



Caring for Your Coast

Gary Jones
Director

Kerry Silverstrom
Chief Deputy

John Kelly
Deputy Director

Brock Ladewig
Deputy Director

MARINA DEL REY DESIGN CONTROL BOARD AGENDA

Wednesday, February 21, 2018, 1:30 p.m.

Burton W. Chace Park
Community Building
13650 Mindanao Way
Marina del Rey, CA 90292

Audio

1. **Call to Order, Action on Absences, Pledge of Allegiance, and Order of Agenda**
2. **Approval of the December 20, 2017 Minutes**
3. **Public Comment**
This is the opportunity for members of the public to address the Board on items that are not on the posted agenda, provided that the subject matter is within the jurisdiction of the Board. Speakers are reminded of the three-minute time limitation.
4. **Consent Agenda**
The Chair may entertain a motion by a Board member at the beginning of the meeting to approve certain non-controversial agenda items as consent agenda items unless held by a Board member or member(s) of the public for discussion or separate action.
5. **New Business**
 - A. Parcel 50 – Caruso Affiliated / Sweetgreen – DCB #18-001 – Consideration of a new awning
 - B. Parcel 103 – Equity Residential / Pearl Apartments – DCB #18-002 – Consideration of new signage
 - C. Fiji Way – Southern California Edison / AT&T Mobility – DCB #18-003 – Consideration of pole-mounted wireless telecommunications facility
6. **Staff Reports**
 - A. Temporary Permits Issued by the Department
 - B. Ongoing Activities Report
 - Board of Supervisors Actions on Items Relating to Marina del Rey
 - Regional Planning Commission's Calendar
 - Coastal Commission's Calendar
 - Future Major DCB Agenda Items
 - Small Craft Harbor Commission Minutes
 - Redevelopment Project Status Report
 - Marina Design Guidelines Update
 - C. Marina del Rey Special Events



7. **Adjournment**

PLEASE NOTE

1. ADA ACCOMODATIONS: If you require reasonable accommodations or auxiliary aids and services such as material in alternate format or a sign language interpreter, please contact the ADA (Americans with Disabilities Act) Coordinator at (424) 526-7752 (Voice) or (TTY/TDD) users, please call the California Relay Service at 711. The ADA coordinator may be reached by email at rstassi@bh.lacounty.gov.

2. The Los Angeles County Board of Supervisors adopted Chapter 2.160 of the Los Angeles Code (Ord. 93-0031 ~ 2 (part), 1993), relating to lobbyists. Any person who seeks support or endorsement from the Design Control Board on any official action must certify that he/she is familiar with the requirements of this ordinance. A copy of the ordinance can be provided prior to the meeting and certification is to be made before or at the meeting.

All materials provided to the Design Control Board Members are available for public review, beginning the Friday prior to the meeting, at the **four Marina del Rey locations listed below**. The Department of Beaches and Harbors website also provides all reports and audio files from current and past meetings. Electronic copies of project submittals for Business Items referred to in this agenda will be available online for a two week period from the date of this agenda.

Please visit the Department of Beaches and Harbors Website Address at <http://marinadelrey.lacounty.gov>, or the [Design Control Board Archive](#) for more information.

Department of Beaches and Harbors
Administration Building
13837 Fiji Way
Marina del Rey, CA 90292

MdR Visitors & Information Center
4701 Admiralty Way
Marina del Rey, CA 90292

Burton Chace Park Community Room
13650 Mindanao Way
Marina del Rey, CA 90292

Lloyd Taber-Marina del Rey Library
4533 Admiralty Way
Marina del Rey, CA 90292



Location of February 21, 2018 DCB Items



New Business

- 5A – Parcel 50 – Sweetgreen
- 5B – Parcel 103 – Pear Apartments
- 5C – Fiji Way – AT&T

DESIGN CONTROL BOARD MINUTES
December 20, 2017

Members Present: Helena Jubany FAIA, Vice Chair (First District); Jerome Stanley, Member (Second District); Tony Wong, P.E, Member (Fifth District)

Members Absent: Simon Pastucha, Member (Third District)

Department Staff Present: Michael Tripp, Division Chief; Maral Tashjian, Planning Specialist; Troy Evangelho, Planner; Marie Waite, Planner; Kandyce Newton, Secretary

County Staff Present: Kevin Finkel, Department of Regional Planning; Amy Caves, County Counsel

Guests Testifying: Dean Howell, Gruen Associates; India Howlett, Selbert Perkins Design; Janet Zaldua, Marina del Rey Convention & Visitors Bureau

1. Call to Order and Pledge of Allegiance

Vice Chair Jubany called the meeting to order at 1:45 p.m.

Mr. Wong led the Pledge of Allegiance.

Moved by Mr. Wong, seconded by Mr. Stanley, the absence of Mr. Pastucha was excused.

Ayes: 3 – Vice Chair Jubany, Mr. Stanley, and Mr. Wong

2. Approval of the November 15, 2017 Minutes

Moved by Mr. Stanley, seconded by Mr. Wong, the November 15, 2017 minutes were approved.

Ayes: 3 – Vice Chair Jubany, Mr. Stanley, and Mr. Wong

3. Public Comment

None

4. Consent Agenda

None

5. New Business

A. Marina Wide – Department of Beaches & Harbors – DCB #17-014 – Conceptual Design Review; Consideration of Marina del Rey Signage and Gateways Master Plan

Troy Evangelho presented the staff report and introduced the consultant team.

Dean Howell of Gruen Associates, introduced himself and India Howlett of Selbert Perkins Design. Ms. Howlett provided a detailed overview of the signage and gateways design elements. Mr. Howell provided a detailed overview of the landscape design for the gateway parks.

Mr. Evangelho gave a short presentation addressing comments received from the Lessees Association and the Visitors Bureau regarding components of the conceptual design.

Mr. Wong asked if the Lessees Association and Visitors Bureau were involved in meetings at the beginning of the design review process. Mr. Evangelho replied that both groups were a part of the initial stakeholders meeting and the Lessees Association also provided feedback on previous preliminary designs.

Mr. Wong also asked if the size of the proposed signs was determined by considering viewer observation from a long distance. Ms. Howlett responded that her firm utilized a formula to determine the distance of viewer observation by car as it relates to the size and color of the signage. Mr. Wong commented that it was difficult to visualize the size of the signs based on the submittals and suggested that a mockup of the final design be submitted that would show the size of the signs to scale.

Vice Chair Jubany asked which firm completed the previous design in 2006 and if the design went through the same process. Mr. Evangelho replied that Selbert Perkins Design completed the previous design. Michael Tripp added that the previous design was also reviewed and approved by the Design Control Board.

Vice Chair Jubany asked what prompted the Department to redesign the signage. Mr. Tripp stated that during the visioning process, the Department received feedback stating that wayfinding and locating public parking was difficult in the Marina and, as a result, the Department wanted a design that would make it easier for visitors to find the different attractions in the Marina. Maral Tashjian also commented that because the Department is also redesigning the gateways, redesigning the signage would create design consistency.

Vice Chair Jubany commented that the public may question the need for a redesign so soon, so it is important that the redesign addressed previous feedback in regard to signage readability. Vice Chair Jubany also agreed with Mr. Wong in requesting that a mockup of the final design be provided to the Board for review.

Public Comment

Janet Zaldua of the Marina del Rey Convention & Visitors Bureau shared her support of the project and asked the Board to consider incorporating the anchor in place of the "I" in the word "Marina" in an effort to display consistency with their current logo.

Board Comment

Mr. Stanley commended staff and the consultant firm for the work that went into putting together the conceptual design proposal and asked if traffic conditions were taken into consideration when it came to developing entry signage. Mr. Howell answered that while his firm did consider the type of signage, they did not take into account traffic counts or future traffic. Ms. Howlett stated that her firm does a preliminary assessment of design locations and that usually includes an analysis of traffic in the area. Mr. Stanley asked that the design team be mindful of traffic and the proposed signage functionality, in addition to its aesthetics.

Mr. Wong asked if any consideration was given in regard to potential Metro rail station development near the Marina in the future and how it would affect signage and suggested that the Department correspond with Metro to determine if any future projects may impact the design proposal. Ms. Tashjian replied that the latest plans for future rail lines did not include any Marina developments, but staff would look into this concern.

Mr. Wong also asked if the county logo would be incorporated into the design. Ms. Howlett stated that it was possible, as some of the current signage also incorporates the county seal. Mr. Tripp stated that staff would consider the suggestion.

Vice Chair Jubany stated that she did meet with the design team and with Ms. Tashjian regarding the design proposal and also commended staff on their work on the project.

Vice Chair Jubany asked if the size of the sails proposed for a number of the entry signs would overpower the text. Ms. Howlett answered that the sails provide more of an enhanced, public art element. Mr. Howell added that the sails could possibly be used behind some, but not all of the signs and the chosen material would affect the visibility and visual design.

Moved by Mr. Wong, seconded by Mr. Stanley, this item was approved as submitted.

Ayes: 3 – Vice Chair Jubany, Mr. Wong, and Mr. Stanley
Nays: 0

B. Marina del Rey Design Control Board 2017 Annual Report

Marie Waite presented the staff report.

Public Comment

None

Board Comment

None

Moved by Mr. Wong, seconded by Mr. Stanley, this item was approved as submitted.

Ayes: 3 – Vice Chair Jubany, Mr. Wong, and Mr. Stanley
Nays: 0

7. Staff Reports

The reports were received and filed.

Public Comment

None

8. Adjournment

Vice Chair Jubany adjourned the meeting at 3:10 p.m.

Respectfully Submitted,

Kandyce Newton
Secretary for the Design Control Board



Caring for Your Coast

Gary Jones
Director

Kerry Silverstrom
Chief Deputy

John Kelly
Deputy Director

Brock Ladewig
Deputy Director

February 15, 2018

TO: Design Control Board
FROM:  Gary Jones, Director

SUBJECT: ITEM 5A – PARCEL 50 – CARUSO AFFILIATED / SWEETGREEN – DCB #18-001 – CONSIDERATION OF A NEW AWNING

Item 5A on your agenda is a submittal from Sweetgreen (Applicant), seeking approval for a new awning. The project is located at 4718 Admiralty Way.

PROJECT OVERVIEW

Existing Conditions

Sweetgreen is a restaurant located in the Waterside Shopping Center. The restaurant consists of a covered dining area and recessed storefront entrance, leading to the interior restaurant dining room. The building façade consists of brick, stucco, and trim all painted white. There is a large main entrance and smaller secondary entrance leading into the covered dining area. The covered dining area features brick walls painted white and black, a polished concrete floor, and planters.

Proposed Project

The applicant proposes to install a canvas awning over the larger main entry to the covered dining area.

BUILDING DESIGN

Awning

The proposed awning would measure 16'-9" wide by 6'-7" tall and would be mounted to the building façade 9'-5" above grade over the main entrance to the Sweetgreen covered dining area. The awning would use a canvas material in Charcoal Grey.

STAFF REVIEW

Staff finds the proposed project is consistent with the Marina del Rey Design Guidelines.

Staff recommends **APPROVAL** of DCB #18-001, subject to the following conditions:

- 1) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.



Design Control Board
February 15, 2018
Item 5A
Page 2

- 2) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**

GJ:BL:te

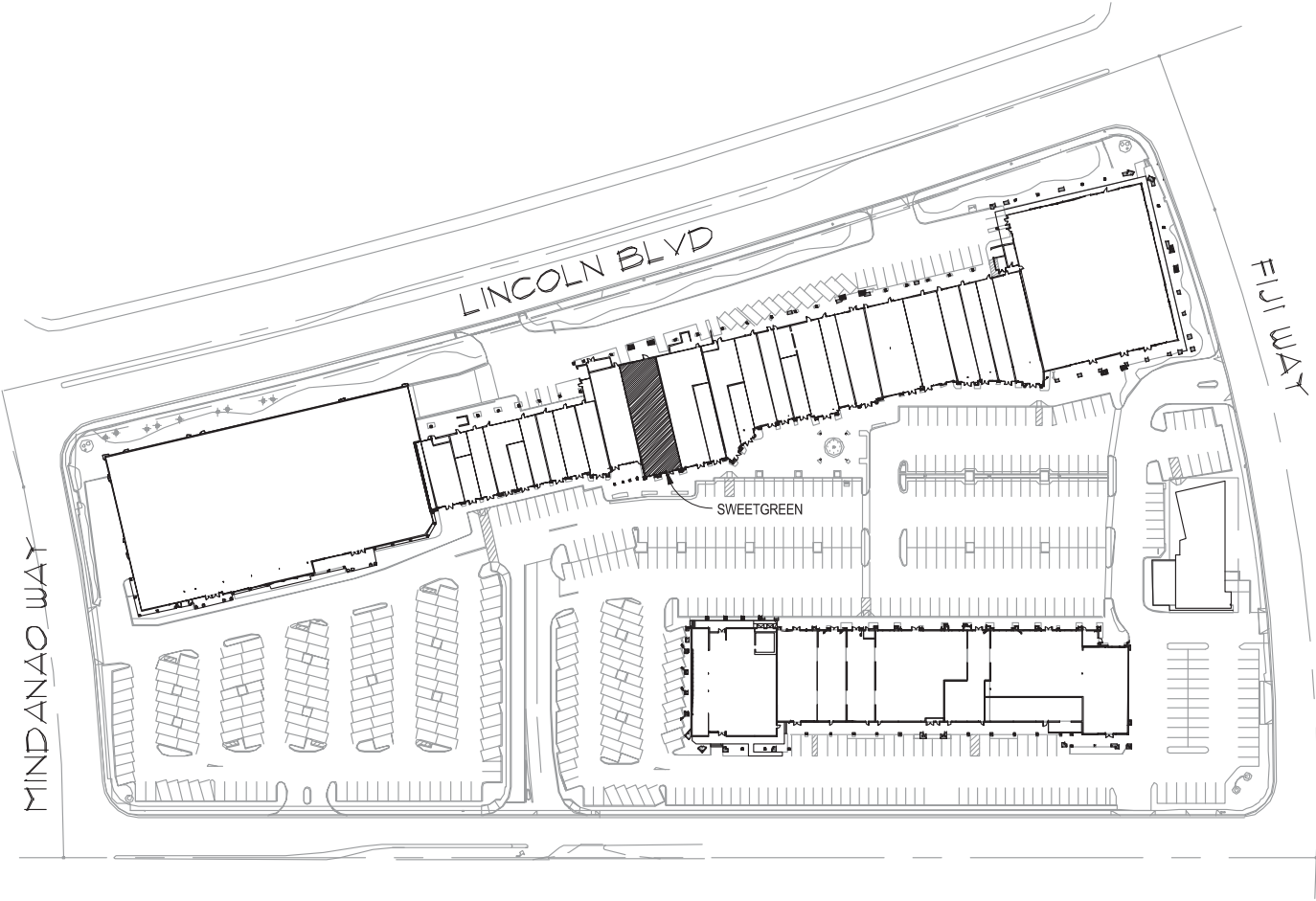
sweetgreen
MARINA DEL REY

4718 ADMIRALTY WAY
MARINA DEL REY, CA 90292

11/17/2017



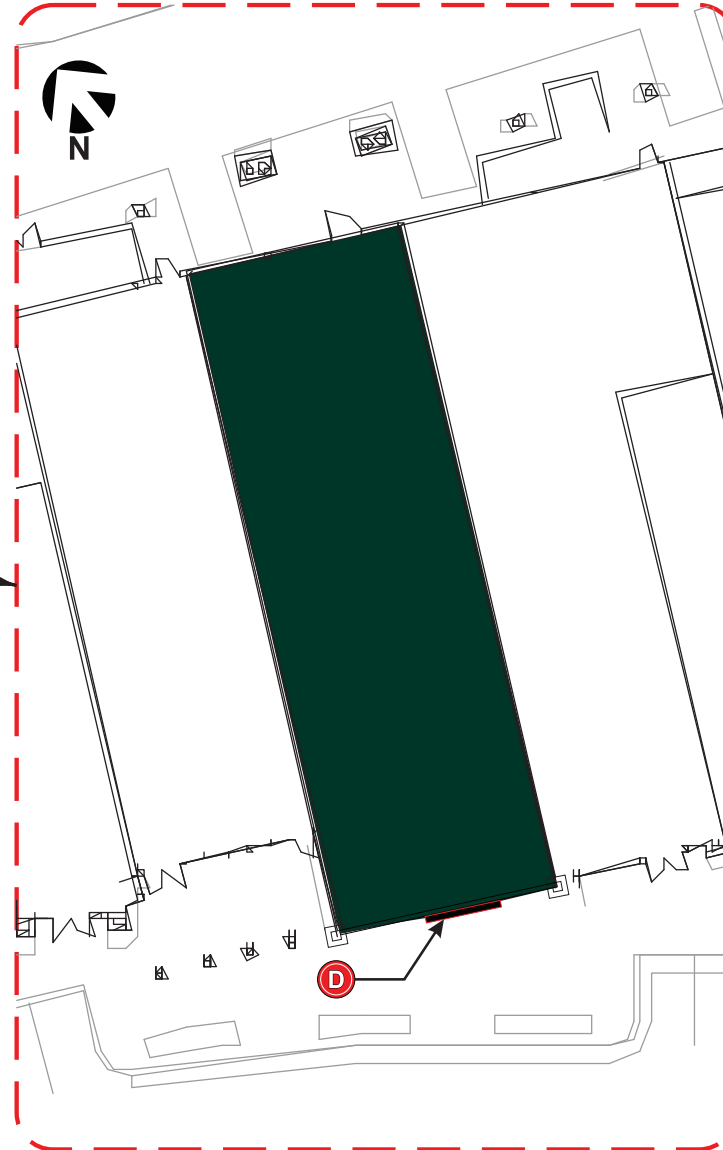






D AWNING
(SOUTH ELEVATION)

Quantity (1)
See Sheet 5.0

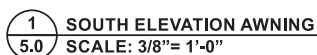


2 SITE PLAN
1.1 SCALE: N.T.S.

Sheet No. 11

Date: 01-09-18

By: TAK

Sheet No. **5.0**



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Brock Ladewig
Deputy Director

February 15, 2018

TO: Design Control Board

FROM:  Gary Jones, Director

SUBJECT: ITEM 5B – PARCEL 103 – EQUITY RESIDENTIAL / PEARL APARTMENTS – DCB #18-002 – CONSIDERATION OF NEW SIGNAGE

Item 5B on your agenda is a submittal from Pearl Apartments (Applicant), seeking approval for new signage. The project is located at 4111 Via Marina.

PROJECT OVERVIEW

Existing Conditions

The Oakwood Apartments (soon to be Pearl Apartments) is a 597 unit, three-story apartment building, with frontages along Via Marina and Via Dolce.

Proposed Project

The applicant proposes replacing the exterior signage with seven new signs to rename the complex "Pearl Apartments."

SIGNAGE

Building Façade

Proposed sign types A and B consist of two identical building façade signs, one on the tower feature at the intersection of Via Marina and Admiralty Way, and the second on the tower feature above the parking garage, facing Washington Boulevard. Each sign would measure 10'-6" wide by 6'-5.5" tall, for a total of 67.9 square feet. The signs would read "Pearl" in a custom font, 5'-6" tall black aluminum channel letters, above the text reading "Apartments" in 6" tall black aluminum channel letters. Both signs would be halo lit, from sundown to sunrise.

Freestanding Column or Tower

Proposed sign type G consists of refacing the existing monument sign facing Via Marina. The sign would measure 4'-6" wide by 2'-8" tall, for a total of 11.5 square feet. The sign would read "Pearl" in a custom font, 2'-4" tall black aluminum channel letters, and the text reading "Apartments" would be in 2.5" tall black aluminum channel letters.

Vehicle Entrance

Proposed sign type F consists of refacing the existing vehicle entrance sign located at the parking garage on Via Marina. The sign panel would measure 2'-3" wide by 3'-9" tall for a total of 8.6 square feet. The panel would feature a white acrylic face, and black vinyl



text that would read "Future Resident Parking, Pearl Apartments". This sign would be internally lit from sundown to sunrise.

Directional / Informational

Proposed sign type D would be a wall sign mounted above the parking garage entrance on Via Marina. This sign would measure 2'-11" tall by 5'-4" wide for a total 15.5 square feet. The sign would read "Pearl" in a custom font, 2'-4" tall black aluminum channel letters.

Proposed sign type E would be mounted on the pony wall on the south end of the Via Marina garage entrance. The sign would measure 2'-4" tall by 4'-8" wide, for a total of 11.3 square feet. The sign would read "Future Resident Parking" in black aluminum channel letters.

Proposed Sign type C would be mounted above the Via Dolce garage entrance. The sign would measure 1'-3" tall by 9'-8" wide, for a total 12 square feet. The sign would read "Pearl Resident Parking", with pearl in a custom font, using black aluminum channel letters.

STAFF REVIEW

The Marina del Rey Revised Permanent Sign Controls, section 5.C.7 states "The dimensions and shape of sign panels or elements mounted on building facades or marquees shall be in good, architecturally acceptable proportion to the dimensions of the surface on which mounted." Staff finds that the proposed wall signs A and B, have text reading "Apartments" that would be 6" tall, which may be too small and illegible from a distance. Staff recommends the Design Control Board review the size of this text and provide the applicant with direction.

Staff finds the proposed project is consistent with the Marina del Rey Design Guidelines, and the Revised Permanent Sign Control and Regulations.

Staff recommends **APPROVAL** of DCB #18-002, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.

GJ:BL:te



BUILDING SIGNAGE PERMIT

4111 VIA MARINA, MARINA DEL REY, CA 90292



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888.976.2228
INFO@BRANDSIGNCO.COM
BRANDSIGNCO.COM



CLIENT

CONTACT: MARIBEL ORTIZ

PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN #

DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

APPROVAL

- ☐ ACCEPTED WITH NO CHANGES
- ☐ ACCEPTED WITH CHANGES AS NOTED
- ☐ REVISE AS NOTED AND RE-SUBMIT

(CUSTOMER SIGNATURE) (DATE)

(LANDLORD SIGNATURE) (DATE)

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CLIENT

CONTACT: MARIBEL ORTIZ
PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN #

DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

APPROVAL

- ☐ ACCEPTED WITH NO CHANGES
- ☐ ACCEPTED WITH CHANGES AS NOTED
- ☐ REVISE AS NOTED AND RE-SUBMIT

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(LANDLORD SIGNATURE) (DATE)

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67.3 SQ FT TOTAL (NORTH EAST ELEVATION)

**FABRICATE AND INSTALL NEW HALO LIT CHANNEL LETTERS
+ FLAT CUT ALUMINUM LETTERING**

HALO LIT CHANNEL LETTERS - BLACK FOX SW PAINT
ALUMINUM CONSTRUCTION
INTERNALLY ILLUMINATED
.090 ALUMINUM FACES

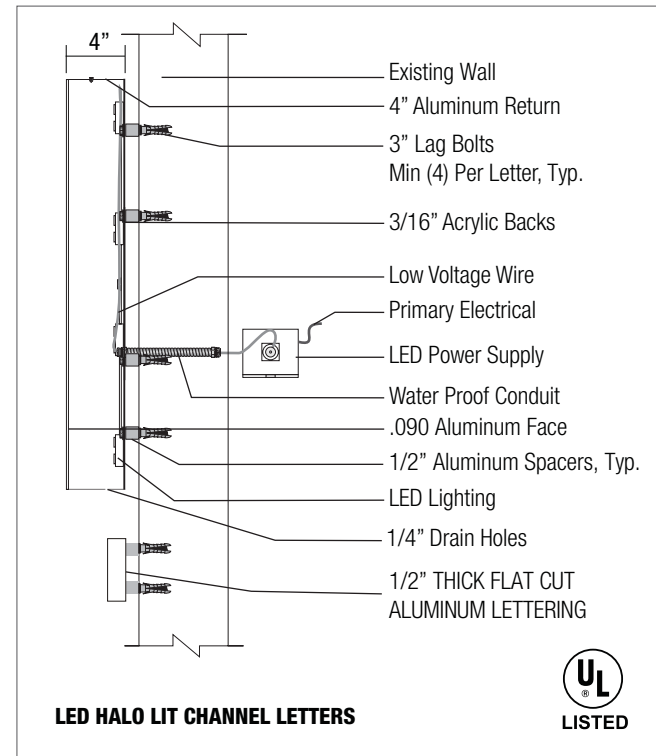
NO TRIM CAP
4" DEEP RETURNS
3/16" THICK ACRYLIC BACKS
1/4" RIV NUTS

THREADED ROD, AND TRANSFORMERS
APARTMENTS - 1/2" THICK ALUMINUM FCO LETTERS PAINTED BLACK FOX SW
GE SILICONE ALL PENETRATIONS FOR WATERPROOF TIGHT FIT
UL LISTED

POWER:

12 VOLT DC NEON TRANSFORMER SELF CONTAINED WHERE POSSIBLE
120 VOLT 20 AMP PRIMARY ELECTRICAL SOURCE BY OTHERS WITHIN
5' OF SIGN LOCATION (NEC 600-5)

A SIGN TYPE A



CLIENT			
CONTACT: MARIBEL ORTIZ			
PEARL APARTMENTS 4111 VIA MARINA MARINA DEL REY, CA 90292			

PROJECT/DESIGN #			
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01-12-18	NTS	CSM	JJR
EXTERIOR SIGNAGE - PEARL APARTMENTS			
REVISIONS			

APPROVAL	
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<input type="checkbox"/> ACCEPTED WITH CHANGES AS NOTED	
<input type="checkbox"/> REVISE AS NOTED AND RE-SUBMIT	
(CUSTOMER SIGNATURE)	(DATE)
(LANDLORD SIGNATURE)	(DATE)
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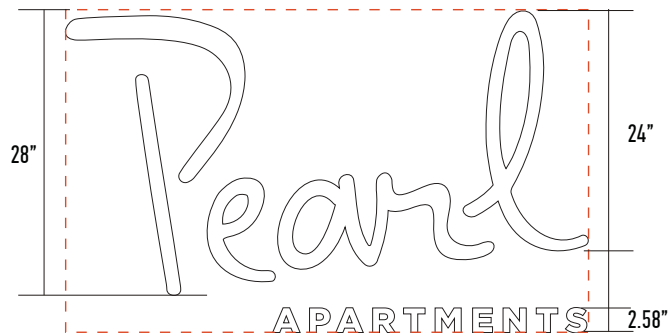
EXTERIOR MONUMENT SIGNAGE AFTER RESURFACING
 FCO ACRYLIC LETTERING
 1/2" THICK PEARL AND 3/8" THICK APARTMENTS
 PAINTED BLACK FOX
 SIZE: 32" X 52"

G SIGN TYPE G

CLIENT			
CONTACT: MARIBEL ORTIZ			
PEARL APARTMENTS 4111 VIA MARINA MARINA DEL REY, CA 90292			
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DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR
EXTERIOR SIGNAGE - PEARL APARTMENTS			
REVISIONS			
APPROVAL			
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(CUSTOMER SIGNATURE)		(DATE)	
(LANDLORD SIGNATURE)		(DATE)	
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CLIENT			
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PEARL APARTMENTS 4111 VIA MARINA MARINA DEL REY, CA 90292			
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EXTERIOR SIGNAGE - PEARL APARTMENTS			
REVISIONS			
APPROVAL			
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11.5 SQ FT TOTAL (NORTH EAST ELEVATION)

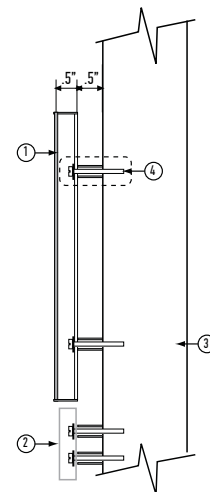
FABRICATE AND INSTALL NEW FLAT CUT ACRYLIC LETTERING

1/2" THICK FCO LETTERS (PEARL) - BLACK FOX SW PAINT
 3/8" THICK FCO LETTERS (APARTMENTS) - BLACK FOX SW PAINT
 1/2" SPACERS
 GE SILICONE ALL PENETRATIONS FOR WATERPROOF TIGHT FIT

6 SIGN TYPE G

LETTER SECTION FCO NON LIT LETTER

- ① .5" THICK FCO ACRYLIC LETTERING
- ② 3/8" THICK FCO ACRYLIC LETTERING
- ③ EXISTING WALL
- ④ 1/4"DIA. UP TO 36" LETTER
MIN (4) PER LETTER, TYP.
FASTENER TYPE PER WALL
CONDITION-SEE FIELD CHECK
1/2" STAINLESS STEEL SPACERS, TYP.



CLIENT

CONTACT: MARIBEL ORTIZ

PEARL APARTMENTS
 4111 VIA MARINA
 MARINA DEL REY, CA 90292

PROJECT/DESIGN

DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

APPROVAL

- ☐ ACCEPTED WITH NO CHANGES
- ☐ ACCEPTED WITH CHANGES AS NOTED
- ☐ REVISE AS NOTED AND RE-SUBMIT

(CUSTOMER SIGNATURE) (DATE)

(LANDLORD SIGNATURE) (DATE)

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FCO ACRYLIC LETTERING
1/2" THICK PEARL
PAINTED BLACK FOX
SIZE: 35" X 64"

CLIENT

CONTACT: MARIBEL ORTIZ
PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

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EXTERIOR SIGNAGE - PEARL APARTMENTS

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(CUSTOMER SIGNATURE) (DATE)

(LANDLORD SIGNATURE) (DATE)

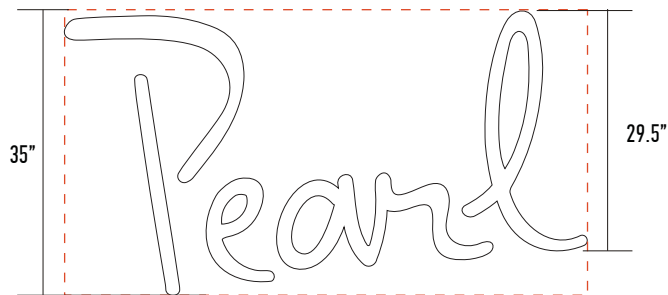
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D SIGN TYPE D

15.5 SQ FT TOTAL (NORTH EAST ELEVATION)

FABRICATE AND INSTALL NEW FLAT CUT ACRYLIC LETTERING

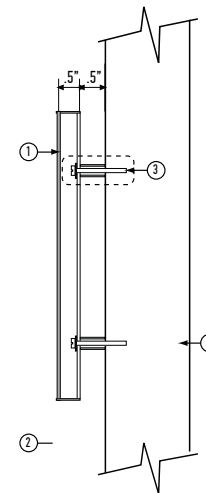
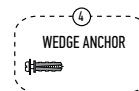
1/2" THICK FCO LETTERS (PEARL) - BLACK FOX SW PAINT

1/2" SPACERS

GE SILICONE ALL PENETRATIONS FOR WATERPROOF TIGHT FIT

**LETTER SECTION
FCO NON LIT LETTER**

- ① .5" THICK FCO ACRYLIC LETTERING
- ② EXISTING WALL
- ③ 1/4" DIA. UP TO 36" LETTER MIN (4) PER LETTER, TYP. FASTENER TYPE PER WALL CONDITION-SEE FIELD CHECK
- 1/2" STAINLESS STEEL SPACERS, TYP.



CLIENT

CONTACT: MARIBEL ORTIZ

PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN #

DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

APPROVAL

- ☐ ACCEPTED WITH NO CHANGES
- ☐ ACCEPTED WITH CHANGES AS NOTED
- ☐ REVISE AS NOTED AND RE-SUBMIT

(CUSTOMER SIGNATURE) _____ (DATE) _____

(LANDLORD SIGNATURE) _____ (DATE) _____

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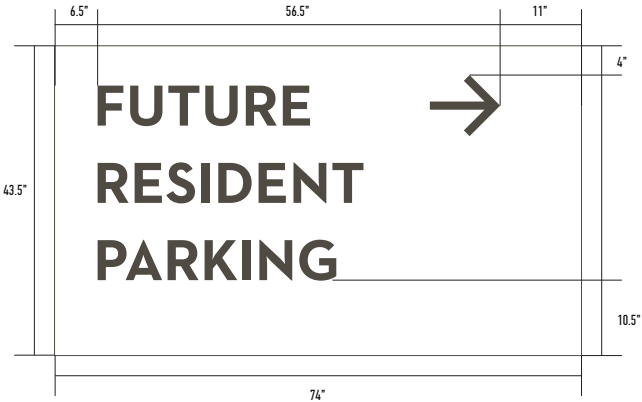


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FCO ACRYLIC LETTERING
1/2" THICK PEARL AND 3/8" THICK APARTMEN
PAINTED BLACK FOX
SIZE: 28.8" X 56.5"

E SIGN TYPE E



CLIENT

CONTACT: MARIBEL ORTIZ
PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN #

DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

APPROVAL

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(CUSTOMER SIGNATURE) (DATE)

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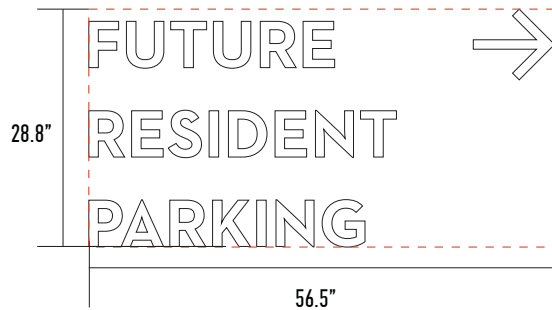
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E SIGN TYPE E



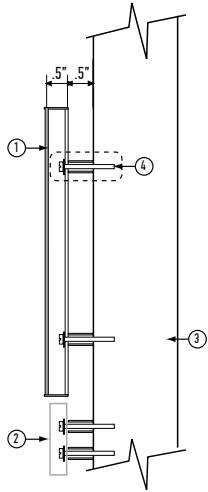
11.3 SQ FT TOTAL (NORTH EAST ELEVATION)

FABRICATE AND INSTALL NEW FLAT CUT ACRYLIC LETTERING

- 1/2" THICK FCO LETTERS (PEARL) - BLACK FOX SW PAINT
- 3/8" THICK FCO LETTERS (APARTMENTS) - BLACK FOX SW PAINT
- 1/2" SPACERS
- GE SILICONE ALL PENETRATIONS FOR WATERPROOF TIGHT FIT

**LETTER SECTION
FCO NON LIT LETTER**

- ① .5" THICK FCO ACRYLIC LETTERING
- ② 3/8" THICK FCO ACRYLIC LETTERING
- ③ EXISTING WALL
- ④ 1/4"DIA. UP TO 36" LETTER MIN (4) PER LETTER, TYP.
FASTENER TYPE PER WALL
CONDITION-SEE FIELD CHECK
1/2" STAINLESS STEEL SPACERS, TYP.



CLIENT

CONTACT: MARIBEL ORTIZ
PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN #

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01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

APPROVAL

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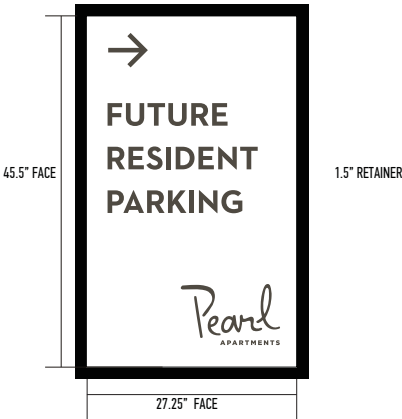


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F SIGN TYPE F



1/4" ACRYLIC FACES
BLACK VINYL TEXT
SIZE: 45.5" X 27.25"



CLIENT			
CONTACT: MARIBEL ORTIZ			
PEARL APARTMENTS 4111 VIA MARINA MARINA DEL REY, CA 90292			
PROJECT/DESIGN #			
DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR
EXTERIOR SIGNAGE - PEARL APARTMENTS			
REVISIONS			
APPROVAL			
<input type="checkbox"/> ACCEPTED WITH NO CHANGES <input type="checkbox"/> ACCEPTED WITH CHANGES AS NOTED <input type="checkbox"/> REVISE AS NOTED AND RE-SUBMIT			
(CUSTOMER SIGNATURE)		(DATE)	
(LANDLORD SIGNATURE)		(DATE)	
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EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

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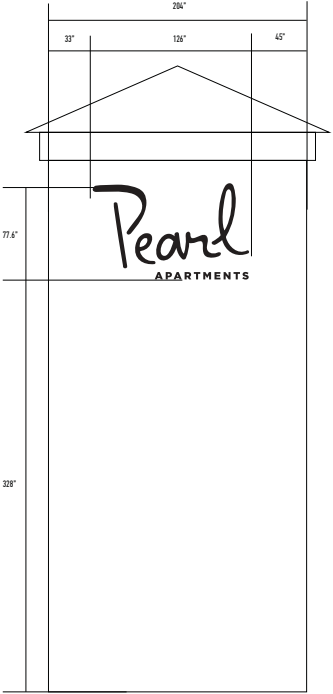
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HALO LIT CHANNEL LETTERING
PAINTED BLACK FOX
APARTMENT 1/2" FCO LETTERING ON SPACERS
SIZE: 126" X 77.6"



CLIENT

CONTACT: MARIBEL ORTIZ
PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN #

DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

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EXTERIOR SIGNAGE - PEARL APARTMENTS

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B SIGN TYPE B

67.9 SQ FT TOTAL (NORTH WEST ELEVATION)

FABRICATE AND INSTALL NEW HALO LIT CHANNEL LETTERS + FLAT CUT ALUMINUM LETTERING

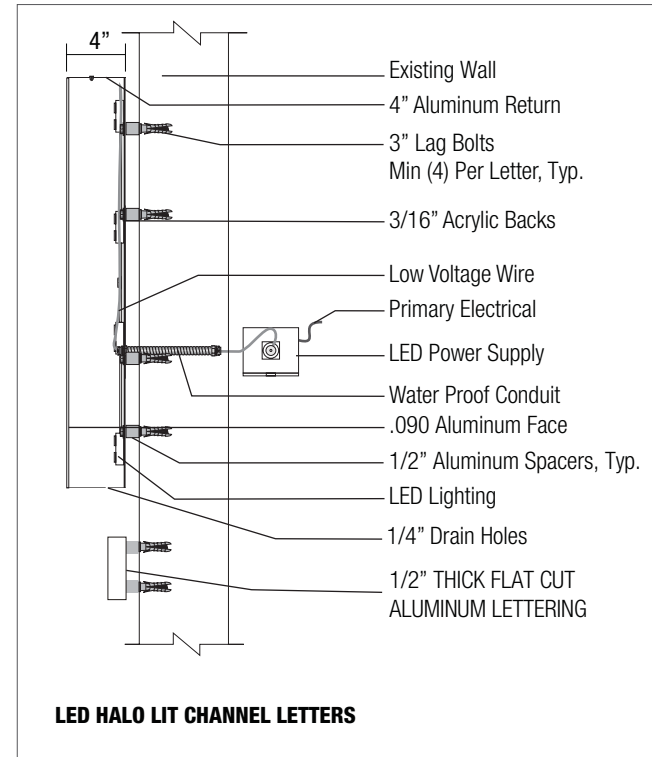
HALO LIT CHANNEL LETTERS - BLACK FOX SW PAINT
ALUMINUM CONSTRUCTION
INTERNALLY ILLUMINATED
.090 ALUMINUM FACES

NO TRIM CAP
4" DEEP RETURNS
3/16" THICK ACRYLIC BACKS
1/4" RIV NUTS

THREADED ROD, AND TRANSFORMERS
APARTMENTS - 1/2" THICK ALUMINUM FCO LETTERS PAINTED BLACK FOX SW
GE SILICONE ALL PENETRATIONS FOR WATERPROOF TIGHT FIT
UL LISTED

POWER:

12 VOLT DC NEON TRANSFORMER SELF CONTAINED WHERE POSSIBLE
120 VOLT 20 AMP PRIMARY ELECTRICAL SOURCE BY OTHERS WITHIN
5' OF SIGN LOCATION (NEC 600-5)



CLIENT

CONTACT: MARIBEL ORTIZ

PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN

DATE	SCALE	DESIGNER	ACCT. REP.
01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

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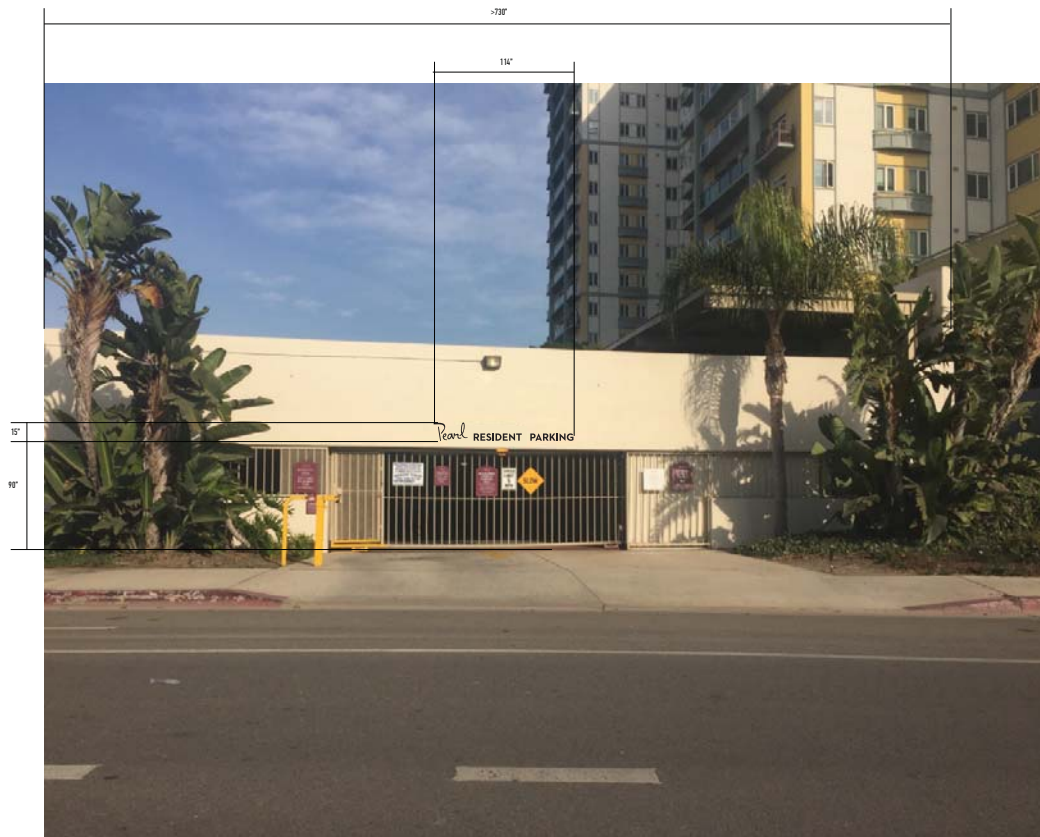
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FCO ACRYLIC LETTERING
1/2" THICK
PAINTED BLACK, FOX
SIZE: 15" X 114"

CLIENT

CONTACT: MARIBEL ORTIZ
PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN

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01-12-18	NTS	CSM	JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

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EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

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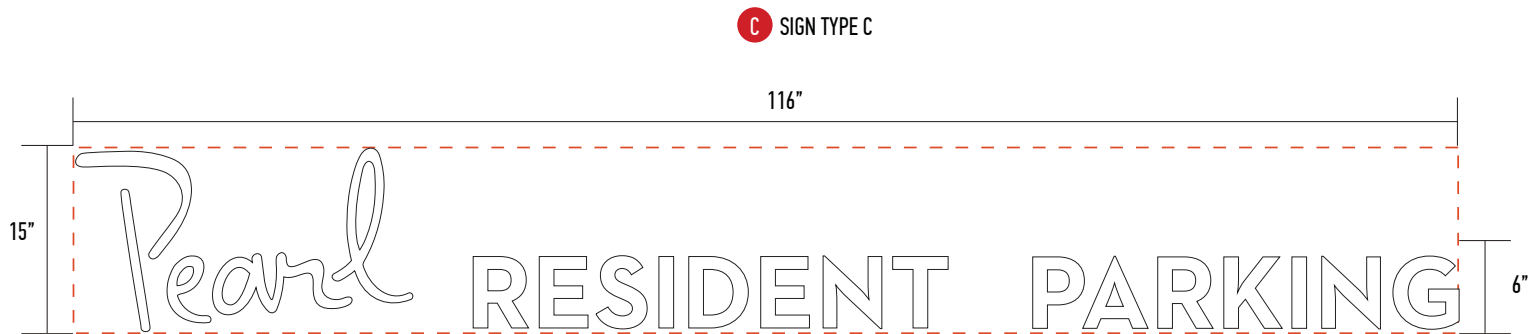
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12 SQ FT TOTAL (SOUTH WEST ELEVATION)

FABRICATE AND INSTALL NEW FLAT CUT ACRYLIC LETTERING

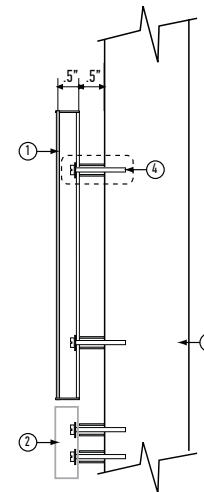
1/2" THICK FCO LETTERS (PEARL) - BLACK FOX SW PAINT

1/2" SPACERS

GE SILICONE ALL PENETRATIONS FOR WATERPROOF TIGHT FIT

LETTER SECTION FCO NON LIT LETTER

- ① .5" THICK FCO ACRYLIC LETTERING
- ② .5" THICK FCO ACRYLIC LETTERING
- ③ EXISTING WALL
- ④ 1/4"DIA. UP TO 36" LETTER
MIN (4) PER LETTER, TYP.
FASTENER TYPE PER WALL
CONDITION-SEE FIELD CHECK
1/2" STAINLESS STEEL SPACERS, TYP.



CLIENT
CONTACT: MARIBEL ORTIZ
PEARL APARTMENTS
4111 VIA MARINA
MARINA DEL REY, CA 90292

PROJECT/DESIGN #
DATE SCALE DESIGNER ACCT. REP.
01-12-18 NTS CSM JJR

EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

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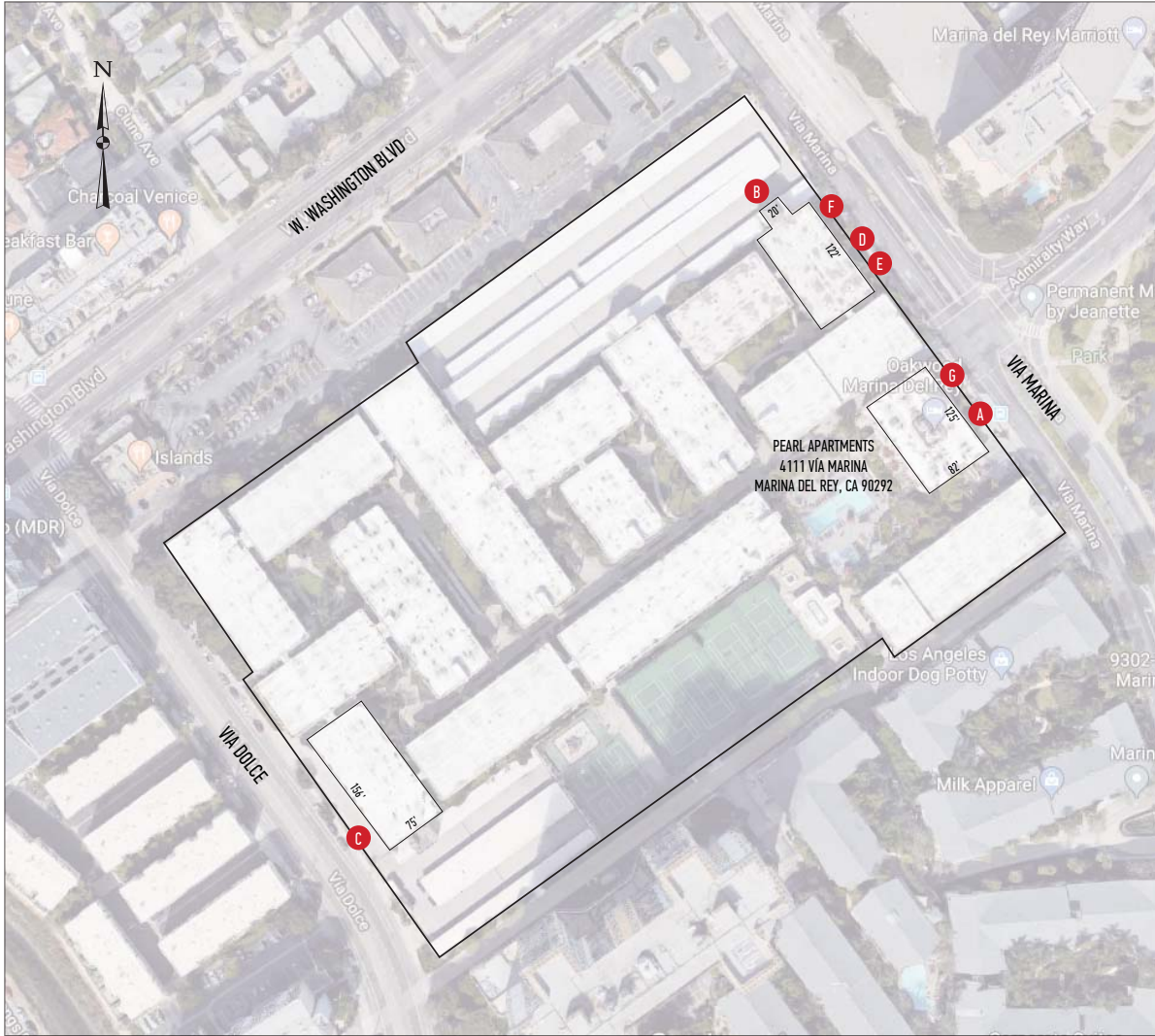
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EXTERIOR SIGNAGE - PEARL APARTMENTS

REVISIONS

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Caring for Your Coast

Gary Jones
Director

Kerry Silverstrom
Chief Deputy

John Kelly
Deputy Director

Brock Ladewig
Deputy Director

February 15, 2018

TO: Design Control Board
FROM:  Gary Jones, Director

SUBJECT: ITEM 5C – FIJI WAY – SOUTHERN CALIFORNIA EDISON / AT&T MOBILITY – DCB #18-003 – CONSIDERATION OF POLE-MOUNTED WIRELESS TELECOMMUNICATIONS FACILITY

Item 5C on your agenda is a submittal from AT&T Mobility (Applicant), seeking final design review approval for a pole-mounted Wireless Telecommunications Facility (Facility). The project is located within the right of way on Fiji Way near Admiralty Way.

PROJECT OVERVIEW

Existing Conditions

The project site is located in the landscaped parkway on the southeast side of Fiji Way near the Admiralty Way intersection, in the public right-of-way adjacent to the Ballona Wetlands. The site contains a roughly 29' tall Southern California Edison light pole, made of grey aggregate metal.

Proposed Project

The applicant proposes to replace the existing light pole with a new pole-mounted Facility, disguised as a light pole. The light pole will remain functional.

STRUCTURE DESIGN

Pole-Mounted Facility

The proposed Facility would be roughly 35' tall, with a slightly larger pole diameter than the existing street light, and consist of grey aggregate metal. Cylindrical antennas and equipment would be located on the top of the pole, extending roughly 7' above the arm and light, and painted grey to match the pole. The equipment at the top of the light pole would be the same diameter as the pole, and tapered down slightly at the top. Two subterranean equipment vaults would be installed adjacent to the light.

STAFF REVIEW

Staff requested that the applicant provide justification for placement of the proposed Facility in the right of way, and not on an existing building. The applicant stated that the Facility in the right of way was considered co-locating with existing utilities, rather than adding a new standalone antenna. Also, the design of the Facility is seamlessly integrated with the area. Staff finds that the applicant's justification is acceptable and the proposed project is consistent with the following Marina del Rey Design Guidelines.



DG.179 – Discourage service areas or utilities visible from the waterfront and promenade.

DG.186 – Encourage the installation of utilities underground.

DG.187 – Locate satellite dishes or wireless telecommunication facilities in unobtrusive locations and/or surrounded by walls to minimize their visual impact.

DG.188 – Screen and buffer antennas and on-site transformers from any public street views.

DG.191 – Treat mechanical equipment as a unique design feature using quality materials or blending with the architecture.

Staff recommends APPROVAL of DCB #18-003, subject to the following conditions:

- 1) The Applicant shall obtain approval from the Department of Regional Planning.**
- 2) No change shall be made to the approved design, landscaping, hardscape, materials, or signage without written approval from the Department of Beaches and Harbors Planning Division staff.**
- 3) No substantial change shall be made to the approved design, landscaping, hardscape, materials, or signage without the written consent of the Design Control Board.**
- 4) The applicant shall replace all removed landscaping with like for like plants.**

GJ:BL:te



APPROVALS			
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.			
APPROVED BY:	INITIALS:	DATE:	
AT&T RF ENGINEER: _____			
AT&T OPERATIONS: _____			
SITE ACQUISITION MANAGER: _____			
PROJECT MANAGER: _____			
ZONING VENDOR: _____			
LEASING VENDOR: _____			
CONSTRUCTION MANAGER: _____			
AE MANAGER: _____			
PROPERTY OWNER: _____			
UTILITY MANAGER: _____			

PROJECT DESCRIPTION

AT&T PROPOSES TO INSTALL A NEW WIRELESS ANTENNA LOCATED IN THE PUBLIC RIGHT-OF-WAY TO IN CONCRETE LIGHT POLE.

THE SCOPE WILL CONSIST OF THE FOLLOWING:

* S/C TO REMOVE	(1) EXISTING CONCRETE STREETLIGHT
* S/C TO INSTALL	(1) 20'-2" CONCRETE STREETLIGHT
* AT&T TO INSTALL	(4) NEW AT&T REMOTE RADIO UNITS
* AT&T TO INSTALL	(1) NEW AT&T OMNI-DIRECTIONAL ANTENNA
* AT&T TO INSTALL	(2) NEW AT&T ANTERA SHIELD
* AT&T TO INSTALL	(1) NEW AT&T 2" POWERFIBER RISER
* AT&T TO INSTALL	(2) NEW 2" C-CLASS RISERS
* AT&T TO INSTALL	(1) NEW DISCONNECT
* AT&T TO INSTALL	(1) NEW HANDOFF

PROJECT SITE INFORMATION

PUBLIC/PRIVATE:	PUBLIC RIGHT-OF-WAY
ADDRESS:	13837 FLIJ WAY, MARINA DEL REY, CA, 90292
APPLICANT:	AT&T
ADDRESS:	1452 EDINGER AVE TUSTIN, CA 92780 33.977351
LATITUDE (NAD 83):	-118.437833
LONGITUDE (NAD 83):	NAD-83
LAT/LONG TYPE:	118.427
GROUND ELEVATION (NAD 83)	
JURISDICTION:	CITY OF MARINA DEL REY
CURRENT ZONING:	PUBLIC RIGHT OF WAY
PROPOSED USE:	UNMANNED TELECOMMUNICATIONS
POWER COMPANY:	SCE
ADDRESS:	2131 WALNUT GROVE ROSEMEAD, CA 91770

PROJECT TEAM

PROJECT MANAGER: M SQUARED WIRELESS 1387 CALLE AVANZADO SAN CLEMENTE, CA 90673	ENGINEER: M SQUARED WIRELESS 1387 CALLE AVANZADO SAN CLEMENTE, CA 90673
SAC/NOZING/PERMITTING: M SQUARED WIRELESS 1387 CALLE AVANZADO SAN CLEMENTE, CA 90673	SENIOR TECHNICAL PROJECT MANAGER: AT&T 1452 EDINGER AVE. TUSTIN, CA 92616 CONTACT: CHAM MERE PHONE: (714) 293-9442 EMAIL: CM05309@ATT.COM
RF ENGINEER: AT&T 1452 EDINGER AVE. TUSTIN, CA 92616 CONTACT: KARLO DAVINAGRACIA PHONE: (714) 566-7310 EMAIL: KD0707@ATT.COM	

[illegible]

DRIVING DIRECTIONS

DIRECTIONS FROM ATAT OFFICE:

DIRECTIONS TAKEN FROM
1452 EDINGER AVE.
TUSTIN, CA 92680

1. TURN LEFT OFF EDINGER AVE
2. TURN LEFT ONTO STATE ROUTE 55 S
3. MERGE ONTO STATE ROUTE 55 S
4. TAKE EXIT 6A TO MERGE ONTO 1405 N
5. KEEP LEFT AT THE FORK AND STAY ON
1405 N
6. TAKE EXIT 50A TO MERGE ONTO CA-90 W

7. TURN LEFT ONTO MINGANAO WAY
10. TURN LEFT ONTO ADMIRALTY WAY
11. TURN LEFT ONTO PUTI WAY
12. TURN LEFT ONTO PUTI WAY

DESTINATION WILL BE THE RIGHT
13037 PUTI WAY, MARINA DEL REY, CA 90202

<h1>DIG ALERT</h1>	
	<p>Dig Alert Know what's below. Call before you dig. CALIFORNIA SOUTH Call Two Working Days Before You Dig! 811 / 800-227-2600</p>

DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CONSTRUCTION DRAWING
IF USING 11"x17" PLOT, DRAWING WILL BE HALF SCALE

DRAWING INDEX	
SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
GN-1	GENERAL NOTES
A-1	SITE PLAN
A-2	ELEVATIONS
A-3	ELEVATIONS
A-4	SITE IMAGE
D-1	DETAILS
S-1	POLE DETAILS
S-2	POLE FOUNDATION DETAILS
E-1	ELECTRICAL & GROUNDING DETAILS

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

1. 2016 CALIFORNIA ADMINISTRATIVE CODE
2. 2016 CALIFORNIA BUILDINGS CODE
3. 2016 CALIFORNIA ELECTRIC CODE
4. 2016 CALIFORNIA MECHANICAL CODE
5. 2016 CALIFORNIA PLUMBING CODE
6. 2016 CALIFORNIA FIRE CODE
7. ANY LOCAL BUILDING CODE AMENDMENTS TO THE ABOVE
8. CITY/COUNTY ORDINANCES

HANDICAP REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE STATE CODE PART 2, TITLE 24, CHAPTER 11B, SECTION 11038.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.



B	01/18/18	100% CONSTRUCTION
A	11/20/17	90% CONSTRUCTION
REV	DATE	DESCRIPTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY
ARE ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE ID: PLAYA 20D
13837 FIJI WAY
MARINA DEL REY, CA, 90292

SHEET TITLE

TITLE SHEET

SHEET NUMBER




T-1

1. THE FACILITY IS AN UNOCCUPIED DIGITAL TELECOMMUNICATION FACILITY.
2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS; FIELD CONDITIONS AND REQUIREMENTS; AND CONFIRMATIONS. CONTRACTORS SHALL BE ADVISED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE IMPLEMENTATION ENGINEER AND ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
6. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL OWE ALL NOTICE AND COMPLIANCE WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMING OF ANY WORK OF MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
7. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING AND SUPERVISING ALL WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE IMPLEMENTATION ENGINEER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
8. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U/L LISTED AND FIRE CODE APPROVED MATERIALS.
9. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-ABTC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
10. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
11. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWING (SHEET 1SL OR SHEET C-1), SHALL NOT BE USED TO LOCATE OR ESTABLISH THE BEARING OF ANY NORTH LINE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ENGINEER PRIOR TO ANY SUCH ACTION. IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL WORKSHEET, THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ENGINEER.

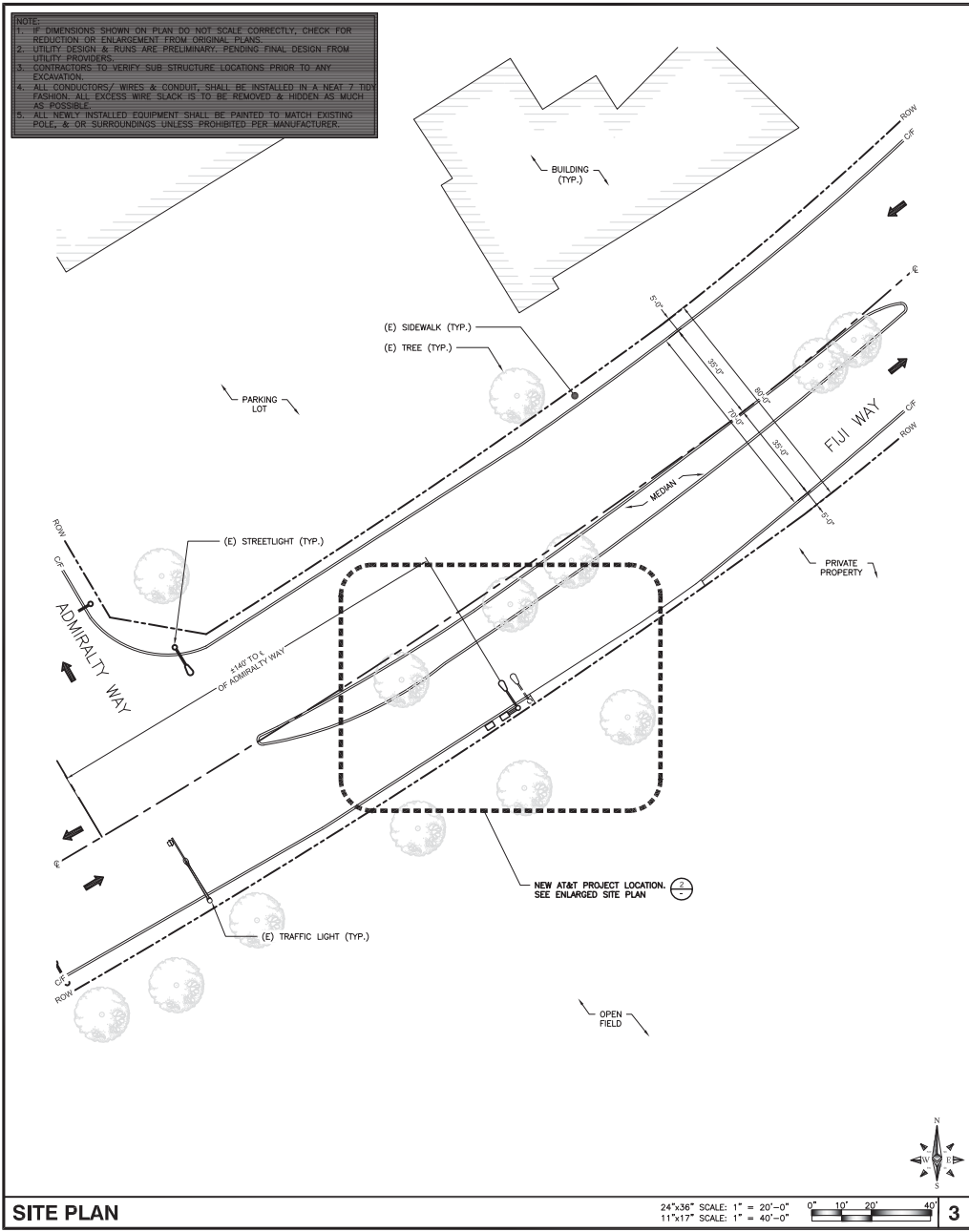
1

13. KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, STAINS OR SMUDGES OF ANY NATURE.
14. PENETRATIONS OF ROOF MEMBRANES SHALL BE PATCHED/FLASHED AND MADE WATERIGHT USING LIKE MATERIALS IN ACCORDANCE WITH NRCA ROOFING STANDARDS AND DETAILS. CONTRACTOR SHALL OBTAIN DETAILED CLARIFICATION FOR SITE-SPECIFIC CONDITIONS FROM ENGINEER, IF NECESSARY, BEFORE PROCEEDING.
15. BEFORE ORDERING AND/OR BEFORE FABRICATING/CONSTRUCTING/INSTALLING ANY ITEMS, VERIFY THE TYPES AND QUANTITIES.
16. CONTRACTOR SHALL PROVIDE SITE FORWARD WITH A CELLULAR PHONE AND PAGER, AND KEEP SAME ON SITE WHENEVER PERSONNEL ARE ON SITE.
17. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE SITE AND NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.
18. CONTRACTOR TO PROVIDE COMPLETE SET OF AS BUILT DRAWINGS WITHIN 10 WORKING DAYS OF PROJECT COMPLETION.
19. CONTRACTOR IS TO EXCAVATE 6" BELOW EXISTING GRADE AND SPRAY WITH WEED CONTROL. REPLACE WITH CLASS 1 AGGREGATE BASE AND CRUSHED WASHED ROCK, AS SPECIFIED ON SITE PLAN.
20. CONTRACTOR SHALL PROVIDE TOILET FACILITY DURING ALL PHASES OF CONSTRUCTION.
21. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR THE FABRICATION OF MATERIALS TO BE INSTALLED AT THE SITE, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INCLUDING AS-BUILT DIMENSIONS OF EXISTING STRUCTURES OR STRUCTURAL ELEMENTS HAVING A BEARING ON THE SCOPE OF THE WORK TO BE PERFORMED. IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE DIMENSIONS OR CONDITIONS FOUND TO BE EXISTING IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE OWNER AND OBTAIN DESIGN RESOLUTION PRIOR TO PROCEEDING WITH THE PORTION(S) OF THE WORK AFFECTED. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO SO NOTIFY THE ENGINEER AND OBTAIN RESOLUTION BEFORE PROCEEDING.

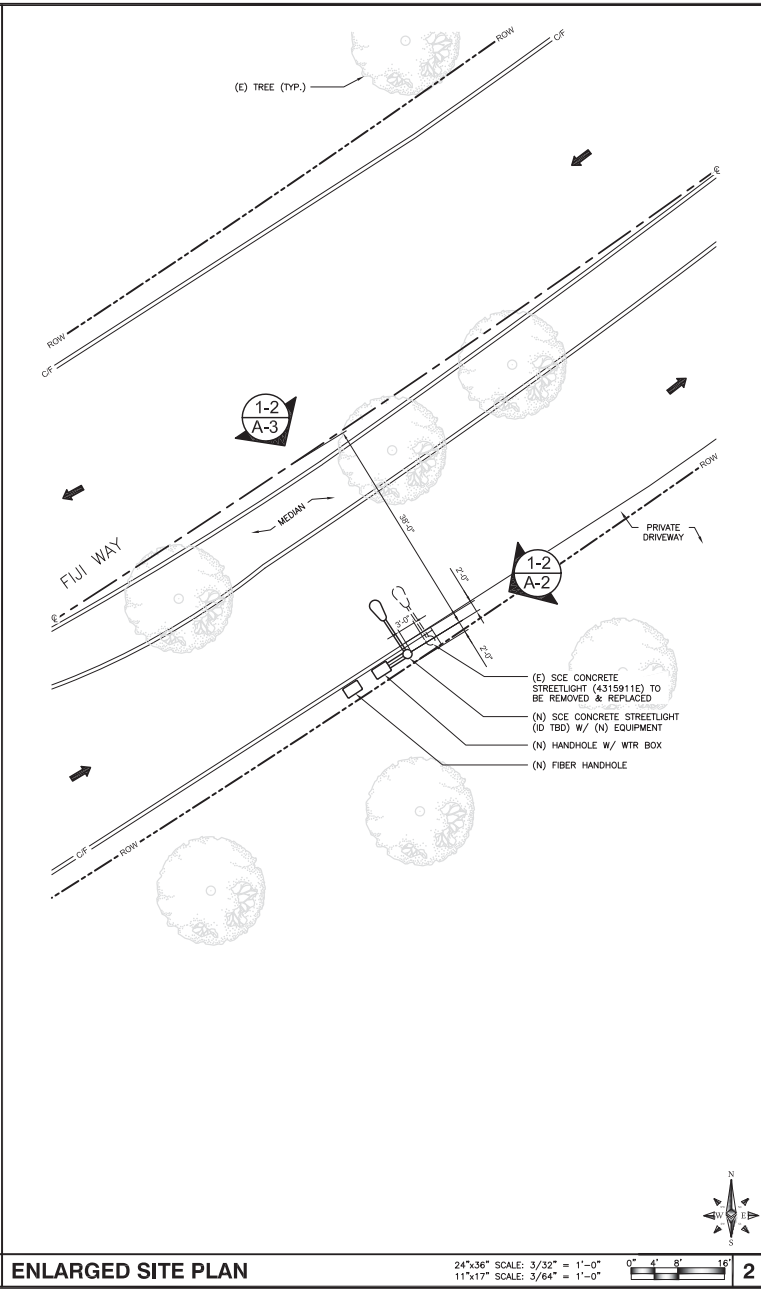
GENERAL NOTES	4
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 at&t		
 <div style="text-align: center;">ERICSSON 330 COMMERCE, STE. 200 IRVINE, CA 92602</div>		
 <div style="text-align: center;">M SQUARE WIRELESS 1387 CALLE AVANZADO SAN CLEMENTE CA 95073 (949) 591-6834</div>		
DRAWN BY:		DGM
CHECKED BY:		MM
B	01/18/18	100% CONSTRUCTION
A	11/20/17	90% CONSTRUCTION
REV	DATE	DESCRIPTION
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.		
SITE ID: PLAYA 20D 13837 FLJI WAY MARINA DEL REY, CA, 90292		
SHEET TITLE		
GENERAL NOTES		
SHEET NUMBER		
GN-1		

- NOTE:
1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
 2. UTILITY DESIGN & RUNS ARE PRELIMINARY, PENDING FINAL DESIGN FROM UTILITY PROVIDERS.
 3. CONTRACTORS TO VERIFY SUB-STRUCTURE LOCATIONS PRIOR TO ANY EXCAVATION.
 4. ALL CONDUCTORS/ WIRES & CONDUIT, SHALL BE INSTALLED IN A NEAT & TIDY FASHION. ALL EXCESS WIRE SACK IS TO BE REMOVED & HIDDEN AS MUCH AS POSSIBLE.
 5. ALL NEWLY INSTALLED EQUIPMENT SHALL BE PAINTED TO MATCH EXISTING POLE, & OR SURROUNDINGS UNLESS PROHIBITED PER MANUFACTURE.



SITE PLAN



ENLARGED SITE PLAN



DRAWN BY: DGM
CHECKED BY: MM

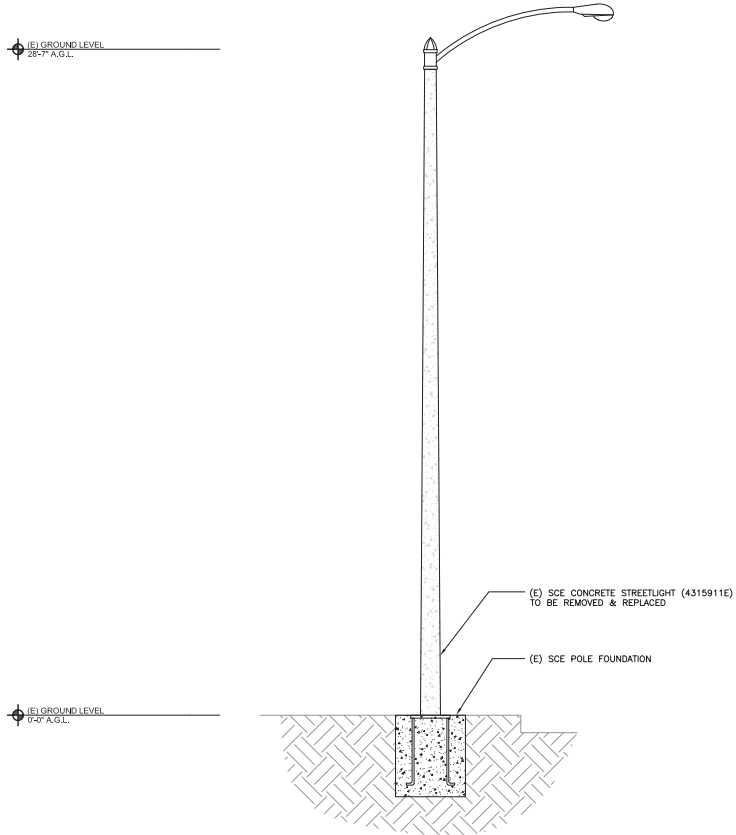
REV	DATE	DESCRIPTION
B	01/18/18	100% CONSTRUCTION
A	11/20/17	80% CONSTRUCTION

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SITE ID: PLAYA 20D
13837 FIJI WAY
MARINA DEL REY, CA, 90292

SHEET TITLE
SITE PLAN

SHEET NUMBER
A-1



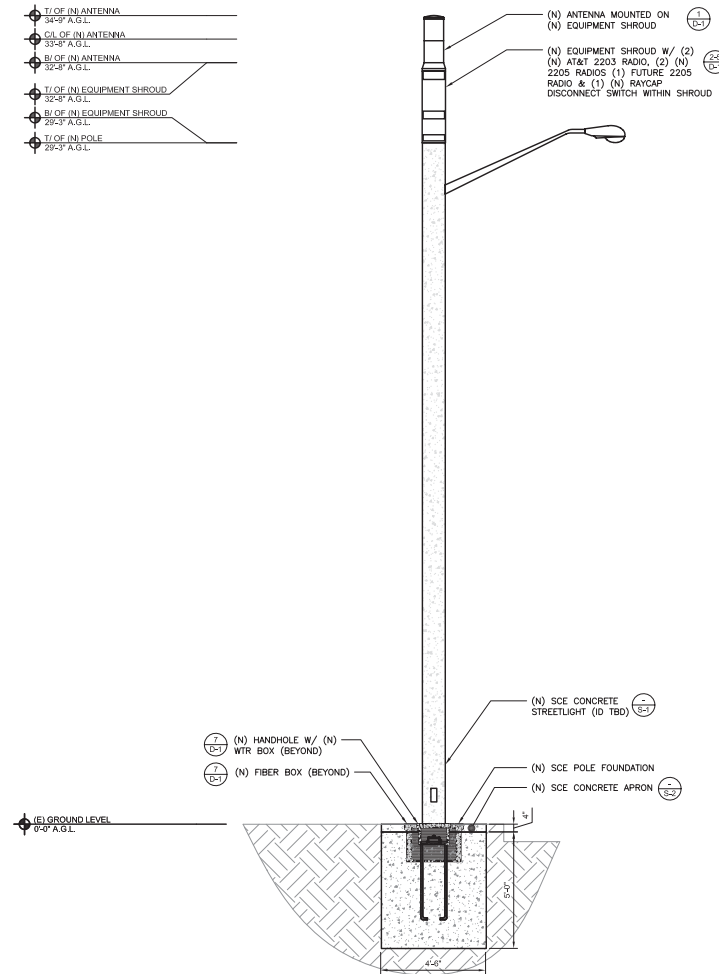
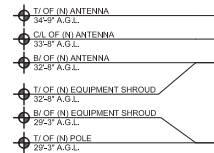
EXISTING NORTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"



2

NOTE:
ALL NEW EQUIPMENT SHALL BE PAINTED
TO MATCH NEW UTILITY POLE



NEW NORTHEAST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"



1



330 COMMERCE, STE. 200
IRVINE, CA 92602



DRAWN BY: DGM
CHECKED BY: MM

B	01/18/18	100% CONSTRUCTION
A	11/20/17	80% CONSTRUCTION
REV	DATE	DESCRIPTION

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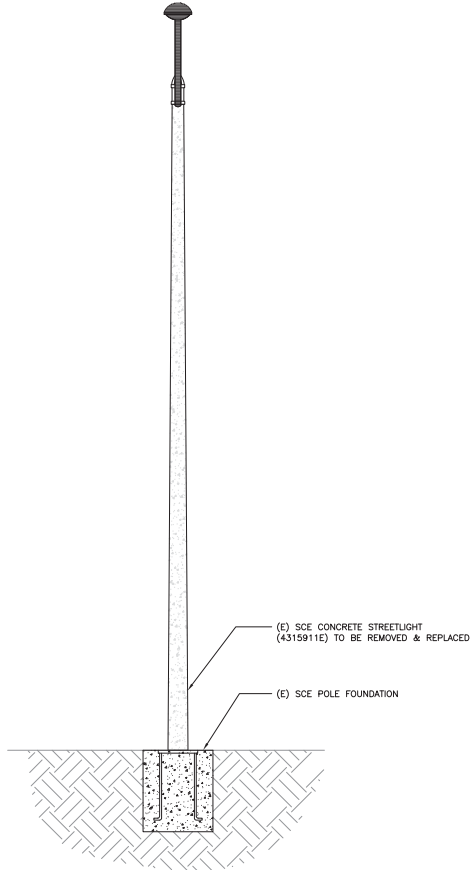
SITE ID: PLAYA 20D
13837 FUJI WAY
MARINA DEL REY, CA, 90292

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-2

T/OF (E) POLE
28'-7" A.G.L.

E GROUND LEVEL
0'-0" A.G.L.



EXISTING NORTHWEST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

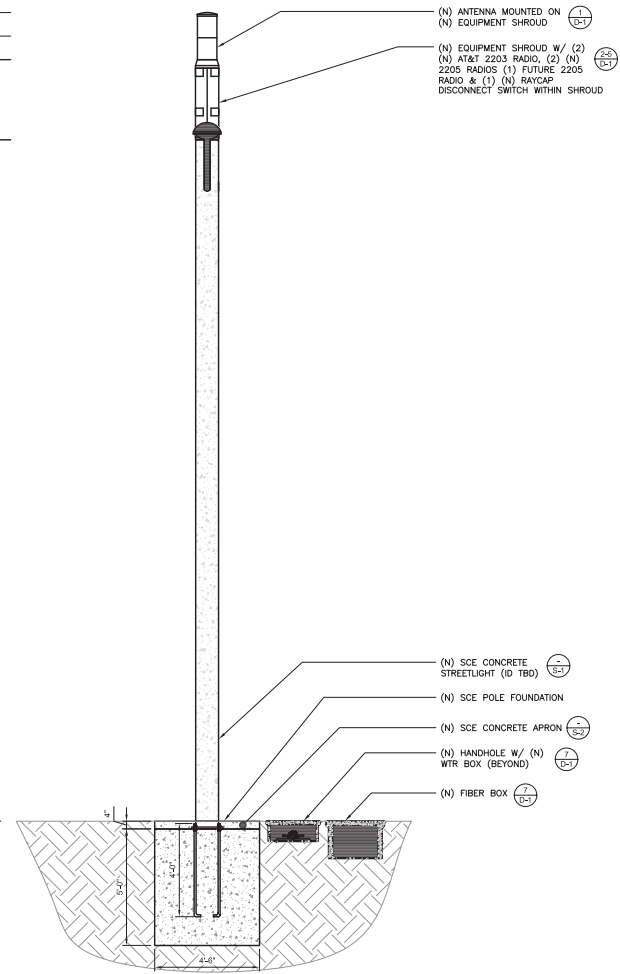


2

NOTE:
ALL NEW EQUIPMENT SHALL BE PAINTED
TO MATCH NEW UTILITY POLE

- T/OF (N) ANTENNA
34'-9" A.G.L.
- CL OF (N) ANTENNA
33'-8" A.G.L.
- B/OF (N) ANTENNA
32'-4" A.G.L.
- T/OF (N) EQUIPMENT SHROUD
32'-4" A.G.L.
- B/OF (N) EQUIPMENT SHROUD
29'-3" A.G.L.
- T/OF (N) POLE
29'-3" A.G.L.

E GROUND LEVEL
0'-0" A.G.L.



NEW NORTHWEST ELEVATION

24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"



1



330 COMMERCE, STE. 200
IRVINE, CA 92602



DRAWN BY: DGM
CHECKED BY: MM

REV	DATE	DESCRIPTION
B	01/18/18	100% CONSTRUCTION
A	11/20/17	80% CONSTRUCTION

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SITE ID: PLAYA 20D
13837 FIJI WAY
MARINA DEL REY, CA, 90292

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-3



NEW 29'-3" POLE LOCATION
(34'-9" OVERALL POLE
HEIGHT) (RAD. CENTER 33'-8")

PROPOSED SITE LOCATION LOOKING SOUTHEAST



ERICSSON
330 COMMERCE, STE. 200
IRVINE, CA 92602



1987 CALLE AVANZADO
SAN CLEMENTE CA 95073 (949) 961-8884

DRAWN BY: DGM
CHECKED BY: MM

B	01/18/18	100% CONSTRUCTION
A	11/20/17	80% CONSTRUCTION
REV	DATE	DESCRIPTION

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY
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PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE ID: PLAYA 20D
13837 FUJI WAY
MARINA DEL REY, CA, 90292

SHEET TITLE

SITE IMAGE

SHEET NUMBER

A-4

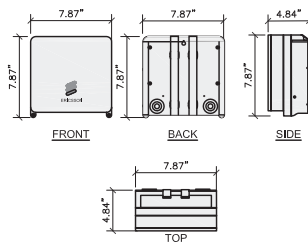
A diagram of a vertical storage tank with a hemispherical top. A dipstick is shown inserted into the tank, with an arrow pointing to the liquid level inside.



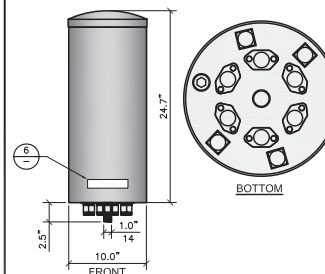
NOTICE

RF energy emitted by this device may exceed the FCC's general public exposure limits. Stay at least 1 foot away from the device. Call 800-638-2822 for help if you need access within 1 foot

Place one NOTICE sticker at the bottom of the front of the radome of each antenna.



SECTION - MICRO RADIO 2222	
MECHANICAL SPECIFICATIONS:	
DIMENSIONS (inches)	7.87" x 4.84" x 2.22" INCLUDES MOUNTING BRACKET AND ESTHETIC FRONT COVER
VOLUME AND WEIGHT:	4 LITRES AND 4 kg (8.82 lbs)
MOUNTING:	WALL AND POLE MOUNT
INTERFACE SPECIFICATIONS:	
ANTENNA PORTS:	2 x 4.3-10P
CPRI:	2 x 3.5S/18 Gbps (EXCHANGEABLE SFP MODULES)
OPTICAL INDICATORS:	6
EXTERNAL ALARMS:	2
FIELD MONITOR:	1
ELECTRICAL SPECIFICATIONS:	
POWER SUPPLY:	-48 VDC OR 100-250 VAC
POWER OUTPUT:	87 WATTS MAX
MAX HEAT DISSIPATION:	90 WATTS
MINIMUM AC FUSE RATING:	6 AMP



GALTRONICS EXTENT™ PINKIE PSEUDO OMNI™ CONJESTER ANTENNA	
MECHANICAL SPECIFICATIONS	
DIMENSIONS (HxO):	24.7 x 10 INCHES (625 x 254 mm)
WEIGHT EXCL. MOUNTING BRACKETS:	10lb (4.5 kg)
NO. OF CONNECTORS	10 X 4.3-10 OHM FEMALE
CONNECTOR TYPE & FREQUENCY BAND	1150-1800 MHz (100W) 4 X 4.3-10 OHM FEMALE (3000-3700) MHz 2 X 4.3-10 OHM FEMALE (5150-5950) MHz
MAX. WIND SPEED:	150 mph
RADOME MATERIAL:	ASA
SHIPPING DIMS (LxWxH)	30"19"19"X19" (762x483x483)
GROSS SHIPPING WEIGHT:	26 lbs (12kg)

PART NO. 04127265-06480-1 (GRAY)
PART NO. 04127265-06480-5 (BROWN)
PART NO. 04127265-06480-C (CHROME)



330 COMMERCE, STE. 200
IRVINE, CA 92602



1387 CALLE AVANZADO
SAN CLEMENTE CA 95073 (408) 381-8824

OMN| ANTENNA D|SCLA|MER LABEL

24"x36" SCALE: NTS	6
11"x17" SCALE: NTS	

6	MICRO RADIO 2205
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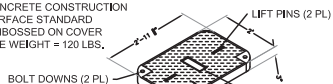
24"x36" SCALE: NTS	4
11"x17" SCALE: NTS	

GALTRON|CS P6480-6 OMN| ANTENNA

24"x36" SCALE: NTS	1
11"x17" SCALE: NTS	

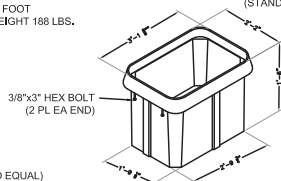
COVER FEATURES:

- STANDARD LOAD RATING: 20,800 LBS. WHEEL LOAD ON 10"x20" PLATE
- 2 BOLT DOWN LOCATIONS
- STAINLESS STEEL BOX INSERTS
- POLYMER CONCRETE CONSTRUCTION
- NON-SKID SURFACE STANDARD
- 20K TO BE EMBOSSED ON COVER
- APPROXIMATE WEIGHT = 120 LBS.



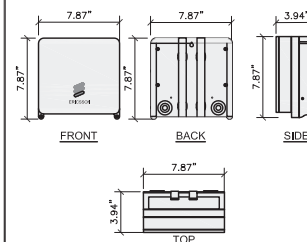
COVER FEATURES:

- POLYMER CONCRETE CONSTRUCTION
- LIGHTWEIGHT
- STACKABLE FOOT
- APPROX. WEIGHT 188 LBS.



(OR APPROVED EQUAL)

RAYCAP-RECAP-CDM-4000	
REQUIREMENTS	
CONNECTION TERMINAL (POWER)	COMPRESSION LUG μ = #14 AWG (13 - 20MGT)
ENVIRONMENTAL INGRESS PROTECTION (IP) RATING	TERMINAL BLOCK (PT) = #14 AWG (0 - 0.14MGT)
OPERATION TEMPERATURE	(C) -40 to +85 C
STORAGE TEMPERATURE	(F) -40 to +185 F
INSULATION RESISTANCE	10 ⁹ OHM-CM
ENCLOSURE TYPE (OUTDOOR) POLYCARBONATE	10 ⁹ OHM-CM
ENCLOSURE DIMENSION	1.50" L X 1.50" W X 5.06" H 10.00"
	[217 LBS 1.206 MMS]
	1.25 LBS (1.25 MMS)
WEIGHT:	
ELECTRICAL	
SURGE PROTECTION DEVICE (SPO) TYPE TO UL: STRONGER 300-A	
NUMBER OF CIRCUITS PROTECTED	
SURGE PROTECTIVE DEVICE (SPO) TYPE TO UL: STRONGER 300-A	
NUMBER OF CIRCUITS PROTECTED	
NOMINAL DISCHARGE CURRENT (KA) TO UL: 1448 4TH EDITION: TYPE 2 COMPONENT ASSEMBLY	
NOMINAL OPERATION VOLTAGE (V) 120 V	
NOMINAL RATED VOLTAGE (V) 120 V	
NOMINAL CURRENT RATING (A) TO UL: 1448 4TH EDITION: 20 KA 8/20 MS	
MAXIMUM DISCHARGE CURRENT (KA) PER UL CIRC 61643-1 10 KA 8/20 MS	
MAXIMUM CONTINUOUS OPERATING VOLTAGE (V) 120 V	
VOLTAGE PROTECTION LEVEL (V) PER UL CIRC 61643-1 7500V	
VOLTAGE PROTECTION RATING (kV) 20 KA 8/20 MS	
SUPPRESSION TEMPERATURE: 40V	
PROTECTION CLASS: DOUBLE LINE TO LINE NEUTRAL, NEUTRAL TO GROUND	
<p>NOTES: 1. THIS PRODUCT IS NOT TO BE USED TO PROTECT THE FOLLOWING: 1. AIR CONDITIONING, 2. AIR-CONDITIONING, 3. AIR-CONDITIONING, 4. AIR-CONDITIONING, 5. AIR-CONDITIONING, 6. AIR-CONDITIONING, 7. AIR-CONDITIONING, 8. AIR-CONDITIONING, 9. AIR-CONDITIONING, 10. AIR-CONDITIONING, 11. AIR-CONDITIONING, 12. AIR-CONDITIONING, 13. AIR-CONDITIONING, 14. AIR-CONDITIONING, 15. AIR-CONDITIONING, 16. AIR-CONDITIONING, 17. AIR-CONDITIONING, 18. AIR-CONDITIONING, 19. AIR-CONDITIONING, 20. AIR-CONDITIONING, 21. AIR-CONDITIONING, 22. AIR-CONDITIONING, 23. AIR-CONDITIONING, 24. AIR-CONDITIONING, 25. AIR-CONDITIONING, 26. AIR-CONDITIONING, 27. AIR-CONDITIONING, 28. AIR-CONDITIONING, 29. AIR-CONDITIONING, 30. AIR-CONDITIONING, 31. AIR-CONDITIONING, 32. AIR-CONDITIONING, 33. AIR-CONDITIONING, 34. AIR-CONDITIONING, 35. AIR-CONDITIONING, 36. AIR-CONDITIONING, 37. AIR-CONDITIONING, 38. AIR-CONDITIONING, 39. AIR-CONDITIONING, 40. AIR-CONDITIONING, 41. AIR-CONDITIONING, 42. AIR-CONDITIONING, 43. 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EMISSION - MICRO RATIO 2200	
MECHANICAL SPECIFICATIONS:	
DIMENSIONS (mm/inch)	78.7x37x147.5" INCLUDING MOUNT BRACKET AND CABLE AND ESTHETIC FRONT COVER
VOLUME AND WEIGHT:	4 LITRES AND < 4.5 kg (10.0 lbs)
MOUNTING:	WALL AND POLE MOUNT
INTERFACE SPECIFICATIONS:	
ANALOG PORTS:	2 x 4-20 (mA)
CPIR:	2 x 1-2.5/10 GPaq (EXCHANGEABLE BY MODULES)
OPTICAL INDICATORS:	1
EXTERNAL ALARM:	2
FIELD GROUND:	1
ELECTRICAL SPECIFICATIONS:	
POWER SUPPLY:	-48 VDC OR 100-250 VAC
POWER OUTPUT:	37 WATTS MAX
MAX HEAT DISSIPATION:	90 WATTS
MINIMUM AC FUSE RATING:	6 AMP

DRAWN BY:	DGM
CHECKED BY:	MB

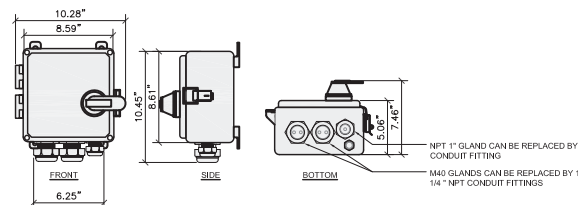
B	01/18/18	100% CONSTRUCTION
A	11/20/17	90% CONSTRUCTION
REV	DATE	DESCRIPTION

HANDHOLE

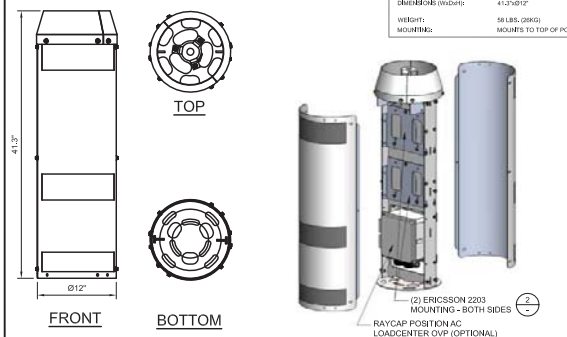
24"x36" SCALE: NTS	7
11"x17" SCALE: NTS	

MICRO RADIO 2203

24"x36" SCALE: NTS	2
11"x17" SCALE: NTS	



- NPT 1" GLAND CAN BE REPLACED BY CONDUIT FITTING
- M40 GLANDS CAN BE REPLACED BY 1 1/4 " NPT CONDUIT FITTINGS



<u>COMSCOPE SCC-700230268</u>	
<u>MECHANICAL SPECIFICATIONS</u>	
DIMENSIONS (WxDxH):	41.3"x31.2"
WEIGHT:	58 LBS. (26KG)
MOUNTING:	MOUNTS TO TOP OF RACK

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY
ARE ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

SITE ID: PLAYA 20D
13837 FIJI WAY
MARINA DEL REY, CA. 90292

SHEET TITLE

DETAILS

SHEET NUMBER

D-1

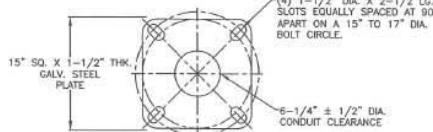
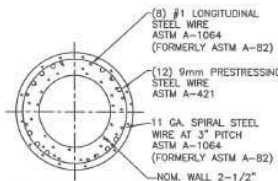
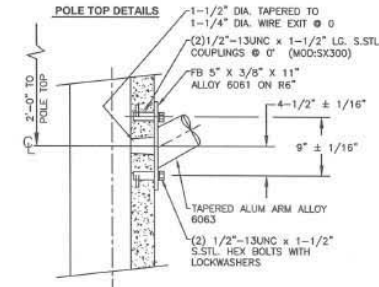
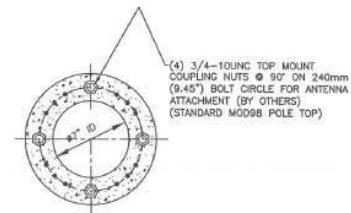
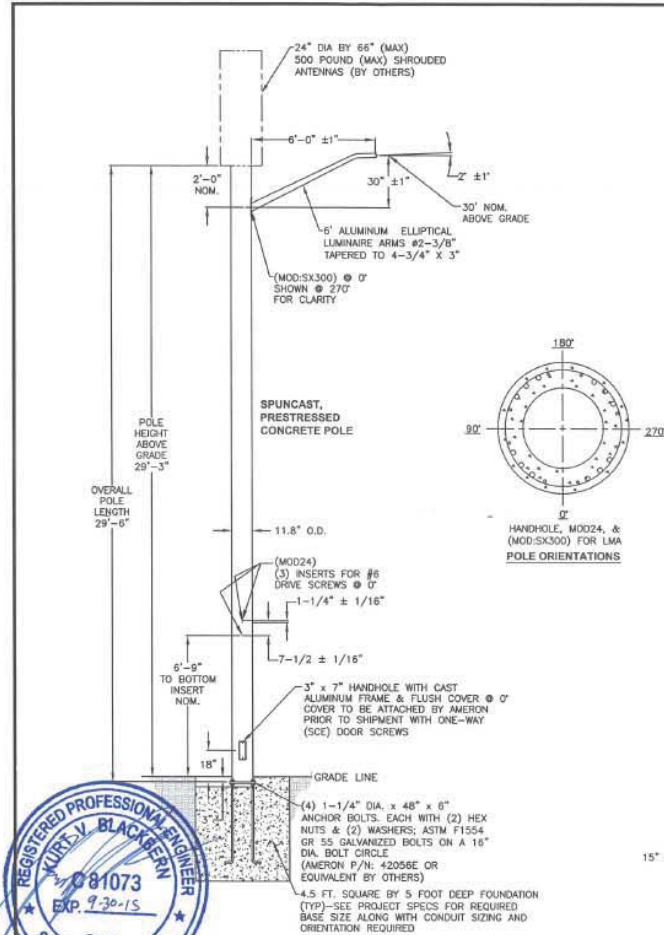
NOT USED

8	RAYCAP DISCONNECT
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24"x36" SCALE: NTS	5
11"x17" SCALE: NTS	

EQUIPMENT SHROUD

24"x36" SCALE: NTS	3
11"x17" SCALE: NTS	



REV.	DATE	DESCRIPTION	DRN.	APPR.
A	09/07	REDRAWN, ADDED POLE P/N	A.C.	
B	05/08	UPDATED FOR ORACLE	T.L.	
C	02/10	A/B WERE A36M55, NOW A307	J.C.	
D	06/15	UPDATED TO NEW DWG. STDS.	L.P.	

"F" LEVEL CONFIG CODES			"P" LEVEL CONFIG CODES		
OPTION CLASS	ENTRY	INFO.	OPTION CLASS	ENTRY	INFO.
COATING	S		MIX	B1	
HH COVER	66546E		FINISH	5	
DOOR SCRS	SCE		BASEPLATE	63250E	
DRILL IN MOD	MOD24		COLLAR	NONE	
			POLE TOP CON.	MOD98	
			CAST-IN MOD	MODSX300	

300MM NON-TAPERED BASE PLATE ROUND POLE						
POLE DESIGNATION	POLE HEIGHT ABOVE GRADE	OVERALL POLE LENGTH	BOLT CIRCLE	BASE O.D.	ULTIMATE G.L. MOMENT (ft.-lbs.)	POLE WEIGHT (lbs.)
BP300X09	29'-3"	29'-6"	16"	11-13/16"	65,000	2900

- () POLES REQUIRED (P/N: BP300X09-16137), EACH WITH 6" WALL BRACKET ELLIPTICAL ARM (P/N: LAE66A).
- NOTES:
- MIX (8158): SCE BLACK & WHITE, LIGHTLY EXPOSED AGGREGATE FINISH WITH FLAT WATER SEALER COATING.
 - ASTM C-150 TYPE III GRAY CEMENT.
 - Fc @ 28 DAYS=7,000 PSI, USING SPUN CYLINDER TEST.
 - Fc @ 28 DAYS=5,000 PSI, USING ASTM C-31 CYLINDER TEST.
 - POLES MANUFACTURED TO ASTM C-1089-13 SPECIFICATIONS.
 - PROTECTIVE COAT EXPOSED P.C. WIRES AT POLE ENDS.
 - THE POLE DEPICTED ON THIS DRAWING IS DESIGNED TO WITHSTAND THE LOADS IMPARTED BY A SINGLE SIDE MOUNTED TAPERED ELLIPTICAL ALUMINUM ARM (NOT TO EXCEED 6' OFFSET, 3.7 SQ. FT. EPA, 25 LBS.) WITH THE ARM HOLDING A DOWNWARD FACING AREA OR PENDENT LUMINAIRE (NOT TO EXCEED 2.0 SQ. FT. EPA, 50 POUNDS); THE POLE ALSO SUPPORTS (1) ANTENNA SHROUD CENTERED 3' ABOVE THE POLE TOP (NOT TO EXCEED 6.3 SQ. FT. EPA, 225 LBS. MAX) AS DESIGNED PER THE 2013 AASHTO LTS-4 (CRITERIA FOR STREET LIGHTING POLES), 2010 CALIFORNIA BUILDING CODE & ASCE7-05 FOR 90 MPH WIND AND SEISMIC ZONE (3-SECOND GUSTS) & SEISMIC CRITERIA Ss=1.75 & S1=0.5. PLEASE CONTACT & ADVISE AMERON ENGINEERING IF THE INTENDED VALUES EXCEED THESE VALUES.
 - DUE TO THE NATURE & CHARACTERISTICS OF CONCRETE, SIDE MOUNT SPACING DIMENSIONS CAN ONLY BE TAKEN TO THE NEAREST 1/8 INCH.

APPROVED BY _____ DATE _____

SOUTHERN CALIFORNIA EDISON
BP300X09 POLE WITH SINGLE 6' ARM

THIS DOCUMENT CONTAINS INFORMATION WHICH IS PROPRIETARY TO AMERON. IT SHALL NOT BE REPRODUCED, USED OR DISCLOSED TO ANYONE WITHOUT THE PRIOR WRITTEN PERMISSION OF AMERON.

AMERON
POLE PRODUCTS

DRAWN: SJB DATE: 10/2003
 SCALE: N.T.S. DWG. NO. 040-01277 REV D

COMPLIANCE TO ANY CODE NOT EXPLICITLY LISTED ON THIS DRAWING IS NOT GUARANTEED. PLEASE CONTACT AMERON ENGINEERING IF YOU HAVE SPECIFIC CODE REQUIREMENTS.



DRAWN BY: DGM
 CHECKED BY: MM

REV	DATE	DESCRIPTION
B	01/18/18	100% CONSTRUCTION
A	11/20/17	80% CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE ID: PLAYA 20D
 13837 FUJI WAY
 MARINA DEL REY, CA, 90292

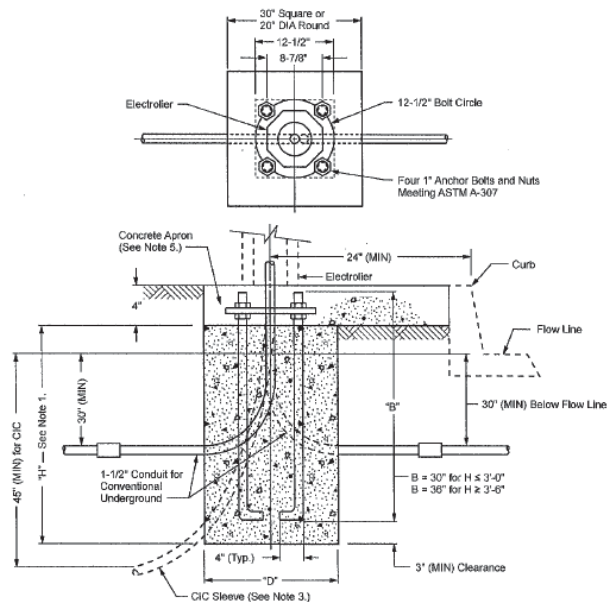
SHEET TITLE
POLE DETAILS

SHEET NUMBER
S-1



Scope MC 890.1 Electrolier Foundation Detail

Figure MC 890–1: Electrolier Foundation Detail



Note(s):

1. The footing depth will vary depending on the type of soil and wind loading requirements. Consult local government agency for requirements. See Table MC 890-1 (Sheet 3) through Table MC 890-4 (Sheet 4).
2. Foundation shall be installed after conduit or C/C (for Underground Service), curbs, and sidewalks are in place and grades are established.
3. 1-1/2" Plastic C/C Sleeve for U/G Concrete Electroliter (tape both ends to prevent debris from entering the sleeve).
4. Concrete to reach a minimum compression strength of 2800 psi in 28 days. See UGS 20.3.
5. Place a minimum size concrete apron of 30" x 30" x 4" thick around the pole at the ground level to provide a constrained surface condition when required. Grout to be placed after pole is set and plumbed.

Approved by:

Foundation Detail for Fiberglass Nostalgic, Fiberglass, Steel, or Concrete Electroliers

MC 890

Effective Date:
10-26-2012

What's Changed? The acronym for the Miscellaneous Chapter of the UGS Manual has been changed from 'MS' to 'MC' for clarity.

1 of 4

UGS

► SCE Public ◀



Scope MC 890.3 Electroliter Foundation Requirements

Table MC 890-1: 70 MPH Wind Zone, Constrained Surface Condition

Electrolier Foundation Requirements								
	Soil Type	Fiberglass, Concrete, or Steel				Nostalgic		
		23' Shaft		28' Shaft		All Poles	Fiberglass	Marble
	Per UBC ¹	H	D	H	D	H	D	D
I.	Massive Crystalline Bedrock	2'-6"	20" dia.	2'-6"	20" dia.	2'-6"	20" dia.	24" dia.
		2'-6"	30" x 30"	2'-6"	30" x 30"	2'-6"	30" x 30"	30" x 30"
II.	Sedimentary and Foliated Rock	2'-6"	20" dia.	2'-6"	20" dia.	2'-6"	20" dia.	24" dia.
		2'-6"	30" x 30"	2'-6"	30" x 30"	2'-6"	30" x 30"	30" x 30"
III.	Sandy Gravel, Gravel	3'-0"	20" dia.	3'-0"	20" dia.	3'-0"	20" dia.	24" dia.
		2'-6"	30" x 30"	2'-6"	30" x 30"	2'-6"	30" x 30"	30" x 30"
IV.	Sand, Silty Sand, Clayey Sand, Silty Gravel, Clayey Gravel	3'-6"	20" dia.	3'-6"	20" dia.	3'-6"	20" dia.	24" dia.
		2'-6"	30" x 30"	2'-6"	30" x 30"	2'-6"	30" x 30"	30" x 30"
V.	Clay, Sands, Sandy Clay, Silty Clay, Silty Silt	4'-0"	20" dia.	4'-6"	20" dia.	4'-0"	20" dia.	24" dia.
		2'-6"	30" x 30"	2'-6"	30" x 30"	2'-6"	30" x 30"	30" x 30"

^{a/} Uniform Building Code — 1991

Note(s):

1. H = Depth of footing
2. D = Diameter of round footing or the side dimension of square footing.

Table MC 890-2: 70 MPH Wind Zone, Non-Constrained Surface Condition

Electrolier Foundation Requirements									
Soil Type		Fiberglass, Concrete, or Steel				Neostalgic			
		23" Shaft		28" Shaft		All Poles		Fiberglass	Marble
Par UBC ^{2/}		H	D	H	D	H	D		
I.	Massive Crystalline Bedrock	2'-6"	20" dia.	2'-6"	20" dia.	2'-6"	20" dia.	24" dia.	
		2'-6"	30" x 30"	2'-6"	30" x 30"	2'-6"	30" x 30"	30" x 30"	
II.	Sedimentary and Foliated Rock	3'-0"	20" dia.	3'-6"	20" dia.	3'-0"	20" dia.	24" dia.	
		2'-6"	30" x 30"	2'-6"	30" x 30"	2'-6"	30" x 30"	30" x 30"	
III.	Sandy Gravel, Gravel	3'-6"	20" dia.	4'-0"	20" dia.	3'-6"	20" dia.	24" dia.	
		3'-0"	30" x 30"	3'-0"	30" x 30"	3'-0"	30" x 30"	30" x 30"	
IV.	Sand, Silty Sand, Clayey Sand, Silty Gravel, Clayey Gravel	4'-0"	20" dia.	4'-6"	20" dia.	4'-0"	20" dia.	24" dia.	
		3'-0"	30" x 30"	3'-6"	30" x 30"	3'-0"	30" x 30"	30" x 30"	
V.	Clay, Sands, Sandy Sand, Silty Clay, Clayey Silty	4'-6"	20" dia.	5'-0"	20" dia.	4'-6"	20" dia.	24" dia.	
		3'-6"	30" x 30"	4'-0"	30" x 30"	3'-6"	30" x 30"	30" x 30"	

^a Uniform Building Code — 1991

Note(s):

1. H = Depth of footing
2. D = Diameter of round footing or the side dimension of square footing

Approved by _____

Foundation Detail for Fiberglass Nostalgic, Fiberglass, Steel, or Concrete Electroliers

MC 890

Effective Date:	10-26-2012
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What's Changed? The acronym for the Miscellaneous Chapter of the UGS Manual has been changed from 'MS' to 'MC' for clarity.

3 of 4
LIGS

► SCE Public



330 COMMERCE, STE. 200
IRVINE, CA 92602



DRAWN BY:	DGM
CHECKED BY:	MB

B	01/18/18	100% CONSTRUCTION
A	11/20/17	90% CONSTRUCTION
REV	DATE	DESCRIPTION

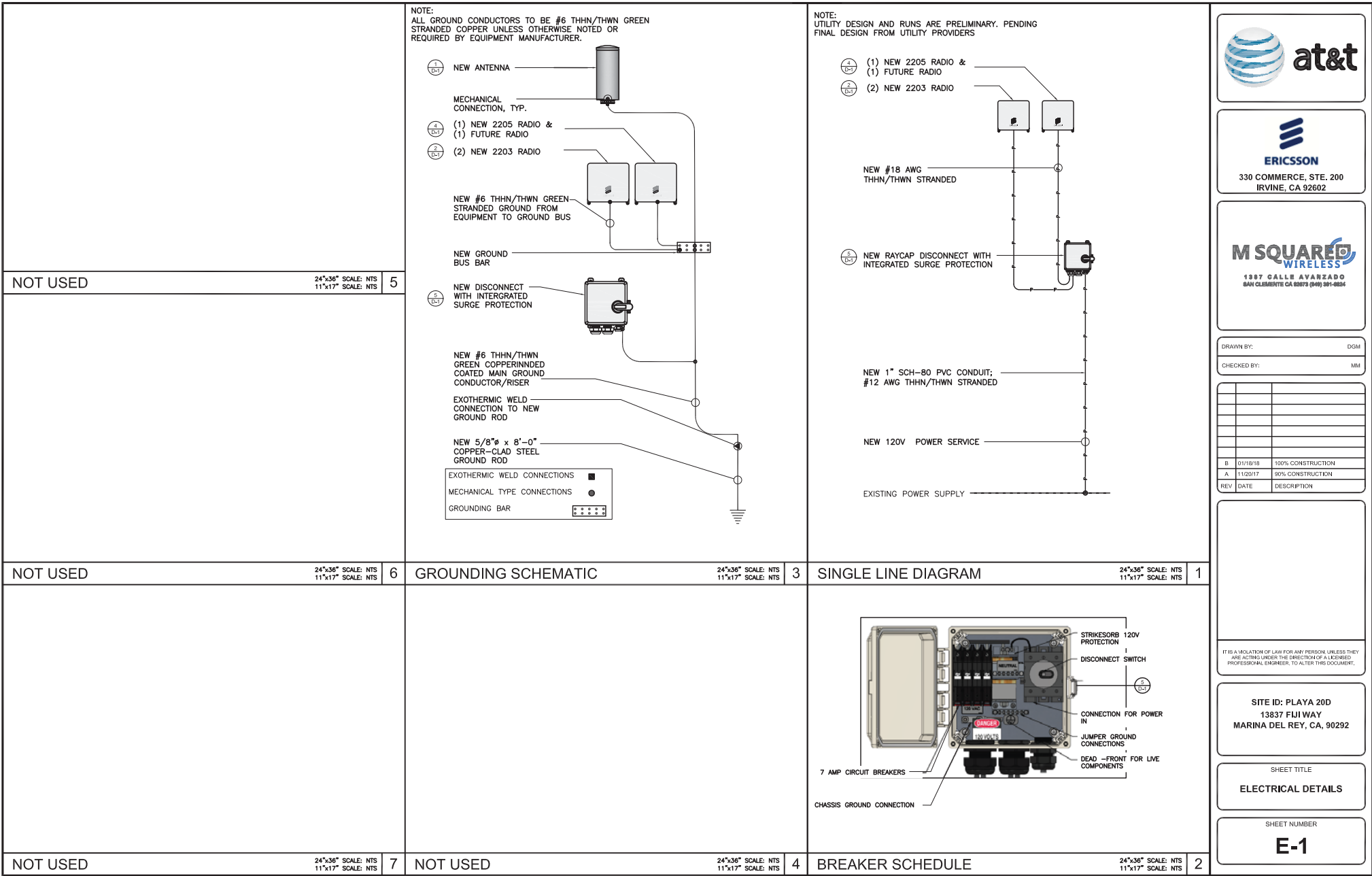
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SITE ID: PLAYA 20D
13837 FIJI WAY
MARINA DEL REY, CA. 90292

SHEET TITLE
**PILE FOUNDATION
RISER REQUIREMENTS**

SHEET NUMBER

S-2



CRAN_RLOS_PLAYA_020
13837 Fiji Way,
Marina Del Rey, CA 90292



View 1



Location Map



Proposed

Notes: Looking east at proposed project



Existing

Applicant



Contact

M SQUARE
WIRELESS
1387 Calle Avanzando,
San Clemente, CA 92673

Photographic Visualizations Provided By:

SoCal
SCDG LLC
SoCal Design Group
10780 Aster Lane
Apple Valley, CA 92308
www.scdgllc.com
(951) 225-5421
edward@scdgllc.com

This photo simulation is being provided as a conceptual representation of the proposed wireless facility.
For exact dimensions and design, please refer to the submitted plans.
SCDG LLC (SoCal Design Group) is not responsible for Post Simulation Production Design Changes.



Caring for Your Coast

Gary Jones
Director

Kerry Silverstrom
Chief Deputy

John Kelly
Deputy Director

Brock Ladewig
Deputy Director

February 15, 2018

TO: Design Control Board

FROM: 
Gary Jones, Director

SUBJECT: ITEM 6A – TEMPORARY PERMITS ISSUED BY THE DEPARTMENT

Item 6A on your agenda is an update on permits that have been issued by the Department of Beaches and Harbors (Department) for temporary banners, signs, and/or canopies. Since the December 2017 report, one temporary sign permit was issued by the Department.

The County of Los Angeles Sanitation District was issued a permit for two temporary banners advertising the free household hazardous and E-waste roundup, taking place Saturday February 17, 2018 from 9am to 3pm. These banners are permitted from January 18, 2018 through February 17, 2018.

GJ:BL:te





February 15, 2018

Caring for Your Coast

Gary Jones
Director

Kerry Silverstrom
Chief Deputy

John Kelly
Deputy Director

Brock Ladewig
Deputy Director

TO: Design Control Board

FROM:  Gary Jones, Director

SUBJECT: **ITEM 6B - ONGOING ACTIVITIES REPORT**

BOARD ACTIONS ON ITEMS RELATING TO MARINA DEL REY

No items relating to Marina del Rey were on the January 2018 Board of Supervisors agendas.

REGIONAL PLANNING COMMISSION'S CALENDAR

No items relating to Marina del Rey were on the January 2018 Regional Planning Commission agendas.

CALIFORNIA COASTAL COMMISSION CALENDAR

No items relating to Marina del Rey were on the January 2018 Coastal Commission agenda.

FUTURE MAJOR DESIGN CONTROL BOARD ITEMS

There are no future major Design Control Board items at this time.

SMALL CRAFT HARBOR COMMISSION MINUTES

The November 2017 Small Craft Harbor Commission minutes are attached.

REDEVELOPMENT PROJECT STATUS REPORT

The updated "Marina del Rey Redevelopment Projects Report" is attached.

MARINA DEL REY SIGNAGE AND GATEWAYS MASTER PLAN

Staff has submitted a Coastal Development Permit application for the gateway parks. The signage will be submitted as a separate planning application.

GJ:BL:kn

Attachments (2)



SMALL CRAFT HARBOR COMMISSION MINUTES

November 08, 2017

Commissioners: Allyn Rifkin, Chair; David Lumian, Vice Chair; Dennis Alfieri; Vanessa Delgado (excused absence)

Department of Beaches and Harbors (DBH): Gary Jones, Director; Brock Ladewig, Deputy Director; Steve Penn, Chief of Asset Management Division; Michael G. Rodriguez, Chief Property Manager; Amir Tadros, Sr. Real Property Agent; Maral Tashjian, Planning Specialist

County: Amy Caves, Principal Deputy County Counsel; Deputy Sheriff Brett Carlson, Deputy Sheriff Richard Nichols

Item 1- Call to Order and Pledge of Allegiance

Chair Rifkin called the meeting to order at 10:09 a.m. and read the Commission's policy on public comment. The Pledge of Allegiance was led by Deputy Sheriff Carlson.

Item 2- Approval of Minutes

Motion to approve October 11, 2017, Meeting Minutes by Commissioner Alfieri, seconded by Vice Chair Lumian, unanimously approved.

Ayes: 3 – Chair Rifkin, Vice Chair Lumian, and Mr. Alfieri

Item 3 – Communication from the Public

Gary Gilpin and Anastasia Aleksandrov passed out a letter and flyer and spoke about how Marina Sailing would like to promote Marina del Rey as a sailing destination without being restricted to chartering out of Dock 52. They would like to have a location where they can embark and stay on board overnight.

Vice Chair Lumian asked where else they are operating out of.

Anastasia Aleksandrov replied that they operate out of Oxnard, Marina del Rey, Redondo Beach, Newport Beach, Long Beach and San Diego.

Vice Chair Lumian asked if they were parking and operating out of one area at the other locations and how many boats they are chartering.

Anastasia Aleksandrov confirmed they are using one dock at the other locations except for Redondo Beach and provided the number of boats they are operating.

Vice Chair Lumian would like DBH to consider accommodating Marina Sailing so that they can continue to have a successful business in the Marina.

Bob Atkins spoke about the dock prices and the Pacific Ocean Management Dock 55 Agreement.

Chris Kitcher spoke about the Southwestern Corinthian Club being audited and stated this is a hardship because they are not a business operating for profit but are providing a low-cost fee for their members to access the water.

Vice Chair Lumian would like DBH to minimize the hardship.

Gary Jones responded that the lessee is being audited and since they are a sublessee they are subject to being audited to ensure rent is collected in compliance with the terms of the ground lease.

Jack Silver spoke about the Dock 55 management company's boat chartering rules and about the condition of the docks.

Commissioner Alfieri suggested that Mr. Silver submit his issues and suggestions in writing. He also inquired about the dock maintenance and suggested a list of issues be provided to the management company.

Gary Jones responded that the maintenance issue is DBH's responsibly and that there is a cleaning schedule that is being adhered to.

Commissioner Alfieri stated that the wildlife has increasingly become an issue.

Gary Jones replied that the location was used for abandoned boats for many years but now there is a change in the environment that would eventually change the wildlife's habits over time.

Vice Chair Lumian inquired about the maintenance schedule and suggested looking at seasonal changes and increasing the cleaning schedule accordingly.

Gary Jones replied that the cleaning is done every two weeks and that he will provide the schedule to the Commission.

Commissioner Alfieri stated that we want to be the best marina by keeping up the maintenance and upgrading where we can.

Walter Lamb expressed concern about the Ballona Wetlands ecological reserve being used as a long term parking lot and believes that the land should be returned back to a wildlife habitat.

Vice Chair Lumian stated he would like to have a tour of the parking lot.

Item 4 – Communication with the Commissioners

Vice Chair Lumian disclosed his attendance at Cal Boating Aquatic directors meeting, American Canoe Association National Paddle Sport Conference, Navigation Safety Advisory Council meeting, and received phone calls from Mr. Barry Fisher and Mr. Dave Baker.

Chair Rifkin disclosed he met with a group of concerned homeowners on Venice Canals regarding their concerns about tour buses and touring facilities.

Item 5a – Marina Sheriff

Deputy Sheriff Nichols presented the crime statistics and liveaboard report.

Item 5b – MdR and Beach Special Events

Carol Baker reported that they had a wonderful Spooktacular Halloween event with an estimated 6,000 attendees over a two-day period, and these individuals came from over a hundred different area codes. She also reported that DBH is partnering with the Convention and Visitors Bureau to promote the upcoming holiday events, such as Winter Snow Wonder. She stated that this will be the first year they will be decorating the park for the entire holiday period with lights and a giant snow glob. There will also be a holiday movie night each Saturday evening leading up to the New Year's Fireworks Show and Glow Party.

Vice Chair Lumian would like to get a breakdown of the percentages by zip codes.

Carol Baker responded that information could be provided.

Item 5c – Marina Boating Section Report

Michael Blenk reported that Anchorage 47 has a 4% vacancy which consists of small-size slips (22ft-24ft, and 38ft); Parcel 77 power boat storage is completely full; and mast-up storage has 42 spaces open, and there is no waiting list.

Item 5d – Marina del Rey Convention and Visitor's Bureau Report

Janet Zaldua handed out the Destination Analysts Visitor Profile & Destination Brand Research Study Interim Report and reported that there were over 500 surveys conducted during the summer season. She also reported that there will be additional surveys taken during the winter season to determine how we can make the Marina a destination for both seasons. She reported that the hotel occupancy rate from January to September 2017 was 87.4%, which is up from 84.9% from 2016. She announced that they did a Sunday promotion during August and September where they partnered with 10 different businesses in the Marina, such as restaurants, stand up paddle boarding, and sport fishing, to provide some type of discount or live music.

Vice Chair Lumian stated that he would like to see the data provided by zip codes.

Janet Zaldua responded that she could provide that information to the Commission, and reported that the majority of the ARTsea attendees were from District 2. She also stated that they will continue to do the surveys for the next three years.

Bob Atkins commented on the amount of activities that have attracted attendees to the marina and that it is surprising how small of a percentage of people are here for boating.

Item 6a – Proposed Water Quality Ordinance

Maral Tashjian provided the staff report.

Marlan Hoffman, from the California Professional Divers Association (CPDA) and the Hull Cleaners Best Management Practices (BMP) Program, provided a handout that described BMP strategies throughout the State of California, and provided a brief presentation.

Bob Atkins expressed concern that Section 19.12.1090 is a duplication of existing US Coast Guard law and that there is not a certification program in place for painters and boat cleaners who may be pushed out of a job due to high insurance criteria.

Alicia Kunz commended DBH for working on the boat hull cleaning ordinance. She expressed concern that Section 3 Item E would be hard to regulate and requested to see the link to the CPDA on our website.

Tim Riley also expressed concern with Section 3 Item E, which may need clarification but supports the ordinance.

Vice Chair Lumain stated he is sympathetic to the concern of putting the onus on the lessee to enforce the hull cleaners and asked how DBH would feel about deleting Section 3 Item E and having it be an administrative responsibility of the Boating Section to monitor the operators.

Gary Jones responded that they would be opposed to it.

Commissioner Alfieri stated he is in favor of striking Section 3 Item E.

Chair Rifkin expressed his concern with the statement on Section 1 Item D “Failure to report such a violation shall be an infraction” and feels it is far-reaching and hard to prove. He also inquired if it is imperative that the certification process be in place to make the observation.

Maral Tashjian responded that as part of the rollout, DBH will be hosting the first certification and inviting hull cleaners in the Marina and from the surrounding areas. As part of the certification there will be a stamp on their identification card that shows they are certified and they will also be issued a sticker for the boats.

Vice Chair Lumian inquired about the certification process, cost, and if the course could also be provided in Spanish.

Chair Rifkin asked if there would be an issues with putting in a sunset clause for the ordinance and a metrics clause that would suggest an annual monitoring.

Maral Tashjian responded that that is something that can be addressed outside of the ordinance.

Commissioner Alfieri asked if the ordinance needs to be endorsed today.

Gary Jones responded “no,” but preferred to move forward in a timely fashion with the State-mandated aggressive timeline that has been placed on the County. He also stated that the County needs to show the State that the County, the lessees, and the boat owners in Marina del Rey, as responsible parties under the TMDL, are taking appropriate and timely action.

Chair Rifkin asked if these were two ordinances and should be placed on the Board’s agenda as two different action items.

Amy Caves responded that the ordinance amendments will be going to the Board of Supervisors as one package.

Vice Chair Lumian moved to table this item for a future meeting and that staff be requested to confer with the Lessees Association, seconded by Commissioner Afieri. Chair Rifkin would like to add to the motion that staff report back on the items that were discussed.

Ayes: 3 – Chair Rifkin, Vice Chair Lumian, and Mr. Alfieri

Vice Chair Lumian discussed the other ordinance and asked if staff had looked at other modules and what had been successful in other harbors in terms of reducing the amount of discharge into the harbors from holding tanks. He also asked if these things were being done by DBH or being inspected by DBH, and what kind of enforcement would take place.

Maral Tashjian responded that the enforcement would be done by the Harbor Master’s Office. She stated that the Catalina module was looked at and that Marina del Rey and Catalina were not at the same scale with boats coming in as visitors and it would be impossible to put a dye tab in every single boat. It will be treated on a case-b- case basis at the discretion of the Harbor Master.

Vice Chair Lumian stated that a more aggressive approach is better.

Maral Tashjian stated that they have been working with the Bay Foundation on outreach efforts and they are working on a voluntary dye tab program.

Item 6b –Marina del Rey Anchorage Commercial Uses

Michael Rodriguez provided the staff report.

Bob Atkins commented on the parking issue at Dock 55, the map that shows Parcel 47 marked as a discretionary permit zone, and Parcel 45 not being marked, and the Dock 55 management agreement.

Elliot Zimmerman stated this is the first time he heard about the ministerial and discretionary permits and would like clarification on the process, what is required from the Planning Board, and would one permit cover the entire Marina, or is a ministerial permit required for each commercial property and a discretionary permit for each residential property. He also would like to know if Kevin Finkel is the correct person to contact.

Michael Rodriguez responded that there are ground-lease requirements for chartering and commercial subleasing, and discussed when a related-use hearing is required. Then there are land-use plan requirements that involve ministerial permits and conditional-use permits that do not have anything to do with the ground-leasing side; that the two are separate. One may go to Kevin Finkel to discuss conditional use permits and the type of permit needed, but he will not be able to help with the issues of commercial subleases under a ground lease.

Vice Chair Lumian asked if this was a new approach.

Michael Rodriguez responded that this is the same approach but wanted to clarify and educate.

Vice Chair Lumian asked for clarification on what is chartering.

Michael Rodriguez responded that this is how to qualify bareboat boat chartering.

Vice Chair Lumian stated that this would be a way for Blue Pacific, Marina Sailing, and others to legitimize their businesses.

Michael Rodriguez confirmed that that is correct and that the Planning Department would look into the parking requirements.

Vice Chair Lumian asked if the cost of \$1,001 for ministerial permits is per slip or per anchorage.

Michael Rodriguez replied it would be per leasehold location.

Elliot Zimmerman asked that if an organization has a commercial sublease and permission from the lessee to use their docks they would still need to come to the SCHC to get permission to get a ministerial permit for any of the commercial anchorages listed, or a discretionary permit for the residential parcel.

Michael Rodriguez replied that they would not come to the SCHC but to the County Regional Planning Department.

Chair Rifkin asked to receive a copy of the PowerPoint presentation and recommended that other requirements such as insurance should be added to the slides. He also asked if water taxis are included in this process.

Michael Rodriguez responded “yes,” that if they are operating out of a leasehold.

Chair Rifkin suggested that staff should continue to report this issue under “Item 8: Illegal Charters” until this process is understood.

Vice Chair Lumian appreciated staff’s providing a more concise presentation on the subject, but would like the staff to seek a better solution because a number of the charters have expressed the stress of doing business in Marina del Rey.

Commissioner Alfieri suggested listing the types of uses that come under each permit.

Vice Chair Lumian would like a list of Dock 55 users at the next meeting.

Item 7a – New Business

None

Item 8 – Staff Reports

Steve Penn provided the staff reports.

Adjournment

Chair Rifkin adjourned the meeting at 12:33 p.m.

**Marina del Rey Redevelopment Projects Report
As of February 1, 2018**

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
9 -- Proposed Hotel on northern portion of Parcel 9U, wetland park on southern portion.	Sam Hardage	<p>* Proposed dual building hotel, 6-story, 72'-high Marriott Residence Inn, and, 5-story, 61'-high Courtyard Marriott.</p> <p>* New promenade improvements, restaurants and amenities.</p> <p>* Wetland public park project (1.46 acres).</p>	<p>Massing -- Revised project will be resubmitted at a later date.</p> <p>Parking -- plan will be resubmitted at a later date.</p>	<p>Proprietary -- Option was approved by BOS on 10/6/15.</p> <p>Regulatory -- January 6, 2016, the BOS' approval of the hotel project was appealed to the CCC. On May 13, 2016, the CCC granted a time extension, until December 12, 2016, for the wetland park CDP. On July 11, 2016, work began on the wetland park. On April 26, 2017, the DCB approved the final design of the hotel project. Construction of the hotel began on August 11, 2017, and anticipated completion date is May 30, 2019.</p>
10/14 (FF) -- Neptune Marina/ Legacy Partners	Tim O'Brien	<p>* Demolish existing facilities and build 526 apartments.</p> <p>* 161-slip marina + 7 end-ties.</p> <p>* 28 foot-wide waterfront promenade.</p>	<p>Massing -- Four 55' tall clustered 4-story residential buildings over Parking with view corridor.</p> <p>Parking -- 1,012 project required parking spaces to be provided (103 public Parking spaces to be replaced off site)</p> <p>* Replacement of public parking both on and off site.</p>	<p>Proprietary -- December 1, 2015, the BOS agreed to extend the term of the option for up to one year. Lessee submitted Lease Assignments and Assignments of Options to extend existing lease for Parcel 10 and the lease for Parcel 14. The SCHC endorsed the assignments on September 21, 2016 and the BOS approved on October 4, 2016. Parcel 10 and 14 Lease as executed on 12/9/16. Construction commenced on December 14, 2016, and anticipated completion date is October 30, 2019.</p> <p>Regulatory -- On January 21, 2015, the final project design was approved by the Design Control Board. On December 12, 2016, work began on the project.</p>

**Marina del Rey Redevelopment Projects Report
As of February 1, 2018**

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
43 -- Marina del Rey Hotel Anchorage	Jeff Pence	* Demolition of a 349-slip marina and construction of a 277-slip marina.	Massing -- Parking --163 spaces for boaters	<p>Proprietary -- BOS approved bifurcation of Parcels 42 and 43 into separate leaseholds Lessee exercised its option to expand the lease term. Lease was executed on 12/22/15, and project is under construction.</p> <p>Regulatory -- Dock replacement will be phased during a 5-year period beginning in 2015. Reconstruction of the docks commenced in November 2016.</p> <p>Regulatory Matter: Parking Permit for reduced Parking.</p>
44 - Pier 44/Pacific Marina Venture	Michael Pashaie/ David Taban	<p>* Build 5 new visitor serving commercial and dry storage buildings</p> <p>* 82,652 s.f. visitor serving commercial space</p> <p>* 141 slips + 5 end ties and 57 dry storage spaces</p>	<p>Massing -- Four new visitor-serving commercial buildings, maximum 36' tall and one dry stack storage building, 65' tall. 771.5 lineal feet view corridor proposed.</p> <p>Parking -- 381 at grade Parking spaces will be provided with shared Parking agreement (402 Parking spaces are required).</p>	<p>Proprietary -- The lessee initialed a revised Term Sheet on July 9, 2015. On January 13, 2016, SCHC endorsed DBH's recommendation to grant lessee an option to extend the lease term for 39 years. The Grant of Option was approved by the BOS in October 2016. Construction began on September 11, 2017.</p> <p>Regulatory -- February 9, 2016, the BOS approved the project, which was appealed to the CCC. CCC denied the appeal on June 9, 2016.</p> <p>Regulatory Matter: Shared Parking Agreement. No Variance proposed</p>

**Marina del Rey Redevelopment Projects Report
As of February 1, 2018**

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
52 -- Boat Central/Pacific Marina Development	Jeff Pence	* 345-vessel dry stack storage facility* 30-vessel mast up storage space* 5,300 s.f. County Boatwright facility	Massing -- 81.5' high boat storage building partially over water. Parking with view corridor parking. All parking required of the project to be located on site.	Proprietary -- An extension to the Option was approved at the 11/12/13 BOS meeting. September 21, 2016, the SCHC voted 2 to 1 in favor of endorsing the recommendations to approve the Option and the new Lease for Parcel 52. Since three votes were needed to endorse the recommendation, there was no endorsement by the SCHC. On October 25, 2016, Supervisor Knabe referred the project back to DBH. Regulatory -- The waterside portion of the project was approved by the Coastal Commission on January 9, 2015. On August 23, 2016, the USACOE approved the 404 permit.
53 -- The Boatyard	Greg Schem	* New 921 s.f. ADA Restroom * New 3,916 s.f. carport with 14 garage spaces and boater storage. * Leasehold refurbishment, including new landscaping, hardscape, and waterside walkway.	Massing -- One 38' tall commercial warehouse building and 15' tall office buildings. New carport storage and office buildings will be 15' tall. Parking -- Parking proposed is 147 spaces. The code requires 134 spaces for this use.	Proprietary -- On 11/6/ 2012 the Lessee initialed a term sheet for an extension of the leasehold. On January 13, 2016, SCHC endorsed DBH's recommendation to extend the lease for 39 years. The grant of option was approved by the BOS at its March 15, 2016 meeting. Option was exercised and lease executed on 4/29/16. Project is under construction and anticipated completion date is March 2018. Regulatory -- The DCB approved the final design of the project on December 16, 2015. Regulatory Matter: Variance for reduced setbacks and Architectural Guidelines requiring that structures beat least 15 ft. from bulkhead.

**Marina del Rey Redevelopment Projects Report
As of February 1, 2018**

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
55/56/W -- Fisherman's Village/Gold Coast	Michael Pashaie/ David Taban	<ul style="list-style-type: none"> * 132-room hotel * 65,700 square foot restaurant/retail space * 30-slip new marina * 28 foot-wide waterfront promenade 	<p>Massing -- Nine mixed use hotel/visitor-serving commercial/retail structures (8 1- and 2-story and 1 60'-tall hotel over ground floor retail/ restaurant), parking structure with view corridor.</p> <p>Parking -- On-site Parking includes all project required Parking, Parking for Parcel 61 lessee (Whiskey Reds).</p>	<p>Proprietary The lessee provided the SCHC with project updates at the March and May 2015 meetings.</p> <p>Regulatory -- A plan was last submitted to the Department of Regional Planning in July of 2008. No recent activity has occurred.</p> <p>Regulatory Matter: Shared Parking Agreement. Variance for reduced setbacks (side and waterfront).</p>
113 -- Mariner's Village	Michael Sondermann	<ul style="list-style-type: none"> * Complete leasehold refurbishment of 981 apartments * Retail space increase from 2,070 s.f. to 9,000 s.f. * New 92-slip anchorage will be constructed * New 28 foot-wide pedestrian promenade and public amenities 		<p>Proprietary -- Item opened on 9/23/2013</p> <p>Regulatory -- An EIR scoping meeting was held on 09/16/14 in Chace Park.</p>
15 -- AMLI Residential	Jason Armison	<ul style="list-style-type: none"> * Demolish existing facilities and build 585 apartments * New 8,000 s.f. commercial space * New 241 boat slip marina * New 1,271-Parking space garage 	<p>Massing -- Six buildings up to 5 stories and 70' high</p> <p>Parking -- All Parking to be provided on site within new 1,271-space Parking garage</p>	<p>Proprietary -- The lease was executed on 1/30/14. Construction commenced on July 1, 2014, and anticipated completion date is May 2018.</p> <p>Regulatory -- June 30, 2014, demolition of the site commenced. October 2016 --Construction of project is underway.</p>

**Marina del Rey Redevelopment Projects Report
As of February 1, 2018**

Parcel No. Project Name	Representative	Redevelopment Proposed	Massing and Parking	Status
28 -- Wayfarer	Tim O'Brien	<ul style="list-style-type: none"> * Complete leasehold refurbishment of 379 apartments * New bicycle depot for public use * Improvements to existing promenade and dock gates and public amenities * Replacement of existing docks within 6 months of completed of landside renovation 	<p>Massing -- Seven buildings up to 3 stories high</p> <p>Parking -- Existing subterranean Parking structure contains 947 Parking spaces.</p>	<p>Proprietary -- The MND for the project was adopted by the BOS at the March 24, 2015 meeting. Board also approved a future assignment to Legacy. Option was exercised and lease executed on 9/25/15. Project is under construction and anticipated completion date is February 2018. In July 2017, the CCC granted permission to begin the dock reconstruction project.</p> <p>Regulatory -- On July 15, 2015, the DCB approved the final design of the project. Construction commenced in December 2015.</p>



(424) 526-7777 • 13837 Fiji Way, Marina del Rey, CA 90292 • beaches.lacounty.gov

Caring for Your Coast


Gary Jones
Director

Kerry Silverstrom
Chief Deputy

John Kelly
Deputy Director

Brock Ladewig
Deputy Director

February 15, 2018

TO: Design Control Board
FROM:  Gary Jones, Director
SUBJECT: **ITEM 6C – MARINA DEL REY SPECIAL EVENTS**

THE FREE RIDE

Daily service
12:00 p.m. – 9:00 p.m.

Catch free on-demand transportation aboard a five-passenger electric shuttle. The service provides transportation to attractions within Marina del Rey, including Fisherman's Village, Burton Chace Park, Waterside Shopping Center, and many restaurants. Select shuttles also travel to the Venice Pier and to Abbot Kinney Blvd. in Venice.

Wave down a Free Ride car and hop in, or text your pick-up location and passenger count to (323) 435-5000. Please allow 10 – 15 minutes for pick-up. Kids must be big enough to use a regular seatbelt; child-safety seats are not provided. Dogs are welcome.

For more information: Call the Marina del Rey Visitors Center at (424) 526-7900

BURTON CHACE PARK WALKING CLUB

Burton Chace Park ♦ Lobby ♦ 13650 Mindanao Way ♦ Marina del Rey
Tuesdays & Thursdays
10:30 a.m. – 11:30 a.m.

The Department of Beaches and Harbors (Department) is sponsoring a FREE one-hour walking club. Get your exercise while taking in the beautiful view of the Marina del Rey harbor. Please RSVP by calling (424) 526-7910.

For more information: Call (424) 526-7910



BEACH SHUTTLE

Fridays and Saturdays from 10:00 a.m. – 10:00 p.m.
Sundays and Holidays from 10:00 a.m. – 8:00 p.m.

Catch a free ride on the Beach Shuttle to and from Playa Vista, Marina del Rey and the Venice Beach Pier, and enjoy the surf, sand and surroundings of Marina del Rey in a hassle-free and relaxing way. Now with extended service, the Beach Shuttle will operate year round on weekends and holidays.

For more information: Call the Marina del Rey Visitors Center (424) 526-7900

MARINA DEL REY FARMERS' MARKET

Parking Lot #11 ♦ 14101 Panay Way ♦ Marina del Rey
Saturdays
9:00 a.m. – 2:00 p.m.

The Department, in collaboration with Southland Farmers' Markets Association, is offering the Marina del Rey Farmers' Market on Saturdays. The Marina del Rey Farmers' Market offers fresh, locally-grown organic and conventionally grown fruits and veggies. Also available are prepared and packaged foods, hand-crafted products and much more! Paid parking is available for 25 cents for every 10 minutes.

For more information: Call the Marina del Rey Visitors Center at (424) 526-7900

FISHERMAN'S VILLAGE WEEKEND CONCERT SERIES

13755 Fiji Way ♦ Marina del Rey
Sponsored by Pacific Ocean Management, LLC
Saturdays & Sundays
1:00 p.m. – 4:00 p.m.

Saturday, February 24th
Alchemy (Folk/Rock)

Sunday, February 25th
2Azz1 (Jazz/Funk)

For more information: Call Pacific Ocean Management at (310) 306-0400

SPRING YOUTH SAILING CAMP

The Boathouse at Burton Chace Park ♦ 13640 Mindanao Way ♦ Marina del Rey
March 26 – 30 and April 2 – 6
10:00 a.m. – 4:00 p.m.

Los Angeles County Lifeguards will instruct beginning sailing courses teaching students basic sailing knowledge and terms, boat maintenance and rigging, knot tying, tacking, docking and instruction to ocean sailing. Students will learn to sail on 14-foot Capri sailboats (with main sail and jib). In the final days of the session, students may have the opportunity to sail on 24-foot MacGregor sailboats, which is dependent on weather and surf conditions.

Financial aid is available for qualified families. Please call for details.

Ages: 11 - 17 years old

Class Size: 6 - 12 students with 3 Lifeguard instructors

Fee: \$285

*NOTE: Applicants must successfully complete a 100-yard swim test in 2 minutes and 20 seconds to be eligible for Beginning Sailing.

For more information: Call (424) 526-7889

GJ:CB:cml