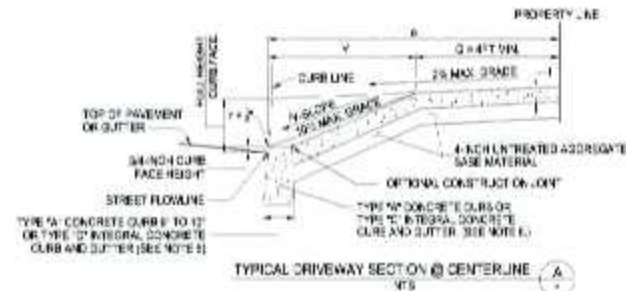
PROPOSED BUS TERMINAL LOOP COUNTY LOT 13 4501 VIA MARINA, MARINA DEL REY, CA 90232	FILE/REV NUMBER
DRIVEWAYS DEPARTMENT OF PUBLIC WORKS STANDARD PLAN NO. S-440-4	SCALE AS NOTED
	REV. NO. RF - 1
	SHEET

E. DEFINITIONS AND DIMENSIONS

- DRIVEWAY APPROACH:** AREA OF A DRIVEWAY LYING IN THE PUBLIC RIGHT OF WAY BETWEEN THE STREET FLOW LINE AND THE PROPERTY LINE, INCLUDING THE APRON, SIDE SLOPES AND CURB RETURNS WITH SPANDRILLS.
- DRIVEWAY APPROACH APRON:** PORTION OF A DRIVEWAY APPROACH, EXCLUDING THE SIDE SLOPES AND CURB RETURNS WITH SPANDRILLS, EXTENDING FROM THE STREET FLOW LINE TO THE PROPERTY LINE AND BETWEEN THE ADJACENT SIDEWALK PAVEMENTS.
- L:** HORIZONTAL LENGTH OF DRIVEWAY APPROACH APRON MEASURED ALONG THE CENTERLINE FROM THE STREET FLOW LINE TO THE PROPERTY LINE.
- Q:** PORTION OF THE APPROACH APRON FOR PEDESTRIANS TO CROSS THE DRIVEWAY HAVING A FEET MINIMUM TRANSVERSE WIDTH AND MAXIMUM TRANSVERSE GRADE OF 2 PERCENT TOWARD THE STREET, INCLUDING THE 1/4-INCH VERTICAL CONSTRUCTION TOLERANCE.
- R:** DRIVEWAY CURB RETURN RADIUS, 3 FEET MINIMUM, PROVIDING TRANSITION FROM FULL HEIGHT CURB TO THE GRADE OF THE APPROACH APRON.
- T:** THICKNESS OF CONCRETE DRIVEWAY PAVEMENT, INCLUDING SIDE SLOPES AND CURB RETURN SPANDRILLS. A 1" OF 4-INCHES MAY BE USED FOR DRIVEWAYS SERVING NOT MORE THAN FOUR RESIDENTIAL UNITS AND A 1" OF 6-INCHES SHALL BE USED FOR ALL OTHER DRIVEWAYS.
- W:** WIDTH OF DRIVEWAY APPROACH APRON MEASURED ALONG THE STREET FLOW LINE, EXCLUDING SIDE SLOPES AND CURB RETURNS WITH SPANDRILLS. FOR THE MINIMUM WIDTH OF DRIVEWAYS, SEE SECTION S-112.2 OF THE LOS ANGELES MUNICIPAL CODE.
- X:** HORIZONTAL LENGTH OF THE SIDE SLOPING PORTION OF THE DRIVEWAY APPROACH, MEASURED ALONG THE STREET FLOW LINE, PROVIDING TRANSITION FROM FULL HEIGHT CURB TO THE GRADE OF THE APPROACH APRON.
- Y:** HORIZONTAL LENGTH OF THE RAMPED PORTION OF THE APPROACH APRON MEASURED ALONG THE DRIVEWAY CENTERLINE FROM THE STREET FLOW LINE TO THE FRONT EDGE OF THE 2 PERCENT TRANSVERSE GRADE FOR PEDESTRIANS.
- Y-SLOPE:** DIFFERENCE IN ELEVATION ALONG THE DRIVEWAY CENTERLINE BETWEEN THE TOP OF CURB FACE AND THE FRONT EDGE OF THE 2 PERCENT TRANSVERSE GRADE FOR PEDESTRIANS DIVIDED BY THE HORIZONTAL LENGTH OF THE RAMPED PORTION OF DRIVEWAY APPROACH APRON (Y).

FULL HEIGHT CURB FACE (INCHES)	MINIMUM DIMENSIONS (FEET)									
	6	8	10	12	14	16	18	20	22	24
CASE 1	X	3	3	3	3	3	3	3	3	3
CASE 2	X	3	3	3.6	4	4.3	5	5.6	6	6
CASE 3	R	3	3	3	3	3	3	3	3	3
	Y	4.1	5.1	5.6	7.6	8.75	9.75	10.75	11.75	11.75
ALL CASES	Q	4	4	4	4	4	4	4	4	4
	3	8.5	9.3	10.2	11.1	12.75	13.75	14.75	15.75	15.75

* FOR EXISTING FULL HEIGHT CURB FACE ONLY



STANDARD PLAN NO. S-440-4 VALU INDEX NUMBER B - 4731 SHEET 3 OF 4 SHEETS

REV.	DATE	BY	APP.	DESCRIPTION

DESIGNED BY
MAM
DRAWN BY
LME
CHECKED BY
JAW
DATE
OCT. 2021



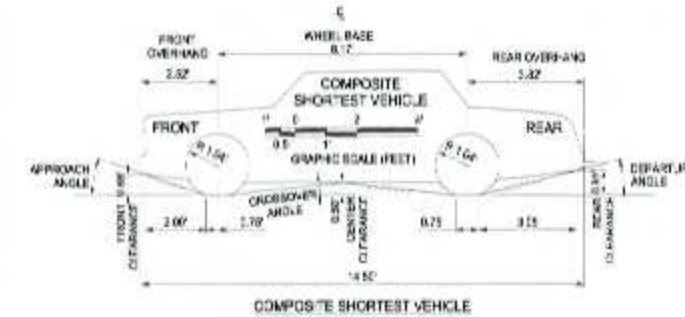
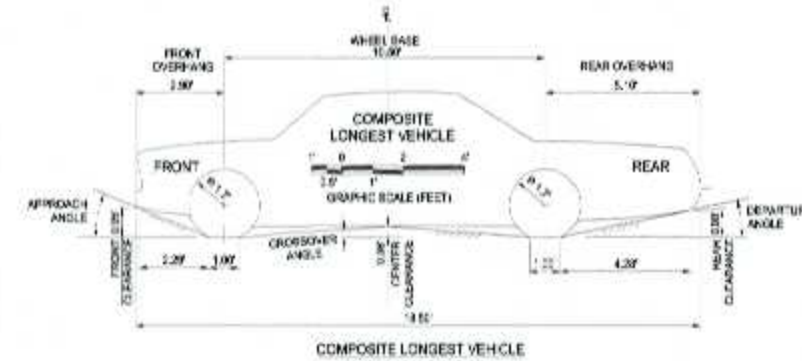
LOS ANGELES COUNTY
METROPOLITAN TRANSPORTATION AUTHORITY
PROGRAM MANAGEMENT

RECOMMENDED DATE APPROVED DATE

NOTE: IF DWG. IS NOT 22"x34", IT IS NOT FULL SIZE

PROPOSED BUS TERMINAL LOOP
COUNTY LOT 13
4501 VIA MARINA, MARINA DEL REY, CA 90292
DEPARTMENT OF PUBLIC WORKS
STANDARD PLAN NO. S-440-4

PLANS NUMBER
SHEET AS NOTED
DWG. NO. RF - 2
SHEET



AUTOMOBILE TEMPLATES
FOR CHECKING VERTICAL CLEARANCE ALONG DRIVEWAY CENTERLINE

NOTES
THE DRIVEWAY CENTERLINE SHOULD BE PLOTTED TO SCALE (1-INCH EQUALS 2 FEET BOTH HORIZONTALLY AND VERTICALLY) AND EXTEND FROM THE STREET CENTERLINE TO A SUFFICIENT LENGTH BEYOND THE PROPERTY LINE ONTO THE ADJUTING PROPERTY.



STANDARD PLAN NO. S-440-4 VALU INDEX NUMBER B - 4731 SHEET 4 OF 4 SHEETS



Caring for Our Coast



Gary Jones
Director

Amy M. Caves
Acting Chief Deputy Director

Carol Baker
Deputy Director

August 17, 2022

TO: Design Control Board

FROM: Gary Jones, Director 

SUBJECT: ITEM 6A – ONGOING ACTIVITIES REPORT

BOARD ACTIONS ON ITEMS RELATING TO MARINA DEL REY

On July 12, 2022, the Board of Supervisors instructed the Director of the Department of Beaches and Harbors (DBH) in collaboration with the Directors of the Department of Regional Planning, Department of Public Works, Department of Arts and Culture, and the Executive Directors of the Los Angeles County Development Authority, the Poverty Alleviation Initiative, and the Antiracism, Diversity and Inclusion Initiative to incorporate the use of an equity lens, framework, and tools, in consultation with other relevant County departments, stakeholders, labor, and community members/organizations, to report back in writing with the following: Within 60 days, provide recommendations for the completion of an assessment that identifies urgent community needs, in light of the Board's adopted County Guiding Equity Principles, that can be strategically addressed in Marina Del Rey (MdR). These recommendations should take into consideration community input, the 2014 MdR Visioning Statement, and include the estimated cost for the retention of a consultant to aid in completion of the assessment and potential funding sources to cover this cost; within 180 days provide recommendations for the completion of a comprehensive plan for the best and highest use of real estate and water assets in MdR, in light of the Board's adopted County Guiding Equity Principles as well as the needs assessment referenced above. These recommendations should take into consideration community input, the 2014 MdR Visioning Statement, and include the estimated cost for the retention of a consultant to aid in completion of the assessment and potential funding sources to cover this cost, with the comprehensive plan to also identify the process for completing a potential Local Coastal Plan amendment, environmental clearance under the California Environmental Quality Act, technical studies and other necessary components of a comprehensive planning document; within 180 days provide recommendations for an equitable, holistic, longterm land use plan for MdR that promotes, to the greatest extent possible, the priorities identified in the 2014 Visioning Statement. The Board also instructed the Director of DBH to carefully assess requests for lease extensions in MdR considering the goals set forth in the motion and, unless exigent



circumstances exist, to avoid long-term commitments until the planning process is completed.

On July 12, 2022 the BOS approved the proposed assignment of the Parcel 130 Lease in Marina del Rey to CAH Marina I, LLC, a California limited liability company; authorized the Director of Beaches and Harbors to execute any consents, estoppels and related documentation necessary to effectuate the assignment of the Parcel 130 lease. The Board also approved an amendment to the lease to extend the term by three years to July 31, 2025, with two one-year extension options at the County's discretion and found that the proposed actions are exempt from the California Environmental Quality Act.

On July 12, 2022 the BOS also approved the proposed new ownership transfer of LAACO, LTD, a California limited partnership (LAACO) of the Parcel 132S lease in Marina del Rey (2), which sold all of the assets of LAACO to a subsidiary of CubeSmart, a Maryland Real Estate Investment Trust, resulting in LAACO remaining as the lessee with new ownership; authorized the Director of Beaches and Harbors to execute any consents, estoppels and related documentation necessary to effectuate the ownership transfer of the Parcel 132 lease; approved an amendment to the lease to extend the term by three years to July 31, 2025, with two one-year extension options, at the discretion of the County; and found that the proposed actions are exempt from the California Environmental Quality Act.

REGIONAL PLANNING COMMISSION'S CALENDAR

No items relating to Marina del Rey were on July 2022 Regional Planning Commission agenda.

CALIFORNIA COASTAL COMMISSION CALENDAR

No items relating to Maria del Rey were on July 2022 California Coastal Commission agenda.

FUTURE MAJOR DESIGN CONTROL BOARD ITEMS

There are no future major Design Control Board items at this time.

SMALL CRAFT HARBOR COMMISSION MINUTES

The April 2022 Small Craft Harbor Commission meeting minutes are attached. The May 11, 2022 and June 8, 2022 meetings were cancelled due to lack of new business. The June 29, 2022 special meeting minutes are pending.

REDEVELOPMENT PROJECT STATUS REPORT

The updated "Marina del Rey Redevelopment Projects Report" is attached.

MOTION BY SUPERVISOR HOLLY J. MITCHELL

JULY 12, 2022

Aligning Marina del Rey with Los Angeles County Priorities for Equity and Inclusion

Marina del Rey (MdR), located in unincorporated Los Angeles County (County), is the second largest built harbor in the world, consisting of 401 acres of land and 403 acres of water. Construction of MdR was completed in the early 1960s, and since then, it has grown into a thriving waterside community and County resource encompassing recreational boating facilities and services, apartments, hotels, restaurants, and civic amenities. MdR is an asset that serves residents throughout the County as well as visitors from all over the world, while generating revenue for the County, which owns all of the land and waterside parcels comprising MdR. Since its inception, MdR has largely been developed on a parcel-by-parcel basis, with the County leasing its land and water to individual private developers. Given the evolution of MdR and the needs of the County's growing and diverse population, continued development according to this piecemeal approach is not sustainable and would forestall a historic opportunity to make MdR accessible to the broadest and most diverse spectrum of visitors and residents since its creation.

In 2014, the County completed an MdR visioning process led by the Department of Regional Planning. However, given the long-term lease commitments that encumbered MdR, the 2014 visioning exercise has not yet yielded substantial change.

- MORE -

MOTION

SOLIS	_____
KUEHL	_____
HAHN	_____
BARGER	_____
MITCHELL	_____

Now, nearly 10 years later, many more MdR leases are nearing expiration, and due to redistricting, as of December 15, 2021, the entirety of MdR became part of the Second Supervisorial District. This presents a unique opportunity to view MdR from a new perspective and to realign MdR with current County priorities of equity and inclusion through a holistic and comprehensive approach.

The County Board of Supervisors (Board) has identified priorities that guide and provide context for all policy and business decisions. By way of example, on July 21, 2020, the Board adopted the “Anti-Racism, Diversity and Inclusion” Initiative, which outlined the County’s efforts to advance an anti-racist policy agenda that guides the Board’s commitment to delivering services through an equity lens. Through this action, the Board expressly recognized, affirmed, and declared that racism is a matter of public health in the County and established an eighth Board-directed priority to systemically address racism and bias in all their forms. Additionally, on May 18, 2021, the Board created a first-of-its-kind Countywide Poverty Alleviation Initiative and Guaranteed Income Pilot Program to combat poverty and the inequitable distribution of wealth.

In the wake of these Board actions, the Department of Beaches and Harbors (DBH), the lead County agency in MdR, initiated a reflective process that included challenging internal discussions on the historic effects of redlining and other racist practices along the coast, including the abiding deprivation of access to beaches and other coastal amenities faced by traditionally marginalized populations. It is apparent that without direct and purposeful action, these inequities and lack of access will remain.

As a critical asset to the entire County, MdR must reflect the values and priorities that the Board has made abundantly clear. By strategically planning for the long-term use of County property, we can help achieve important Board policies and initiatives, including equity, inclusion, and poverty alleviation, as well as environmental justice, the provision of affordable housing, and enhanced tenant and workforce protections. In addition, we have an opportunity to effectuate DBH’s strategic goals, including enhanced public access to MdR, sustained coastal vitality, and environmental stewardship.

Before any comprehensive planning process commences, however, it is imperative that we better understand immediate needs that could be strategically

addressed by leveraging County real estate assets in MdR. To accomplish this, a preliminary needs assessment guided by community input is paramount. As we undertake this important work, it is critical that each existing lease be assessed on a case-by-case basis in light of the goals set by this motion to avoid unnecessarily committing County assets to long-term uses that do not align with the Board's clear direction on policy matters and the priorities discussed above.

I THEREFORE MOVE THAT THE BOARD OF SUPERVISORS:

1. Instruct the Director of the Department of Beaches and Harbors (DBH) in collaboration with the Directors of the Department of Regional Planning, Department of Public Works, Department of Arts and Culture, and the Executive Directors of the Los Angeles County Development Authority, the Poverty Alleviation Initiative, and the Antiracism, Diversity and Inclusion Initiative to incorporate the use of an equity lens, framework, and tools, in consultation with other relevant County departments, stakeholders, labor, and community members/organizations, to report back in writing with the following:
 - a. Within 60 days, provide recommendations for the completion of an assessment that identifies urgent community needs, in light of the Board's adopted County Guiding Equity Principles, that can be strategically addressed in Marina Del Rey (MdR). These recommendations should take into consideration community input, the 2014 MdR Visioning Statement, and include the estimated cost for the retention of a consultant to aid in completion of the assessment and potential funding sources to cover this cost;
 - b. Within 180 days, provide recommendations for the completion of a comprehensive plan for the best and highest use of real estate and water assets in MdR, in light of the Board's adopted County Guiding Equity Principles as well as the needs assessment referenced above. These recommendations should take into consideration community input, the 2014 MdR Visioning Statement, and include the estimated cost for the retention of a consultant to aid in completion of the assessment and

potential funding sources to cover this cost. The comprehensive plan should also identify the process for completing a potential Local Coastal Plan amendment, environmental clearance under CEQA, technical studies, and other necessary components of a comprehensive planning document;

- c. Within 180 days, as part of the report requested per subsection (b) above, provide any additional recommendations for an equitable, holistic, long-term land use plan for MdR that promotes, to the greatest extent possible, the priorities identified in the 2014 Visioning Statement, including but not limited to:
 - i. Increased inclusivity and accessibility of MdR and its waterside amenities for all County residents and visitors, including via public or multi-modal transportation;
 - ii. Increased focus on community-serving amenities and the opportunity to incorporate youth-serving programming, including DBH's Water Awareness, Training, Education and Recreation Program;
 - iii. Sustainable and equitable development and business practices, including LEED Gold certification, payment of Prevailing Wage, and compliance with applicable County policies like Local and Targeted Worker Hiring and Labor Peace Policy;
 - iv. A community aquatic center that is open to the public;
 - v. A community-serving one-stop civic center and plaza, to potentially include new consolidated DBH headquarters, an enhanced library facility, and other County resources;
 - vi. Increased or enhanced park and open spaces for public enjoyment;
 - vii. Expansion of public recreation spaces at Mother's Beach and Burton Chace Park;
 - viii. Activation of a more vibrant waterfront with an array of free and low-cost recreational and community programming accessible to all;

- ix. Incorporation of public art elements;
 - x. New and improved visual identification of MdR as a destination/community, including monument, wayfinding, placemaking/landmark, and informational/interpretive signage, etc.;
 - xi. De-emphasized use of County property for surface parking lots;
 - xii. Enhanced tenant and workforce protections;
 - xiii. Increased provision of affordable and “missing middle” housing;
 - xiv. Protection and expansion of wildlife habitats, especially marine bird rookeries;
 - xv. Protection and enhancement of strategic scenic resources, especially marina and ocean view corridors; and
 - xvi. A transparent and community-focused approach to all aspects of any MdR redevelopment.
2. Instruct the Director of DBH to carefully assess requests for lease extensions in MdR considering the goals set forth in this motion and, unless exigent circumstances exist, avoid long term commitments until the foregoing planning process is completed.

###

(CG)

SMALL CRAFT HARBOR COMMISSION MINUTES
VIRTUAL MEETING
April 13, 2022

Commissioners: Richard Montgomery, Chair; David Lumian, Vice-Chair; Nathaniel Salazar (excused absence), Bernard Kozacik III, Allyn Rifkin

Department of Beaches and Harbors (DBH): Gary Jones, Director; Amy Caves, Deputy Director; Steve Penn, Chief of Asset Management Division; Susana Graether, Chief Property Manager; Ivy Bordenave-Priestley, Senior Real Property Agent; Amir Tadros, Senior Real Property Agent

County: Parjack Ghaderi, Senior Deputy County Counsel

Item 1 - Call to Order and Pledge of Allegiance

Chair Montgomery called the virtual meeting to order at 10:00 am, followed by the Pledge of Allegiance. Ivy Bordenave-Priestley read the virtual meeting procedures.

Item 2 – Approval of Minutes

Motion to approve February 09, 2022, Meeting Minutes by Vice-Chair Lumian, seconded by Mr. Kozacik III.

Chair Montgomery requested a correction to his comment under item 4. Communication with the Commissioners.

Steve Penn replied that the minutes would reflect Chair Montgomery's revisions.

Motion to approve February 09, 2022, Meeting Minutes by Vice-Chair Lumian, seconded by Mr. Kozacik III.

Ayes: 3, Chair Montgomery, Vice-Chair Lumian, and Mr. Kozacik
Abstain: 1 – Mr. Rifkin

The March 09, 2022, Special Night Meeting Minutes were continued due to a lack of votes.

Item 3 – Communication from the Public

Rob Kessler spoke about his issues with the new 60-day reservation rule pending the latest management change. He requested that charter operators be involved in future decisions.

Brittany Emery, Los Angeles Yacht Charter, expressed concern regarding the change of management at Dock 55 and the 60-day reservation rule as it could potentially cause unnecessary pressure on a delicate process.

Item 4 – Communication with the Commissioners

Commissioner Rifkin disclosed his communication with the Board of Supervisors' District Three staff regarding the district mapping changes. He explained that the new map would remove him from District Three's boundaries and place him in District One, resulting in his departure from

the Commission; however, the process allows him to remain on at least 60-days until the announcement of a new appointment.

Chair Montgomery disclosed a phone call from a reporter about Marina projects.

Item 5a – Marina Sheriff

Deputy David Sanchez presented the report.

Item 5b – MdR and Beach Special Events

Catrina Love reported the continuation of the Free COVID-19 Vaccine and Booster Clinic, the Marina Culture Jam program, and Yoga and Fitness Classes. She mentioned the return of the Beach Eats – Gourmet Food Truck Event and the Water Youth Program Sailing Classes.

Item 5c – Marina Boating Section Report

Michael Blenk reported that Anchorage 47 has three 42-feet, one 40-foot slip, five 38-feet, three 34-feet, two 28-feet, one 27-feet, eight 24-feet, and four 22-feet vacant slips available. Parcel 77 powerboat storage is full, and Mast-Up storage has 27 spaces available.

Mr. Kozacik inquired about transient slips in the Marina.

Mr. Blenk replied that the transient slips are mainly located at Burton Chace Park, where they can stay seven days in a 30-day period. He explained they are working on some other transient slips at Parcel 9, and guest slips are available at the other marinas.

Item 5d – Marina del Rey Maintenance Report

Jose Bedolla reported the repair of the USA flag located at the breakwater and the replacing of 23 bollards with lighted bollards at Burton Chace Park, which will complement the Boathouse.

Item 7a – Water Program Presentation

Susana Espinosa presented the report.

Mr. Rifkin commended DBH staff for their efforts with the program. He stated that it addresses the essential strategic goals for the Marina to provide access to disadvantaged children to the Marina and the ocean. Lastly, he inquired about the program demographics by supervisorial districts.

Ms. Espinosa replied that they have data and will provide it to the commissioners.

Mr. Rifkin stated that he is interested in knowing the general participation information.

Vice-Chair Lumian expressed his support for the program and raised concerns about staff not wearing life jackets as it does not set a good example. He encouraged that all water program staff participate in a sailing instructors training conducted by the American Sailing Association, US Sailing Association, or the American Canoe Sailing Association so they can conduct rescues with their boats as well as entering the water as lifeguards. Lastly he requested a presentation from the water program director.

Ms. Espinosa clarified that the program is now entirely managed by DBH. Therefore Gary Jones is the water program director, and Laurie Cordobes is the aquatic manager, and she oversees the section that includes the program.

Vice-chair Lumian clarified that he would like a presentation from the aquatic manager.

Chair Montgomery thanked Susana for her presentation and commended the program.

Item 7b – UCLA Summer Program Presentation

Kristen Lockwood presented the report.

Mr. Rifkin praised the UCLA Summer Program for its participation at Marina del Rey. He asked about their outreach to disadvantaged youth and pointed out that the presentation did not include their contact and location information.

Ms. Lockwood replied that the contact information was on the first page of the presentation; however, it was not visible to the audience. The contact information for the UCLA Marina Aquatic Center is 14001 Fiji Way, Marina del Rey, CA 90292. Website: recreation.ucla.edu/mac | Phone: 310.823.0048. She clarified that the junior rowing team reaches out to over 20 schools and provides fully-funded and partial-funded scholarship programs.

Vice-Chair Lumian disclosed his participation in courses at UCLA MAC. He inquired about the programs expansion to meet public demands and pointed out that many members of the public are unaware of their program. Lastly, he asked about their community outreach, and suggested they meet with DBH marketing staff.

Ms. Lockwood explained that they do not have enough staff to serve additional people; however, they will post new instructional staff positions at their facilities to meet more demand. She explained that their marketing team has an internal marketing strategy and communication that reaches approximately fifty thousand people. She stated that they have not met with DBH for marketing but will look into it.

Item 7c – March Special Night Meeting Public Comments Summary

Steve Penn presented the report.

Vice-Chair Lumian thanked the staff for coordinating the Special Night Meetings and explained the benefits the meetings provide to the commissioners and the public. He spoke of the importance of hearing about the programs in Marina del Rey and how they provide public access to the water.

Chair Montgomery thanked Vice-Chair Lumian for leading the March 09, 2022, Special Night Meeting in his absence.

Item 8 – Staff Reports

Steve Penn presented the staff report.

Elliot Zimmerman spoke about the Marina's development, specifically in zone three, and the need for clarification of the rules and responsibilities of the harbor.

Chair Montgomery stated that neither the County nor SCHC had received any plans for future development. He explained that they would review the project simultaneously and provide the public with a thorough explanation if they received any.

Vice-Chair Lumian addressed the public comment about charter operators not receiving proper notification of changes before dissemination. He encouraged DBH staff to maintain contact with COMCA and have periodic meetings with them to understand how proposed changes could be accomplished cooperatively.

Adjournment

Chair Montgomery adjourned the meeting at 12:01 pm.

**Marina del Rey Redevelopment Projects Report
As of August 2, 2022**

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
113 -- Mariner's Village	Mark Wagner	* Renovation of 981 apartments * Improvements to promenade	Massing – Existing buildings to remain. Parking – Existing parking to remain.	<p>Proprietary – Item opened on 9/23/2013. On October 30, 2018, the Los Angeles County Board of Supervisors approved an option for an amended at restated lease. The revised project will include 20% affordable units.</p> <p>Regulatory – The Regional Planning Commission approved an after-the-fact Coastal Development Permit (CDP) for the previous removal of waterbird nests. The appeal of that CDP was approved by the Coastal Commission in September 8, 2021. Lessee is tentatively scheduled to present at the Marina del Rey Design Control Board meeting scheduled for January 19, 2022. Lessee's presentation at Jan 19, 2022's DCB meeting was continued to allow more time to review the proposal. Staff scheduled ex-parte meetings with Meg Coffee and Chair Cho. Lessee's design plans were approved at the March 2022 DCB meeting.</p>



Caring for Our Coast

♦ ♦ ♦
Gary Jones
Director

Amy M. Caves
Deputy Director

Carol Baker
Deputy Director

August 17, 2022

TO: Design Control Board
FROM: Gary Jones,  Director
SUBJECT: **ITEM 6B – MARINA DEL REY SPECIAL EVENTS**

BURTON CHACE PARK YOGA CLASS

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Sundays
9:30 a.m. – 10:30 a.m.

Join the Department of Beaches and Harbors (Department) and instructor Anastasia for a yoga session at the water's edge and connect with nature and community. Classes are offered to all, regardless of age or ability for \$10 per class. Children should be able to follow along or sit quietly with a parent/guardian. Students must bring their own mats and water bottles. Please pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

BURTON CHACE PARK WALKING CLUB

Burton Chace Park ♦ Lobby ♦ 13650 Mindanao Way ♦ Marina del Rey
Tuesdays & Thursdays
10:30 a.m. – 11:30 a.m.

The Department is sponsoring a FREE one-hour walking club. Get your exercise while taking in the beautiful view of the Marina del Rey harbor. Call (424) 526-7910 to RSVP or email to chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov



BURTON CHACE PARK ZUMBA CLASS

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Tuesdays and Thursdays
3:30 p.m. – 4:30 p.m.

Ditch your boring workout and join the Department's FREE outdoor Zumba class at Burton Chace Park! Each class is limited to 10 people. Registration is required and is available on a first-come, first served basis. Pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

DRAWING & PAINTING CLASS

In-Person and online class via Zoom
Wednesdays
5:00 p.m. – 6:30 p.m.

The Department is offering a FREE drawing and watercolor art class for beginners ages 14 years or older. In-person classes are limited to ten people and supplies are provided. Registration is required and is available on a first-come, first served basis. Pre-register for each class by emailing chacepark@bh.lacounty.gov.

For more information: Call (424) 526-7910 or visit marinadelrey.lacounty.gov

SUNSET SERIES REGATTAS 2022

Marina del Rey
Wednesdays through September 7, 2022
6:00 p.m. - 8:00 p.m.

Spectators can enjoy these races from the comfort of one of the water-view restaurants on Wednesday evenings between 6:00 p.m. (sailboats leaving the harbor) and 8:00 p.m. (race finishes at California Yacht Club).

For more information: Visit calyachtclub.com/regattas

BEACH EATS

Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey
Thursdays through October 27, 2022
5:00 p.m. – 9:00 p.m.

The Department hosts a gourmet food truck event in Marina del Rey that offers a variety of delectable savory foods and desserts. The weekly assortment of food trucks will vary

along with menu options, such as gourmet burgers, hot dogs, tacos, lobster rolls, and more. Paid parking is available for 25 cents for every 10 minutes.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

MARINA DEL REY FARMERS' MARKET

Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey
Saturdays
9:00 a.m. – 2:00 p.m.

The Department, in collaboration with Southland Farmers' Market Association, is offering the Marina del Rey Farmers' Market on Saturdays. The Marina del Rey Farmers' Market offers fresh, locally grown organic and conventionally grown fruits and veggies. Also available are prepackaged foods and much more! Paid parking is available for 25 cents for every 10 minutes.

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

MARINA DEL REY WATERBUS

Through September 5, 2022

For a fun weekend, ride the Marina del Rey WaterBus. Park your car and ride the WaterBus for a unique water's-eye view of Marina del Rey. Eight boarding stops throughout the Marina offer opportunities to shop, dine, and recreate in one of the most beautiful Southern California residential and tourist areas. Bikes and strollers are welcome on board, but no pets are allowed. The fare is \$1 per person, for a one-way ticket. Paid parking is available at nearby Los Angeles County lots.

WaterBus Schedule:

Fridays:	2:00 p.m. – 10:00 p.m.
Saturdays:	12:00 p.m. – 10:00 p.m.
Sundays:	12:00 p.m. – 9:00 p.m.

Holiday Schedule

Labor Day:	11:00 a.m. – 9:00 p.m.
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For more information: Visit marinawaterbus.com or call (310) 628-3219

MARINA MOVIE NIGHTS

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Select Saturdays through September 23, 2022
Movie start time: 8:00 p.m.

The Department presents the return of Marina Movie Nights at Burton Chace Park. This summer pack your picnic baskets and bring the family out to the park on Saturday nights to enjoy free outdoor movie screenings under the stars.

Movie Lineup:

August 20	<i>The Conjuring (R-rated)</i>
September 3	<i>Iron Man</i>
September 10	<i>Encanto</i>
September 17	<i>Coco</i>
September 24	<i>The Wizard of Oz</i>

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

BEACH SHUTTLE

Through September 25, 2022
Saturdays from 10:00 a.m. – 10:00 p.m.
Sundays and Labor Day from 10:00 a.m. – 8:00 p.m.

Catch a free ride on the Beach Shuttle to and from Playa Vista, Marina del Rey, and the Venice Beach Pier, and enjoy the surf, sand, and surroundings of Marina del Rey in a hassle-free and relaxing way. The Beach Shuttle operates during the summer months only on weekends and Labor Day.

For more information: Call (424) 526-7900 or visit beaches.lacounty.gov

FISHERMAN'S VILLAGE WEEKEND CONCERT SERIES

13755 Fiji Way ♦ Marina del Rey
Sponsored by Pacific Ocean Management, LLC
Sundays
2:00 p.m. – 5:00 p.m.

August 21st
US 99

August 28th
Jimbo Ross & The Bodacious Blues Band

For more information: Call Pacific Ocean Management at (310) 306-0400

2022 FREE MARINA DEL REY SUMMER CONCERT SERIES

Burton Chace Park ♦ 13650 Mindanao Way ♦ Marina del Rey
Concert start time: 7:00 p.m.

August 27th
Blind Boys of Alabama

For more information: Call (424) 526-7900 or visit marinadelrey.lacounty.gov

KILLER RIDES

Killer Shrimp Restaurant ♦ 4211 Admiralty Way ♦ Marina del Rey
Sunday, August 28, 2022
10:00 a.m. – 1:00 p.m.

Killer Shrimp Restaurant & Bar opens its parking lot to hot rod, classic car, and motorcycle displays. Free admission.

For more information: Call (310) 578-2250 or visit info@killershrimp.com

MARINA DRUM CIRCLE

Burton Chace Park ♦ 13640 Mindanao Way ♦ Marina del Rey
Sundays
August 21 - October 16, 2022
Sessions: 11:30 a.m. – 12:30 p.m. and 1:30 p.m. – 2:30 p.m.

Discover the fun and excitement of interactive group drumming at the water's edge! Drums and other percussion instruments will be provided. Choose from one of two FREE 60-minute sessions that are available for enthusiasts of all ages and skill levels.

For more information: Visit marinadelrey.lacounty.gov or call (424) 526-7900

DANCE MDR

Burton Chace Park ♦ 13640 Mindanao Way ♦ Marina del Rey
Fridays
September 2 – 30, 2022
6:30 – 10:00 p.m.

Learn new dances and dance the night away under the stars at Burton Chace Park. Some of L.A.'s top DJs play live while you learn new moves in different dance styles – from Bollywood, to Salsa and Disco for FREE.

For more information: Visit marinadelrey.lacounty.gov or call 424-526-7900

GJ:CML:da