



**PUBLIC REQUEST TO ADDRESS
THE BOARD OF SUPERVISORS
COUNTY OF LOS ANGELES, CALIFORNIA**

MEMBERS OF THE BOARD

HILDA L. SOLIS
HOLLY J. MITCHELL
SHEILA KUEHL
JANICE HAHN
KATHRYN BARGER

Correspondence Received

The following individuals submitted comments on agenda item:			
Agenda #	Relate To	Position	Comments
9.		Favor	Avery Thornton
			Elisa Stern



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			<p>now deemed an extreme fire risk area and can only secure insurance through California Fair Plan which will not cover a quarter of the value of our property. It was bad enough the GOP was using pyrotechnics during their events. And what about the water and sewage disposal. We are well dependent and many properties are running at extremely low water levels. We can not afford to have any more drained from our aquifer especially in these extreme drought conditions. We are also worried that the run off, septic and sewage would affect our ground water.</p> <p>You have seen for over 15 years that GOP and its representatives have had a blatant disregard for the law, the BOS, County building departments, Sheriffs and community. You know that isn't going to change. You yourselves said at the end of the last meeting that this was the most egregious offense you had seen. We beg you to permanently deny the Conditional Use Permit. It would make a wonderful County Property. We would love if the County would take over the property and make it something that the community could be proud of. It would be wonderful for day time conferences and educational events.</p> <p>Sincerely,</p> <p>Elisa Stern</p>
	Jana Pea		The Gardens have been here for years. The new people in town are trying to shut them down.
	Joette Hayward		Gardens of paradise is not compatible with Agua Dulce and its surroundings. It is dangerous, it is extremely disruptive and it causes undue high level of stress to the elderly (which is a big portion of this community)
	Mary A Johnson		<p>The Agua Dulce Town Council is opposed to allowing the CUP to continue and request the Board uphold the Regional Planning Commission's denial decision.</p> <p>Mr. Shaul Yakovi, has been operating an unpermitted special event facility at 32222 Agua Dulce Canyon Road, Agua Dulce since 2008 through May of 2021 when the facility was closed and secured with barricades to prevent physical access. The order of physical barriers were the result of a modification to a preliminary injunction by the Superior Court of California, County of Los Angeles, Civil Division. On May 10, 2021, Judge Doyle modified the preliminary injunction issuing orders authorizing LA Co to install physical barriers and barricades to prevent physical access into Gardens of Paradise. Until those barricades were installed, the community of Agua Dulce was an innocent victim of the reckless and lawless actions of Mr. Yakovi and his associates at Gardens of Paradise, including events held at the venue in defiance of LA County's COVID-19 mandates. As a note, those barricades remain in place and is the community's assurance that the unpermitted event facility will remain closed until the proper permits are in place.</p> <p>Mr. Yakovi and his associates will have you believe that for numerous years, their facility has operated in the Agua Dulce community without any issues and that Gardens of Paradise is a fixture and integral part of the Agua Dulce community. This couldn't be further from the truth. Gardens of Paradise has been operated as an unpermitted land use since 2008 and Mr. Yakovi has not</p>



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made an adequate effort to obtain the required land use permit for business. Additionally, the property has a documented and lengthy history of zoning violations, safety issues, and violations of LA Co Health Officer Orders dating from 2008 thru 2021. The applicant has been given multiple opportunities to proceed. Over nine years there have been seven correction letters, disregarded deadlines, continuance after continuance, and numerous notices of intent to deny due to inactivity. The applicant was unresponsive and submittals were inadequate. The Department of Regional Planning (DRP) has given extreme latitude to the applicant with extensions to deadlines. During the 9 years of processing, violations on the property continued to mount.

Mr. Yakovi and his associates may try to blame the nuisances generated on their property, to other nearby properties. We want to be very clear on this. The property at 32222 Agua Dulce Canyon Road is the property generating the nuisance complaints. Nearby neighbors know when the events are happening. Based on reports produced by LA CO Sheriff Deputy Orlando Martinez, from August of 2020 until May of 2021 when the facility was physically barricaded, the Los Angeles Sheriff Department responded to nearly 150 community complaints regarding the nuisance Gardens of Paradise was creating. All of those complaints were registered for Gardens of Paradise address of 32222 Agua Dulce Canyon Road. At the Regional Planning Commission Hearing in July of 2021, Commissioner Modugno concluded with this statement, "This is one of the most egregious cases of blatant violations that I recall ever having seen."

On October 23, 2020, the County of Los Angeles filed for injunctive relief prohibiting Gardens of Paradise from conducting, hosting, contracting for, participating in, any large gathering or event at the property. The complaint cited three causes of action: 1) Violating the Health Order by conducting large events and gatherings at Gardens of Paradise, 2) By refusing to comply with the Health Order, Gardens of Paradise is endangering the health and welfare of attendees as well as the community at large, and thus committing a public nuisance, and 3) Violating Los Angeles Co Code by failing to obtain the proper permits for the tent installed on the property thereby maintaining the property in an unsafe condition, and Violating Los Angeles Co Code by allowing multiple unpermitted uses and undertaking development within a Significant Ecological Area without the required Department of Regional Planning review.

January 6, 2021, Judge Beckloff entered a preliminary injunction prohibiting all persons associated with Gardens of Paradise from conducting or hosting events at 32222 Agua Dulce Canyon Road until it 1) complies with the County's Fire/Zoning Code by obtaining all necessary permits and fire suppression equipment and 2) complies with provisions of the County Health Officer Order related to the control of COVID-19. Gardens of Paradise made no attempt to remedy the unpermitted structures, resolve the violations, or stop operating a special event venue. Mr. Yakovi violated the preliminary injunction by continuing to hold events and parties. May 10, 2021, Judge Doyle modified the preliminary injunction issuing orders instructing Southern California to disconnect electrical service, authorizing LA Co to enter the property to physically secure it so that no further events could occur, and



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			<p>authorizing LA Co to install barriers and barricades to prevent physical access into Gardens of Paradise. Events finally ceased on May 13, 2021, when LA Co installed concrete barriers and barricades to prevent physical access into Gardens of Paradise. It was only when the concrete barriers were placed at the property entrance that the venue stopped holding events. If for no other reason, we feel the CUP needs to be denied because the zoning of the property changed 8 days after the CUP was filed and the property is now included within a Significant Ecological Area. That zoning change was ten years ago and the CUP is still not approved, nor is the Site Plan consistent with the Project Description. The Project Description indicates the proposed development is for the operation of an event center and corporate retreat with banquet facilities, soccer field, basketball courts, swimming pools, fishing ponds, equestrian stables, and tennis courts. Parking for 350 vehicles and 55 existing RV hookups will be upgraded. This project is a large commercial venture and is inconsistent with the surrounding area. Within a Significant Ecological Area, it is important to facilitate a balance between limited development and resource conservation. There have been ongoing community complaints about the property since 2008. The complaints reached a new level in August of 2020 when shutdowns due to COVID-19 were mandated. During that time, the applicant ignored the LA CO Health Officer Order and hosted events with up to 600 guests every weekend and many weeknights during the pandemic. Additionally, they were endangering the community having events without proper permits that require fire suppression equipment and putting neighboring lives and property at risk. The loud music that reverberates off the canyon walls was disruptive and harmful to many of the neighbors, some more than 2-3 miles away. We are particularly troubled that Mr. Yakovi and his associates have indicated that Gardens of Paradise has issued refunds for all cancelled events. That is not true. Our local Vasquez High School had scheduled their 2020 prom at the venue prior to the pandemic. When health restrictions were imposed, the school requested their venue cost of \$17,000 be returned. Gardens of Paradise replied with a no-refund policy. There is substantial evidence to support Regional Planning Commission's denial decision. We request the Board uphold that decision to deny the CUP due to inactivity. Additionally we request that the Board make sure the barricades remain in place until an approved CUP is in place and all conditions have been met or permanently if the Board of denies this appeal. Irrespective of the decision of the Board on this appeal, we are formally requesting the Board implore Mr. Yakovi to immediately reimburse \$17,000 to Vasquez High School for their cancelled Prom in order to make them whole.</p>
	Oppose	Charleen Mullin	<p>I live over 3 miles away from this facility. And when they have events with all my windows closed, a fan on and a sound machine I can still fell the percussions of their music when I lay down in bed at night. I do not know how in the world sound and percussion can travel that far but it sure does. There is no way you can have the windows open or even enjoy your own backyard in the evenings when they have events going. Plus I have seen on their own Instagram page where they are igniting alcohol on fire and shooting it up in</p>



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	<p>the air. We live in a very high fire area and I cannot understand how any open flame would be allowed. They have continually disobeyed and ignored every law and ordinance. Please do not allow them to continue to ruin our rural community .</p>
Charles Graves	
Ebony Clark	
Georgiana Rodrigues	<p>I am writing to ask you to please turn down the Appeal on the Special Event Center in Agua Dulce. As most of you know, we are a rural community. This Event Center does not belong in this area. In the past, booming music carries for MILES, upsetting livestock, which can cause serious health issues. Resulting in vet bills, or having to tranquilize some. We are a working class of people, and some have to get up early in the morning to go to work. When these events carry on most of the night, music booming, it causes disruption, to say the least. The clientele that attends these events also take to our streets racing their cars and engines. Again, a hazard for one and all. The law enforcement has tried to shut them down many times. The officers leave, and it starts all over again. I do believe I heard officers came back one night at least 5 times. This is totally unacceptable. This is one of the many reasons you had it shut down originally. Please, we rely on your integrity to turn down the appeal of this facility and not be influenced by outside sources that know nothing about our area and are only interested in a buck.</p>
Joanne Swanson	<p>July 25, 2022</p> <p>Honorable Board of Supervisors</p> <p>RE: ITEM # 9 Hearing on Appeal of Project No. R2012-02971-(5), for a Special Event Center in the Community of Agua Dulce</p> <p>Dear Supervisors,</p> <p>I urge you to deny the appeal of the above case.</p> <p>Contrary to applicants testimony, that this property had a 40 year history of commercial use, these parcels were never used by previous owners for any purpose. Only the parcels further south down the canyon had any development and use. That use terminated in the late 1980's.</p> <p>There is a blue line stream in the canyon that the current owner has moved, channelized and damed which is a violation of CEQA.</p> <p>The music from this un permitted venue is a nuisance. Management regularly allowed music, drums, base to keep me and my neighbors from sleeping till 4AM. My property is on the other side of Vasquez Rocks a mile away as a crow flies, and we were routinely disturbed by them.</p> <p>The RR-1 zoning was changed many years ago to A-1 and any use must live within that zone.</p> <p>This owner has abused the land, the town of Agua Dulce, and Regional Planning since he purchased the property. It is long past time to stop the abuse.</p>



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	Thank you for the opportunity to comment. Joanne Swanson 10400 Escondido Canyon Road Agua Dulce, CA 91390
Joette Hayward	Gardens of Paradise is not compatible with Agua Dulce and it's surrounding area. It is extremely disruptive and dangerous. It causes undue high level of stress to the elderly (which is a large part of this community). Resending as I oppose it not favor it! Thank You
John Martell	
Karolyn DeMott	This project does not belong in a rural residential area. The impact this venue has on the area is disruptive, dangerous & affects the well being of those residents that live adjacent to this property. Owner has shown that he doesn't care about the negative impact on the community and has even kept funds from our local High School when Covid cancelled their prom. This venue creates a Fire Hazard with open flames, flames throwers, and pyrotechnics and has no Fire Suppression measures in place to ensure safety. Venue is geared toward out of area customers of which 300 + have blocked our small canyon roads creating a dangerous situation. DO NOT APPROVE THIS PROJECT No. R2012-02971-(5)
Kate Omara	Quiet agua dulce doesn't need or want an event center. The whole point of living outside the city is "outside the city".
Paula Peralta	
Peg Spry	Please do not approve for this "special Event" center. They have proven to be very irresponsible, downright in violation to any "permit" issued in the past. They have a long disturbing history. It has been so good to have then shut down these past months. Quiet. aplease do not let them again destroy our community.
Ronald Graham	
Ryan Marven	
Sandy Kincaid	As a resident of Agua Dulce that lives just over a mile away from Gardens of Paradise in Agua Dulce, I am adamantly opposed to the reopening of this "special event center" which is housed in the heart of our peaceful rural small little country town. The continuous concert level volume of these events completely disrupts our quality of life that we have all purposely left the city to enjoy, and the flagrant disregard of the safety requirements during the Covid shutdown by these owners is appalling. The arrogant behavior they have displayed in a time of crisis in this country only shows the utter disrespect they have for not only their neighbors, but law enforcement as well. Please please please DO NOT allow them to reopen and ruin this little town.
Sharon HUTSON	This is a quiet, small community. Party venues disturb why we live in the country, Peace and quiet. Any venue that plays load music ever weekend



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		disturbs that peace. Insulting that they profit from our misery.
	Shelly Ward	I have been a resident of Agua Dulce for more than 60 years and have remained here simply for the quiet peaceful environment it was up until the time Gardens of Paradise moved in. I live approximately one mile away and the volume of noise it creates is deafening. The concert level volume is so disrupting it is impossible to watch television, much less open our windows on a cool summer night. We can no longer have barbecue's or any other gathering on our own properties because we cannot even carry on conversations while outside. I am disgusted to think there is any consideration at all to allowing them to reopen. How many times do they get to disregard rules and limitations set upon them? Hopefully it is as clear to the Board of Supervisors as it is to the local residents that they will never be respectful to any of us. None of us should ever be subjected to such rude and disrespectful neighbors whose only concern is to make money, regardless of how they do it. Please deny this appeal on a permanent basis.
	Tawna Born	This venue does NOT belong in our quiet bedroom community! Extremely loud music that echos off the canyon walls and drowns us out a mile away as the crow flies. Please don't let this start again.
	Virginia Applen	The time in which this establishment was open and holding events was extremely disruptive to the peace and quiet of our community. Loud music and partying went on all day and into the early hours of the morning. There was no escaping the loud music and noise. An establishment of that nature doesn't belong in a small rural community full of family homes, ranches, farm animals and natural desert wildlife. Please do not allow them to reopen.
Other	Chris Yewdall	I am speaking on Agenda Item 9 in support of the Planning Commission's decision and in opposition of the Gardens of Paradise venue. I would like to firstly recognize the work that Supervisor Barger's staff Stephanie English and Anish Saraiya have undertaken to reign in the unpermitted operation of this venue. The community of Agua Dulce appreciates and is grateful for their continued efforts. I can't recall a recent local issue that has caused so much community frustration and anger and lit up the local Nextdoor and Facebook social media sites with so much negative commentary over the noise and other nuisances caused by unpermitted operations at this venue. In the Town Council's letter to the board, we have outlined a number of transgressions by the operators of the venue, Ben & Reef Gardens, including operating while suspended for significant periods of time by the Secretary of State and ignoring the public health order during the pandemic resulting in litigation by the LA County Department of Public Health. The operators have developed a track record of ignoring the prevailing rules and regulations from both State and local agencies. The multiple misdemeanor arrests and lawsuits suggest that their view is that this is simply a cost of doing business. Nowhere is this more evident than on the last page of the July 25th 'Appellant's Opening Brief' letter, received yesterday from the applicant's attorney that is in the public correspondence in front of you. It clearly states

				that irrespective of today's decision by the Board of Supervisors, the owners will continue to operate the venue to the detriment of the community of Agua Dulce. This is the very reason why the Town Council on behalf of the community has requested that the County continues to maintain the concrete K Rails at the entrances to the venue as it has been the only step which has caused operations at the venue to cease. Please uphold the Regional Planning Commission's decision. Thank you
		Item Total	24	
Grand Total			24	

AGUA DULCE TOWN COUNCIL

33201 Agua Dulce Canyon Road * Box Number 8 * Agua Dulce, CA 91390

Website: www.adtowncouncil.com

July 18, 2022

Supervisor Kathryn Barger
County of Los Angeles Board of Supervisors
500 West Temple Street, Room 869
Los Angeles, CA 90012

Via Email to: kbarger@bos.lacounty.gov

**RE: Project Number R2012-02971-(5)
LA County Board of Supervisors Public Hearing, July 26, 2022
Appeal of Denial of Conditional Use Permit No. 201200163 due to inactivity
Gardens of Paradise, 32222 Agua Dulce Canyon Road, Agua Dulce**

- Don Henry, President
(661) 268-1731
BH33605@aol.com
- Mary Johnson, Secretary
(661) 492-5999
maryjohnson767@gmail.com
- Chris Yewdall, Treasurer
(310) 962-4662
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- Candy Clemente, Member
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- Scott Keller, Member
(661) 317-5355
scottwilliamkeller@gmail.com
- Lou Vince, Member
(310) 597-7154
Lou@LouVince.com

Dear Supervisor Barger:

The Agua Dulce Town Council (Council) appreciates the opportunity to comment on the Regional Planning Commission's denial of the Conditional Use Permit (CUP) for Gardens of Paradise due to inactivity on July 21, 2021 that has been appealed to the Los Angeles County Board of Supervisors and will be heard on July 26, 2022. We are opposed to allowing the CUP to continue and request the Board of Supervisors uphold the Regional Planning Commission's denial decision. Please include this correspondence as part of the public record and consider our concerns as you take action on this project.

The applicant, Shaul Yakovi, has been operating an unpermitted special event facility at 32222 Agua Dulce Canyon Road, Agua Dulce since he purchased the property in 2008 through May 13, 2021 when the facility was closed and secured with barricades to prevent physical access. The order of physical barriers and barricades were the result of a modification to a preliminary injunction by the Superior Court of California, County of Los Angeles, Civil Division. On May 10, 2021, Judge Doyle modified the preliminary injunction issuing orders authorizing LA County to install physical barriers and barricades to prevent physical access into Gardens of Paradise. (See section titled Preliminary Injunction) Until those barricades were installed, the community of Agua Dulce was an innocent victim of the reckless and lawless actions of Mr. Yakovi and his associates at Gardens of Paradise, including events held at the venue in defiance of LA County's COVID-19 mandates. As a note, those barricades remain in place and is the community's assurance that the unpermitted event facility will remain closed until the proper permits are in place.

History

Mr. Yakovi and his associates will have you believe that for numerous years, their facility has operated in the Agua Dulce community without any issues and that Gardens of Paradise is a fixture and integral part of the Agua Dulce community. This couldn't be further from the truth. Gardens of Paradise has been operated as an unpermitted land use since 2008 and Mr. Yakovi has not made an adequate effort to obtain the required land use permit for business. Additionally, the property has a documented and lengthy history of zoning violations, safety issues, and violations of Los Angeles County Health Officer Orders dating from 2008 thru 2021. The

applicant has been given multiple opportunities to proceed. Over nine years there have been seven correction letters, disregarded deadlines, continuance after continuance, and numerous notices of intent to deny due to inactivity. The applicant was unresponsive and submittals were inadequate. The Department of Regional Planning (DRP) has given extreme latitude to the applicant with extensions to deadlines. Nine years is way too long to have a case in process. During the processing, violations on the property continued to mount.

The property owner is unresponsive, uncooperative, and has demonstrated he has no regard to abiding by rules, regulations, or court orders. During COVID-19, the applicant ignored the Los Angeles County Health Officer Order and hosted events with 500 to 600 guests every weekend and many weeknights during the pandemic.

Mr. Yakovi and his associates may try to blame the nuisances generated on their property, to other nearby properties. We want to be very clear on this. The property at 32222 Agua Dulce Canyon Road is the property generating the nuisance complaints. Nearby neighbors know when the events are happening. Because this unpermitted business is on the main roadway from State Road 14 into Agua Dulce, residents traveling on Agua Dulce Canyon Road could see the property was open and welcoming guests or would see the guests departing. Based on reports produced by Los Angeles Sheriff Deputy Orlando Martinez, from August of 2020 until May of 2021 when the facility was physically barricaded, the Los Angeles Sheriff Department responded to nearly 150 community complaints regarding the nuisance Gardens of Paradise was creating. All of these Sheriff complaints were registered for Gardens of Paradise address of 32222 Agua Dulce Canyon Road. (Please refer to Community Concerns/Complaints)

Operation of the Business While Suspended by the California Secretary of State

Ben & Reef Gardens, Inc. (California Corporation C3037708) is the business entity that operates Gardens of Paradise. As can be confirmed by reviewing the California Secretary of State's website (www.sos.ca.gov), Ben & Reef Gardens, Inc. was suspended from operating in California for 17 months between July 2011 and November 2012, suspended again for 13 months between July 2015 and August 2016 and finally suspended in December 2017 before being revived four years later in October 2021. Throughout these periods of suspension by the Secretary of State, Gardens of Paradise continued to conduct events at the venue.

A further Limited Liability Company named Gardens of Paradise, LLC was registered with the California Secretary of State in October 2020 (202028910741) by the same principal associated with Ben & Reef Gardens, Inc. which has the same name and address as the Gardens of Paradise venue in Agua Dulce. The Secretary of State's website suggests that this business is also delinquent in filing the Statement of Information that was due 18 months ago as of December 21, 2020.

Ben & Reef Gardens, Inc. filed a Chapter 7 bankruptcy case (2:14-bk-12962-ER) in February 2014 that was closed in April 2014. Ben & Reef Gardens, Inc. filed a second Chapter 11 bankruptcy case that was converted into a Chapter 7 filing (2:18-bk-20901-ER) in September 2018 that was closed May 2019. The case summary indicates that the Trustee sought to dismiss the case after representatives from Ben & Reef Gardens failed to appear at the 341 meeting where the creditors and the trustee can question the debtor, including assets to settle the debts.

From the above, it is clear that the principals behind Gardens of Paradise are able to ignore the State's basic requirements for operating a business legally in California and apparently continued to conduct business even when suspended from doing so by the Secretary of State over periods totaling almost 7 years over the 10 year period between 2011 and 2021.

Regional Planning Commission Hearing – July 21, 2021

At the Regional Planning Commission Hearing in July of 2021, Mr. Yakovi and his attorney, Mr. Steve Kaplan, spoke in favor of allowing the Conditional Use Permit application to continue through the County review process. Nearly 20 speakers testified in opposition to the project and in support of the action to deny the CUP due to inactivity. The detailed numerous complaints and concerns about the facility included complaints about persistent and excessive noise, especially during late night and early morning hours, traffic, potential impaired drivers leaving the facility, potential impacts to the groundwater table from water used by the facility, potential impacts to water quality from the aging septic systems on the site, potential fire hazards caused by pyrotechnics and open flame fire allegedly used at the facility, an alleged lack of respect for and cooperation with law enforcement, County officials, and for the general public, violation of public health orders during the COVID-19 pandemic, excessive lighting believed to violate the County's Rural Outdoor Light District requirements, the

failure by the applicant to follow the applicable local and State rules, regulations, and requirements, potential adverse impacts to human health, potential impacts to wildlife and domestic animals, as well as other concerns.

As the hearing was drawing to a close, Commissioner Modugno concluded with this statement, “Madame Chair, we have patiently listened to all the testimony and we have hundreds of pages and the submittals that we received yesterday. And again this morning. I quite frankly, in all my years of public service and that goes back to 1980, City Council, Planning Commission, Metropolitan Water Commission, several organizations; **this is one of the most egregious cases of blatant violations that I recall ever having seen.**” After that statement, the public hearing was closed and the Regional Planning Commission voted unanimously to deny the appeal and uphold the Hearing Officer’s decision to deny the CUP due to inactivity.

Preliminary Injunction

On October 23, 2020, the County of Los Angeles filed for injunctive relief prohibiting Gardens of Paradise as well as their agents, officers, and employees from conducting, hosting, contracting for, participating in, or attending any large gathering or event at the property. The complaint cited three causes of action: 1) Violating the Health Order by conducting large events and gatherings at Gardens of Paradise, 2) By refusing to comply with the Health Order, Gardens of Paradise is endangering the health and welfare of attendees as well as the community at large, and thus committing a public nuisance, and 3) Violating Los Angeles County Code by failing to obtain the proper permits for the tent installed on the property thereby maintaining the property in an unsafe condition, and Violating Los Angeles County Code by allowing multiple unpermitted uses (outdoor dance pavilion, event facility, two restroom structures, structure housing office/conference room, and guard shack) and undertaking development within a Significant Ecological Area without the required Department of Regional Planning review.

On December 15, 2020, the County of Los Angeles filed the operative First Amended Complaint for 1) violation of public health orders, 2) abatement of the public nuisance, 3) violation of LA County Code Section 1.23.050, Maintaining Public Nuisance Unlawful, and 4) violation of the UCL, Unfair Competition Law.

January 6, 2021, Judge Beckloff entered a preliminary injunction prohibiting all persons associated with Gardens of Paradise from conducting or hosting events at 32222 Agua Dulce Canyon Road until it 1) complies with the County’s Fire/Zoning Code by obtaining all necessary permits and fire suppression equipment and 2) complies with provisions of the County Health Officer Order related to the control of COVID-19. Religious services and ceremonies could be hosted but only in compliance with the Order and the Department of Public Health’s protocols for places of worship. Parties and receptions were not allowed.

Gardens of Paradise made no attempt to remedy the unpermitted structures, resolve the violations, or stop operating a special event venue. Mr. Yakovi violated the preliminary injunction by continuing to hold events and parties. May 10, 2021, Judge Doyle modified the preliminary injunction issuing orders instructing Southern California to disconnect electrical service, authorizing LA County to enter the property to physically secure it so that no further events could occur, and authorizing LA County to install barriers and barricades to prevent physical access into Gardens of Paradise. Events finally ceased on May 13, 2021, when LA County installed concrete barriers and barricades to prevent physical access into Gardens of Paradise. It was only when the concrete barriers were placed at the property entrance that the venue stopped holding events.

Significant Ecological Area

If for no other reason, we feel the Conditional Use Permit needs to be denied because the zoning of the property changed 8 days after the Conditional Use Permit was filed and the property is now included within a Significant Ecological Area. That zoning change was ten years ago and the CUP is still not approved, nor is the Site Plan consistent with the Project Description. The Project Description indicates the proposed development is for the operation of an event center and corporate retreat with banquet facilities and preparation area, a soccer field, basketball courts, swimming pools, fishing ponds, equestrian stables, and tennis courts. Restrooms, dining areas, food preparation storage, and staff facilities will be included. Parking will be available for 350 vehicles and the 55 existing RV hookups will be upgraded to current code. This project is a large commercial venture and is inconsistent with the surrounding area. Within a Significant Ecological Area, it is important to facilitate a balance between limited development and resource conservation. The proposed development activities need to be reviewed closely so site design is a key element in conserving fragile resources such as streams, oak woodlands and threatened or endangered species and their habitat. A new CUP application with sufficient community input aligned with current zoning is the only acceptable way to move forward.

Community Complaints/Concerns

There have been various ongoing community concerns and complaints about the property since 2008. The complaints reached a new level in August of 2020. At that time, Gardens of Paradise was holding events up to 5 days per week with hundreds of patrons. They were blatantly disregarding Los Angeles County Health Officer Order by having events. Additionally, they were endangering the community having events without proper permits that require fire suppression equipment, and thereby putting neighboring lives and property at risk. The loud music that reverberates off the canyon walls was disruptive and harmful to many of the neighbors, some more than 2-3 miles away. Here is a sampling of community concerns:

- One neighbor has a special needs daughter with a seizure disorder. The music and sound checks would start around noon and would continue thru the night into the early morning hours...sometimes up to 4:00 AM. The constant loud music was a source of distress and posed a potential risk of seizures to her daughter.
- Neighbors can't open their windows, particularly at night because the sound is too deafening. Even with closed windows, the sound would permeate the homes.
- Neighbors have early morning commitments and couldn't get adequate rest due to the excessive noise
- The loud music causes dogs to bark, making another audible nuisance.
- Neighbors are worried about the safety of traveling on the local roads when the events are closing down and up to 600 people are exiting the property, some of whom may be intoxicated.
- Some neighbors have tried to communicate with Mr. Yakovi or his agents, and have been met with hostility, aggression, and threats.
- Neighbors are concerned that Gardens of Paradise does not follow the law and the neighbors don't want to live next to illegal activity.
- Concerns about health and safety related to water quality issues.
- Concerns about impacts on the groundwater supply from aging septic systems since most residents rely on private water wells for their household water supply.
- Loss of peace and quiet and our rural way of life.
- Fire is a consistent fear factor of many community members since we live a Very High Fire Hazard Severity Zone.
- Neighbors have been logging calls with the Sheriff's Dept. Nearly 150 calls in a 9 month period prior to the injunction that finally caused the disruptive events to cease.
- Interrupted sleep can cause irritability, daytime sleepiness, increased stress, decreased accuracy, tremors, aches and memory lapses or loss.
- Our local school, Vasquez High School never received a refund of \$17,000 for their cancelled prom at Gardens of Paradise. (See section titled Vasquez High School Prom Refund Never Received from Gardens of Paradise)

Vasquez High School Prom Refund Never Received from Gardens of Paradise

We are particularly troubled that Mr. Yakovi and his associates have indicated that Gardens of Paradise has issued refunds for all cancelled events. That is not true. Our local Acton-Agua Dulce Unified School District Vasquez High School had scheduled their 2020 prom at the venue prior to the pandemic. When the pandemic related restrictions were imposed, the school requested their event venue cost of \$17,000.00 be returned. The school was met with response from Gardens of Paradise that there is a "no-refund" policy. Their only option offered was to reschedule the event. A Prom is a one-time yearly event. The students themselves had raised money for the cost of the venue with fundraisers and donations. Rescheduling a Prom to a later date after the pandemic was an unacceptable option since a Prom is a one-time yearly event. The fact that our local High School is out \$17,000 is disturbing and we fear that other monies Gardens of Paradise accepted for events that were cancelled have not been refunded to other parties, in contradiction of their claims.

Proliferation of Other Unpermitted Event Venues

There have been other unpermitted event venues that have started hosting unpermitted events in the area; none have generated the complaints to the extent of Gardens of Paradise. We blame the proliferation of unpermitted event venues in Agua Dulce on the fact that Gardens of Paradise operated without permits for over 9 years and it was only a court order that forced the closure of the unpermitted business. There are at least 4 other unpermitted event venues in Agua Dulce the Council has reported to Zoning Enforcement of the Department of Regional Planning. If Gardens of Paradise is allowed to continue to process their CUP application instead of starting over with a new application, that action sends a clear message to the other unpermitted venues that Los Angeles County allows businesses to continue without having to abide by laws, codes, regulations, or conditions. That will also send a clear message to the community that their concerns are

being dismissed.

Communication with the Agua Dulce Town Council

In each of the correction letters, DRP indicated that it is recommended the applicant contact the Agua Dulce Town Council to present his proposed project to the community to gain community support. The applicant did NOT contact the Agua Dulce Town Council in any of the nine years the project has been pending. Bypassing community input does not allow the community to weigh in on their concerns about the project. Instead, the Council has fielded many, many community complaints for the loud music that extends into the early morning hours that reverberates off the canyon walls and can be heard up to 2-3 miles away from the property in addition to many other legitimate concerns. The unpermitted event venue jeopardizes and/or endangers the public health, safety and general welfare of the residents and additionally adversely affects their health, peace, comfort, and/or welfare. (See section titled Community Concerns/Complaints)

It wasn't until July 16, 2021, five days before the Regional Planning Commission's scheduled Public Hearing on the Appeal of the Hearing Officer's denial of the CUP due to inactivity, that Mr. Mike Lewis, a consultant working with Mr. Yakovi, contacted the Agua Dulce Town Council with a request to present the project to the Council and community. On August 9, 2022, the Council responded indicating that any discussions about the Project would be inappropriate since the Conditional Use Permit was denied by the Hearing Officer and the denial was upheld by the Regional Planning Commission. The Council again heard from Mr. Lewis in October of 2021 requesting to make a presentation. The Council responded indicating there would be no benefit in discussion of the CUP until the Board of Supervisors reaches a decision following the hearing of the appeal of the denial of the CUP due to inactivity.

Conclusion

We do not believe there will be any true intent or action from the applicant to turn things around and make things right. There is substantial evidence to support the Hearing Officer's and the Regional Planning Commission's denial decisions. We are opposed to allowing the CUP to continue and request the Board of Supervisors uphold the Regional Planning Commission's decision to deny the CUP due to inactivity. The applicant can reapply for a Conditional Use Permit for the property with the current zoning designation of A-1-2 and consideration that the property is within a Significant Ecological Area. Additionally we request that the Board of Supervisors make sure the barricades remain in place until an approved Conditional Use Permit is in place and all conditions have been met or permanently if the Board of Supervisors denies this appeal. The community of Agua Dulce needs the assurance that the unpermitted event facility will remain closed until the proper permits are in place. Those barricades are our assurance.

Irrespective of the decision of the Board of Supervisors on this appeal, we are formally requesting the Board implore Mr. Yakovi to immediately reimburse \$17,000 to Vasquez High School for their cancelled Prom in order to make them whole.

We thank you for your careful consideration in taking action on this matter.

Respectfully,

Don Henry

Don Henry, President
Agua Dulce Town Council – 2022

cc: Ms. Celia Zavala, Executive Officer, Board of Supervisors executiveoffice@bos.lacounty.gov
Ms. Stephanie English, 5th District Field Deputy senglish@bos.lacounty.gov
Mr. Anish Saraiya, 5th District Planning & Public Works Deputy asaraiya@bos.lacounty.gov
Ms. Amy Bodek, Director of Regional Planning abodek@planning.lacounty.gov
Mr. Mitch Glaser, Assistant Administrator, Regional Planning mglaser@planning.lacounty.gov
Mr. Samuel Dea, Supervisor Regional Planner sdea@planning.lacounty.gov
Mr. Richard Claghorn, Principal Regional Planning Assistant rclaghorn@planning.lacounty.gov
Mr. Eric Sahakian, Superintendent, Acton-Agua Dulce Unified School District
esahakian@aadusd.k12.ca.us
Ms. Yolanda McCauley, Executive Assistant to Superintendent at AADUSD
ymccauley@aadusd.k12.ca.us

From: [Steve Kaplan](#)
To: [PublicHearing](#); [Garibay, Francisco](#)
Cc: [Mainak D'Attaray](#); [shaul yakovi](#)
Subject: Fwd: July 26, 2022 Applicant Appeal of Project No. R2012-002971-(5) Item No. 9
Date: Monday, July 25, 2022 10:11:25 AM

Executive Office, Board of Supervisors:

Please find attached 2 attachments comprising the documentation submitted by the applicant/appellant in support of its appeal of the action taken by the Regional Planning Commission with reference to the above captioned project.

Please confirm the receipt of this material.

Thank you.

STEVE KAPLAN
Attorney
16130 Ventura Boulevard, Suite 140
Encino, CA 91436
Office/Cell: 818.321.9575
E-Mail: sk.landuselaw@gmail.com

----- Forwarded message -----

From: **Mainak D'Attaray** <mdattaray@dattaraylaw.com>
Date: Mon, Jul 25, 2022 at 9:53 AM
Subject: Re: July 26, 2022 Applicant Appeal of Project No. R2012-002971-(5) Item No. 9
To: Steve Kaplan <sk.landuselaw@gmail.com>
Cc: shaul yakovi <shaul92@gmail.com>, Melanie Simon <msimon@dattaraylaw.com>, Mike Lewis <mike@lewisandco.net>

Please see the final brief with exhibits for submission. Please also note that Exhibit 3 is separate because of its large file size.

 [2022.07.15 Admin.App.Brief \[Yakovi\].pdf](#)

 [Ben and Reef - Exh. 3.pdf](#)

Very truly yours,
Mainak D'Attaray, Esq.

d'attaraylaw | law office of mainak d'attaray

Long Beach Office (Main Address)

3780 Kilroy Airport Way, Suite 200

Long Beach, California 90806

Office: (562) 256-7038

Los Angeles Office (Mailing Address)

10262 Foothill Boulevard
Lake View Terrace, California 91342
Office: (818) 273-4729

mdattaray@dattaraylaw.com

Direct: (424) 703-LAW4 [5294]

Fax: (855) 706-LAW4 [5294]

Mobile: (310) 497-2216

NOTICE: The contents of this message and/or its attachments may be protected by law by the attorney-client privilege, the attorney work product doctrine or other privileges. If you are not the intended recipient of this message, please forward a copy to the sender and delete the message and its attachments from your computer. Thank you.

On Mon, Jul 25, 2022 at 9:26 AM Steve Kaplan <sk.landuselaw@gmail.com> wrote:

See below

I will call you at 10 to review submission protocol

STEVE KAPLAN

Attorney

16130 Ventura Boulevard, Suite 140

Encino, CA 91436

Office/Cell: 818.321.9575

E-Mail: sk.landuselaw@gmail.com

----- Forwarded message -----

From: **Garibay, Francisco** <FGaribay@bos.lacounty.gov>

Date: Thu, Jul 21, 2022 at 1:12 PM

Subject: July 26, 2022 Applicant Appeal of Project No. R2012-002971-(5) Item No. 9

To: Steve Kaplan <sk.landuselaw@gmail.com>, shaul yakovi <shaul92@gmail.com>

Cc: Gutierrez, Carmen <CGutierrez@bos.lacounty.gov>, Guzman, Adela <AGuzman@bos.lacounty.gov>

Dear Applicant,

The Appeal of Project No. R2012-002971-(5) is listed on the Board's agenda under Item No. 9, which will be heard during the Board meeting on Tuesday, July 26, 2022, which begins at 9:30 a.m. We want to provide you with the necessary information regarding the Virtual Board meeting so that you are aware of what can be expected on the day of the hearing.

1 Steve Kaplan (Bar No. 71418)
2 Law Office of Steve Kaplan
3 16130 Ventura Boulevard, Suite 140
4 Encino, California 91436

5 Telephone: (818) 321-9575
6 E-mail: sk.landuselaw@gmail.com

7 *Attorney for Ben and Reef Gardens, Inc., et al.*

8 **BEFORE THE LOS ANGELES COUNTY BOARD OF SUPERVISORS**

9 **APPEAL FROM THE DECISION OF THE PLANNING COMMISSION**

10 BEN AND REEF GARDENS, INC., *et al.*,

11 Appellants.

12
13 vs.

14
15 COUNTY OF LOS ANGELES

Proj. No.: R2012-002971-(5)
CUP No.: 201200163

**APPELLANTS BEN AND REEF
GARDENS, INC., ET AL.'S OPENING
BRIEF ON APPEAL FROM THE
DECISION OF THE LOS ANGELES
COUNTY PLANNING COMMISSION**

**Date: July 26, 2022
Time: 9:30 a.m.
Place: Hrg. Rm. of the Bd. of Supervisors
Kenneth Hahn Hall of
Administration
500 West Temple Street
Los Angeles, California 90012**

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1 **APPELLANTS OPENING BRIEF**

2 **I. INTRODUCTION AND BACKGROUND**

3 Ben & Reef Gardens, Inc., Shaul Yakovi and Ronit Waizgen (collectively, “Appellants”)
4 requested from the Los Angeles County Department of Regional Planning (“DRP”) a Conditional
5 Use Permit (“CUP”) to authorize a special event facility (the “Project”) located at 32222 Agua
6 Dulce Canyon Road, Santa Clarita, California (the “Property”) which was originally zoned R-R-
7 1 [Resort and Recreation] Zone pursuant to Los Angeles County Code section 22.40.220. The
8 CUP application was filed on December 19, 2012.
9

10 On March 18, 2021, Appellants received a letter from DRP that “[d]ue to the longstanding
11 inactive status of the project . . . the project will be scheduled for denial before a County Hearing
12 Officer on April 20, 2021 . . . *if you wish to keep this project alive, please send a written request*
13 *to the Department . . . and correspondence must be received on or before April 18, 2021 in*
14 *order to avoid being scheduled for denial.” See Exhibit 1 [emphasis added].*

15 On March 22 and April 16, 2021, counsel for Appellants submitted correspondence to
16 DRP that Appellants wished to keep the Project active, and that Appellants would continue to
17 work with DRP staff and other County departments to process and submit any and/or all
18 information required by the DRP to bring the CUP matter to a public hearing. *See Exhibit 2.*

19 As stated in the April 16, 2021 letter to DRP:

20 In sum, and viewed from a procedural perspective, applicant Mr. Yakovi is
21 attempting to work with the DRP to bring his CUP application to public hearing
22 and has met certain roadblocks preventing him from fully addressing all of the
23 concerns of the County. The applicant finds himself in a procedural “Catch-22”
24 situation.

25 Appellants have reached out to various County agencies requesting inspections of the subject site
26 in order to comply with requests from County agencies and County inspectors have continually,
27 but especially since November 2020, refused to inspect the Property. Thus, Appellants are
28 trapped in a “Catch 22.”

1 Despite Appellants informing DRP that they wished to keep the Project active pursuant to
2 DRP’s March 18, 2021 letter, on April 20, 2021, a DRP Hearing Officer held a hearing and denied
3 the CUP application for lack of activity. The Board should note that in its correspondence, the
4 County simply asked Appellants “*if you wish to keep this project alive, please send a written*
5 *request to the Department.*” [Emphasis added.] Appellants responded to DRP with a written
6 request that they intended to keep the CUP application and Project alive. Therefore, DRP should
7 not have scheduled a denial hearing per its March 18, 2021 letter.
8

9 Yet, the hearing proceeded and, notwithstanding Applicants’ April 16, 2021 letter, the
10 Hearing Officer determined that Appellants’ CUP application inactive and denied it.

11 On April 29, 2021 Appellants appealed the Hearings Officer’s denial based on inactivity
12 to the Regional Planning Commission (the “Commission”). On July 21, 2021 a public hearing
13 on the CUP was held online before the Commission. Although Appellants asked the Commission
14 for additional time to work with DRP to bring the CUP application for a hearing on the merits
15 before the Commission, the Commission allowed public testimony on the CUP’s merits. The
16 Commission concluded that the Applicant’s CUP was inactive, finding that Appellants “[have]
17 not demonstrated any progress to resolve the outstanding issues” and upheld the Hearing Officer’s
18 denial of the CUP for inactivity. The Commission also referred to the pending civil litigation
19 between the parties, and public comments, which referred to the merits of the CUP application,
20 in reaching its decision.

21 On August 2, 2021, Appellants appealed to the last level of administrative review, which
22 is now before the Los Angeles County Board of Supervisors (the “Board”).

23 **II. THERE IS ONLY ONE NARROW ISSUE ON APPEAL: WHETHER THE**
24 **LOWER ADMINISTRATIVE TRIBUNALS ERRED WHEN THEY FOUND**
25 **THAT THE CUP APPLICATION WAS INACTIVE**

26 As the record below shows, Appellants’ CUP application was not inactive. In fact, it was
27 anything but. In fact, the period just before DRP’s March 18, 2021 letter, Appellants by and
28

1 through their counsel were quite active in responding to DRP’s requests for information. Thus,
2 the Commission’s findings that CUP application should be denied for inactivity was error. As
3 requested in DRP’s March 18, 2021 letter, Appellants specifically indicated on April 16, 2021,
4 that they intended to keep the Project alive. Its inexplicable that after asking if Appellants desired
5 to keep the project alive, the DRP hearing officer would order the CUP application inactive and
6 deny it. Appellants are asking the Board to reverse the July 21, 2021 decision by the Commission,
7 and to reverse the Commission as the application was not “inactive,” as that term is understood.
8 It should never have been an adjudication of the merits of the CUP application.
9

10 **III. BRIEF STATEMENT OF FACTS**

11 Appellants purchased six parcels comprising the Property when it was zoned RR-1
12 [recreational zoning]. The prior owners of the Property operated a privately owned campground,
13 RV park with private swimming and fishing ponds, which were open to the public known as
14 Vazquez Park. Appellants immediately invested over seven million dollars in improving the
15 parcels to create the Garden of Paradise venue and event space. Appellants timely applied for
16 building permits for the Project, all of which were left pending and never finalized because the
17 County refused, and continues to refuse, to send inspectors out to the Project site to final the
18 permits despite acknowledging that the Appellants’ CUP application was complete. In 2009,
19 Appellants also obtained a plot plan approval for the use of the Property and the outdoor dance
20 pavilion, which was not necessary prior to 2012 when the Property was zoned as RR-1, but has
21 been the source of so much collateral litigation in civil court.

22 Appellants applied for a CUP not because of any new use but to conform the existing use
23 of its Property because the County changed the zoning in 2012 from RR-1 to A-1 Open Space
24 [light agriculture and open space]. Despite the prior established use, the County sent the
25 Appellants a letter in 2012 indicating that to the extent he had any “grandfathered” use, it would
26 lapse within five years—2017. Appellants took exception to that—as “grandfathering” does not
27 lapse in such a short time, and even if assuming that it does, Appellants applied for, and it was
28

1 confirmed by the County, that its CUP application was complete prior to the “lapse.” See L.A.
2 Cnty Ord. § 22.172.050.

3 **IV. THE PLANNING COMMISSION ERRED WHEN IT CONSIDERED**
4 **ANYTHING OTHER THAN THE NARROW ISSUE BEFORE IT—**
5 **WHETHER THE CUP WAS PROPERLY DENIED FOR BEING INACTIVE**

6 **A. Appellants Had Constant Communications with the County Since**
7 **2012 When It Applied for the CUP**

8 Neither “activity” or “inactivity” are defined in the Los Angeles County Ordinance
9 [planning and zoning code]. See L.A. Cnty Code §§ 22.14.010 and 22.14.090. Where the law is
10 silent on the meaning of words, the Civil Code and legal maxims urge that words “are to be
11 understood in their ordinary and popular sense, rather than according to their strict legal meaning,
12 unless used by the parties in a technical sense, or unless a special meaning is given to them by
13 usage, in which case the latter must be followed.” See Cal. Civ. Code § 1644; see also *Sierra*
14 *Club v. Superior Court* (2013) 57 Cal.4th 157, 165-166; *Klein v. United States* (2010) 50 Cal.4th
15 68, 77. Merriam-Websters defines it as “the quality or state of being active . . . a pursuit in which
16 a person is active.” “Inactivity” on the other hand is defined as “not active . . . sedentary . . .
17 indolent, sluggish . . . being out of use.” Appellants actively pursued the CUP and were not
18 inactive responding to DRP’s request for materials to clarify, correct, and supplement Appellants’
19 application after it was accepted by DRP for processing.

20
21 Notwithstanding the length of time this CUP application has been in process, and the
22 County’s position that the Appellants have not communicated with nor supplied to the DRP
23 information requested, as shown on the 170 pages of emails and other communications attached
24 as **Exhibit 3**, Appellants in this matter have in fact worked closely with the County over a number
25 of years. Of particular interest, in **Exhibit 3**, where on December 24, 2012, DRP indicated to the
26 Appellant that its CUP application was complete. The balance of the emails in **Exhibit 3**

1 document Appellants continued attempt to gain the cooperation of the County in inspecting,
2 approving, and/or permitting certain aspects of his Property improvements.

3 Also, Appellants requested even more documents via California Public Records Act
4 (“CPRA”) requests, which produced at least 560 plus pages of additional documents
5 demonstrating activity by and between Appellants and DRP. *See Exhibits 6.*

6 **B. Since At Least October 2020 to February 2021, Appellants’ Counsel**
7 **and Senior Planner Claghorn Were in Regular Communication**

8 Since Appellants retained counsel in October of 2020, and in support of Appellants’ CUP
9 application, Appellants’ counsel had been in regular contact with Regional Planner Richard
10 Claghorn. Counsel and Claghorn regularly communicated by email and letter in a consistent
11 working relationship to bring the subject CUP matter to hearing on the merits. *See Exhibit 4.* It
12 is noteworthy and concerning that DRP had a dramatic change of attitude toward Appellants on
13 February 4, 2021 as shown by the conflicting messages conveyed in the 1:56 p.m. email by
14 Claghorn, which was cooperative, and his 4:29 p.m. email, which abruptly changed to an
15 unwillingness to further communicate with Appellants.
16

17 Appellants are still willingly to work with County staff on this CUP application; however,
18 as noted above, DRP’s cooperative tone changed on February 4, 2021. And, on March 18, 2021,
19 Claghorn informed Appellants’ counsel that he was no longer able to discuss this matter. Yet
20 even in June and July 2021, Appellants reached out to staff members at the Departments of Public
21 Works, Environmental Health, and County Fire Prevention Division to clarify certain agency
22 requests, and to work with said agencies to satisfy concerns raised in prior correspondence. But
23 all these agencies refused to speak with Appellants because the Project was “on hold” and that
24 the Property was the subject of litigation with the County.

25 **V. APPLICANTS HAVE A VALID LAND USE ENTITLEMENT TO USE THE**
26 **PROPERTY IN A NONCONFORMING WAY**

27 Since at least August 24, 2010, Appellants have an approved Administrative Site Plan.
28

1 This approval details that the site is approved for an outdoor dance pavilion with a 2,000 square
2 foot accessory storage structure, an accessory 1,890 square foot office structure and two 735
3 square foot restroom structures. *See Exhibit 5*. In addition, events, not exceeding 500 persons
4 in attendance, are permitted. An approved plot plan establishes the use of a property, which in
5 2010 when the Plot Plan was approved was zoned for recreational use [RR-1] and Appellants
6 were not required to obtain any permits to operate a wedding venue or outdoor dance pavilion.
7 The approved Plot Plan authorized Appellants to operate a wedding venue and outdoor dance
8 pavilion for up to 500 guests. That approval established Plaintiff's use prior to the 2012 zone
9 change. Pursuant to Los Angeles County Code § 22.172.050(B)(1)(f), Defendants'
10 "nonconforming" use is allowed for "20 years from the effective date or operative date where
11 later of the ordinance or amendment thereto establishing said nonconforming status."
12

13 It is most critical and important for the Board to note that the uses approved by the above
14 referenced administrative action mirror the existing uses shown on the revised Project site plans
15 submitted to the County on December 28, 2020 and again on February 17, 2021. *See Exhibit 5*.
16 All of the concerns noted in the County agency reports in August 2019 from Public Works,
17 Environmental Health and the Fire Department and in September 2020 from the DRP address
18 concerns of a much larger project that has now been abandoned, as evidenced by the submission
19 of the revised Project site plan on December 28, 2020. However, it appears that this was not
20 shared by DRP with the other County departments.

21 VI. CONCLUSION

22 Contrary to the decision by the Commission to deny the Project for inactivity and for all
23 of the reasons detailed in this submitted brief and based upon the information to be presented at
24 the July 26, 2022 Board appeal hearing, request is hereby made to the Board to reverse the action
25 taken by the Commission and to direct DRP to organize a One-Stop or other meeting with the
26 Appellants and all appropriate County agencies to fully review and narrow the issues concerning
27 the Project and thereafter to bring the subject CUP application to a true substantive public hearing
28

1 on the merits of the CUP filing within a reasonable time as determined by the County and the
2 Appellants.

3 The Board should also take note of the fact that if the action of the Commission is
4 sustained and the CUP is denied, a denial at his point will only result in the continued operation
5 of the facility under the previously approved Administrative Site Plan approval and the
6 resubmittal of a new CUP application in 365 days which does nothing to provide assurances to
7 the community in the interim time period.
8

9 DATED: July 25, 2022

LAW OFFICE OF STEVE KAPLAN


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11 _____
12 Steve Kaplan, Esq.
13 *Attorney for Appellants*
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1 on the merits of the CUP filing within a reasonable time as determined by the County and the
2 Appellants.

3 The Board should also take note of the fact that if the action of the Commission is
4 sustained and the CUP is denied, a denial at his point will only result in the continued operation
5 of the facility under the previously approved Administrative Site Plan approval and the
6 resubmittal of a new CUP application in 365 days which does nothing to provide assurances to
7 the community in the interim time period.

8 DATED: July 25, 2022

LAW OFFICE OF STEVE KAPLAN

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12 _____
13 Steve Kaplan, Esq.
14 *Attorney for Appellants*

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EXHIBIT 1

9
APPELLANTS' OPENING BRIEF



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director

Dennis Slavin
Chief Deputy Director

March 18, 2021

Mr. Shaul Yakovi
32222 Agua Dulce Canyon Rd.
Agua Dulce, CA 91390

Dear Mr. Yakovi:

PUBLIC MEETING NOTICE: DENIAL DUE TO INACTIVITY
PROJECT NO. R2012-02971
CONDITIONAL USE PERMIT NO. 201200163
32222 AGUA DULCE CANYON RD. (APN 3212-007-025, 3212-007-026, 3212-007-027, 3212-007-028, and 3212-008-054)




The Los Angeles County (County) Department of Regional Planning (Department) has made repeated attempts to inform you of the information that is required to proceed with your application for a Conditional Use Permit (CUP) to authorize a special event facility, caretaker's residence, and related facilities at the above-referenced location. The correspondence dated September 9, 2020 requesting project revisions and additional information is attached for your review. Additionally, staff has sent many letters requesting required information beginning on June 13, 2013. To date, we have not received the requested information and as a result, we are unable to proceed with processing your application.

Section 22.222.100 of the County Code (Zoning Ordinance) provides that the Hearing Officer may deny, without public hearing, an application for a CUP if such application does not contain the required information contained in Sections 22.222.070 and 22.222.090. Due to the longstanding inactive status of the project identified above, the project **will be scheduled for denial** before a County Hearing Officer on **April 20, 2021**.

If you wish to keep this project active, please send a written request to the Department, Zoning Permits North, Room 1348, 320 West Temple Street, Los Angeles, CA 90012, Attention: Richard Claghorn or rclaghorn@planning.lacounty.gov. This correspondence must be received **on or before April 18, 2021** in order to avoid being scheduled for denial.

For questions or for additional information, please contact Richard Claghorn of the Zoning Permits North Section at (213) 974-6443, or rclaghorn@planning.lacounty.gov.

320 West Temple Street • Los Angeles, CA 90012 • 213-974-6411 • TDD: 213-617-2292

   @LACDRP | planning.lacounty.gov

Mr. Shaul Yakovi
March 18, 2021
Page 2

Sincerely,

Amy J. Bodek, AICP
Director

A handwritten signature in black ink, appearing to read "Samuel Dea". The signature is fluid and cursive, with the first name "Samuel" being more prominent than the last name "Dea".

Samuel Dea, Supervising Regional Planner
Zoning Permits North Section

SD:RC

Enclosures: Incomplete Letter 9-9-20

c: Steve Kaplan, Attorney, 16133 Ventura Blvd., Suite 700, Encino, CA 91390
cc (via email): sk.landuselaw@gmail.com; shaul92@gmail.com

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EXHIBIT 2

March 22, 2021

SENT VIA EMAIL

Los Angeles County Department of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012
Attention: Kerstin Schlegel

Re: Appeal of Final Zoning Enforcement Order
Code Enforcement Case Number RPCE2020003774

Department of Regional Planning:

The undersigned represents Mr. Shaul Yakovi concerning the property located at 32222 Agua Dulce Canyon Road and the processing of Conditional Use Permit (CUP) No. 201200163. Said matter is set for a public hearing before a County Hearing Officer on April 20, 2021. At said hearing, documentation will be submitted and presented in support of the continued processing of the subject CUP application.

Accordingly, and because all the alleged violations noted in the above captioned code enforcement case will be fully addressed at the upcoming April 20th hearing, this letter is submitted in support of my client's request to continue the appeal hearing scheduled for tomorrow so that the issues and alleged violations noted in the enforcement case order can be more fully reviewed along with other concerns of the County at said April 20th hearing.

Thank you for your consideration of this continuance request.

Sincerely,


Steve Kaplan

cc: Client
Law Office of Mainak D'Attaray

LAW OFFICE OF
STEVE KAPLAN

6133 VENTURA BOULEVARD, SUITE 700
ENCINO, CALIFORNIA 91436

TELEPHONE: (818) 377-7440

EMAIL: SK.LANDUSELAW@GMAIL.COM

April 16, 2021

SENT VIA EMAIL and FEDERAL EXPRESS

Los Angeles County Department of Regional Planning
Zoning Permits North, Room 1348
320 W. Temple Street
Los Angeles, CA 90012
Attention: Richard Claghorn, Principal Regional Planner
rclaghorn@planning.lacounty.gov

Re: Project Number: R2012-02971 ("Project")
Conditional Use Permit Number: 201200163 ("CUP")
Property: 32222 Agua Dulce Canyon Road ("Property")

Department of Regional Planning:

The undersigned represents Mr. Shaul Yakovi concerning the processing of the above captioned CUP application and is written in response to a letter, dated March 18, 2021, from the LACDRP ("DRP") with reference to a Public Meeting Notice: Denial Due to Inactivity ("Notice") received by my client.

Pursuant to the directive contained in the above referenced Notice, **please be advised** that **my client wishes to keep the subject Project active** and will continue to work with County DRP staff and other County departments to process and submit any and/or all information required by the DRP to bring the subject CUP matter to a Project CUP public hearing.

By way of historical background and context, please be advised as follows. In 2008 my client purchased the six parcels comprising the Property when it was zoned RR-1 [recreational zoning]. The prior owners of the Property operated a privately owned campground, RV park with private swimming and fishing ponds which were open to the public known as Vazquez Park. Mr. Yakovi immediately invested over seven million dollars in improving the parcels to create the Garden of Paradise venue and event space. He timely applied for building permits and the subject CUP, all of which were left pending and never finalized because the County has refused to send inspectors out to finalize the building permits and despite acknowledging that my client's CUP application was complete. Mr. Yakovi applied for a CUP not because of any new use but to conform the existing use of his Property because the County changed the zoning in 2012 from RR1 to A-1 Open Space [light agriculture and open space]. Despite the prior established use, the County sent Mr. Yakovi a letter in 2012 indicating that to the extent he had any "grandfathered" use, it would lapse within five years--or 2017. Please be advised that

my client takes exception to that--"grandfathering" does not lapse and even if assuming that it does, Mr. Yakovi applied for and it was confirmed by the County that his CUP application was complete prior to the "lapse."

Prior to responding to the specific concerns of the DRP contained in its Report to the Hearing Office dated April 8, 2021 ("Report to Hearing Officer"), I would like to bring to the attention of the hearing officer certain facts surrounding the historical and present day processing of the subject CUP application. Notwithstanding the length of time this CUP matter has been in process, and the DRP position that my client has not communicated with, nor supplied to, the DRP information requested, please be advised that as shown on the emails attached as Exhibits 1A -1F, the applicant in this matter has in fact worked closely with the County over a number of years. Of particular interest, please take note of Exhibit 1A wherein the DRP on December 24, 2012 indicated to my client that his CUP application was complete. The balance of the emails in Exhibit 1 document my client's continued attempt to gain the cooperation of the County in inspecting/approving/permitting certain aspects of his Property improvements.

In addition, since my retention late last year in support of my client's CUP application, I have been in regular contact with Regional Planner Richard Claghorn. Attached as Exhibits 2A - 2H are a series of email and letter correspondence between the undersigned and Mr. Claghorn evidencing a working relationship to bring this CUP matter to hearing. It is both noteworthy and concerning to my client, and is hereby brought to the attention of the hearing officer, that a dramatic change of attitude by the County toward my client occurred on February 4 of this year as shown by the conflicting messages contained in Exhibits 2F and 2G. The message conveyed in Exhibit 2F is one of cooperation. The message conveyed in Exhibit 2G expresses an opposite position by the DRP and an unwillingness to further communicate with the applicant and the undersigned.

It is imperative that the hearing officer understand the continued willingness of the applicant to work with County staff on this CUP matter. The applicant is not ignoring the DRP requests for information.

Unfortunately, and as noted above, the cooperative tone of my interaction with the DRP changed and on March 18 Mr. Claghorn informed me that he was no longer able to discuss this matter with me on the phone and that I would be receiving the Notice referenced above. In addition, Mr. Yakovi over the past few weeks has tried to reach out to staff members of the Departments of Public Works, Environmental Health, and the County Fire Prevention Division to clarify certain agency requests and to work with said agencies to satisfy concerns raised in prior correspondence. All of said County agency staff personnel indicated they were unable to speak with him because the Project was "on hold" and that the Property was the subject of litigation with the County.

Viewed from a procedural perspective, applicant Mr. Yakovi is attempting to work with the DRP to bring his CUP application to public hearing and has met certain roadblocks preventing him from fully addressing all of the concerns of the County. The applicant finds himself in a procedural "Catch-22" situation.

Viewed from a substantive perspective, please find submitted herewith a revised Master Site Plan for the Property. A parking matrix is also submitted herewith detailing the parking spaces available for all the uses detailed on the Master Site Plan. In response to concerns raised by the DRP in its 9/9/20 Request for Review Materials ("DRP Request"), please be advised that all of the Site Plan requests for clarification numbered 1-6 contained in said DRP Request letter have been addressed by the submission herewith of the revised Master Site Plan. The guard shack, certain signage, and all cabins and rooms detailed on previous site plans have been removed from the site's master plan. Accordingly, DRP Request item numbers 7&8 for architectural plans for said improvements is now a moot issue. In addition, DRP Request item numbers 9 – 22 for further information and description of site grading, flood zone protection, equestrian uses, juice bar improvements, secondary signage monumentation, winery improvements and new building construction are all now moot as well as the submitted new Master Site Plan contain none of the uses or construction improvements contemplated by previously submitted site plans. With reference to items 23-28 detailed in the DRP Request, all information requested will be submitted to DRP staff as we continue to work with County staff to bring the subject Project to a CUP public hearing.

In conclusion, and contrary to the recommendation by DRP staff in its Report to Hearing Officer to deny the subject CUP, and for all of the reasons detailed in this submitted correspondence and based upon the information to be presented at the upcoming April 20th hearing date, request is hereby made to the hearing officer to allow my client and the applicant in the subject CUP matter to continue to work with the DRP and other County departments in order to bring this matter to a full and substantive public hearing on the merits of the Project.

Thank you for your consideration of the enclosed materials.

Respectfully submitted,


Steve Kaplan

cc: Client
Law Office of Mainak D'Attaray

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EXHIBIT 3

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EXHIBIT 4



Steve Kaplan <sk.landuselaw@gmail.com>

Re: 32222 Auga Dulce Canyon Road

1 message

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: Steve Kaplan <sk.landuselaw@gmail.com>
Cc: Kerstin Schlegel <kschlegel@planning.lacounty.gov>

Thu, Feb 4, 2021 at 1:56 PM

Steve,

One-Stop Counseling for the project would require submittal of a Zoning Permits One-Stop Counseling application form, site plan, revised project description, and fees (\$384-DRP, \$269-DPW, \$153-Fire, \$137-DPH). If all departments are requested, it costs \$943. The fees may increase if paid after Feb. 28. The application form and EPIC-LA portal for online submittals can be accessed at this link:

[Applications & Forms | DRP \(lacounty.gov\)](#)

One-Stop meetings are only held once per month on the second Tuesday. The next one that is available would be the one on March 9. In order to get on the schedule for March 9, we would need to receive the application materials and payment and I would have to send out the request today, because it must be done at least 30 days before the meeting date. I don't think that is possible, so realistically, the earliest feasible One-Stop date would be on April 13. One-Stop meetings are one hour in length and are conducted online. Each department would also issue a letter or report detailing their requirements for the project, based on the information provided.

It may be possible to set up an interdepartmental meeting to address the issues outside the One-Stop process, although that would depend on staff availability and would have to be requested by our upper management in coordination with the other departments. Because of the complexity of the case, I'm not sure a regular One-Stop meeting would be the best way to address it, so a special meeting may be preferable. I'll discuss it with my supervisor later today, but I'm not sure yet how feasible it may be. I probably won't be able to follow up with you today, but can provide an update next week.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning

We Appreciate Your Feedback!

Please take a moment and fill out our EPIC-LA customer experience survey by clicking on the link below:
[https://bit.ly/LACoCSSurvey](https://bit.ly/LACoCSSSurvey)

In response to the evolving coronavirus emergency, Los Angeles County facilities are closed to the public at this time. For the most current information about available services, public meeting schedules, and planning projects, please visit planning.lacounty.gov

From: Steve Kaplan <sk.landuselaw@gmail.com>
Sent: Thursday, February 4, 2021 12:18 PM
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Cc: Kerstin Schlegel <kschlegel@planning.lacounty.gov>
Subject: Re: 32222 Auga Dulce Canyon Road

CAUTION: External Email. Proceed Responsibly.

Richard,

I would like to set-up a Zoning Permits One-Stop counseling meeting between the undersigned, you and a representative from the Zoning Enforcement unit to discuss a comprehensive strategy to resolve the outstanding issues with reference to the Gardens of Paradise use of the above captioned property site pending the further processing of our CUP application.

Can we set up such a meeting next week?

Please advise.

Thank you,
STEVE KAPLAN
Attorney
16133 Ventura Boulevard, Suite 700
Encino, CA 91436
Office: 818.377.7440
Cell: 818.321.9575
Facsimile: 818.377.7401
E-Mail: sk.landuselaw@gmail.com

On Mon, Feb 1, 2021 at 1:44 PM Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Hi Steve,

In the meeting it was stated that the applicant has continued to hold events at the site despite repeated requests and orders to stop. We can't continue to process an application if there is an unresolved and ongoing Zoning violation. I will need to discuss this with my supervisor and our assistant administrator to see what happens next. It's possible that we may have to schedule a hearing to deny the project if the violation continues, but we haven't discussed it recently or made a decision on it yet. The applicant needs to stop holding events until obtaining approval of the CUP and any other required approvals. Thanks.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning

We Appreciate Your Feedback!

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From: Steve Kaplan <sk.landuselaw@gmail.com>
Sent: Monday, February 1, 2021 12:50 PM
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Subject: Re: 32222 Auga Dulce Canyon Road

CAUTION: External Email. Proceed Responsibly.

Good afternoon Richard,

Last we spoke this past week, you indicated you would be meeting with the zoning enforcement unit to discuss the juxtaposition of issues between your unit and that of zoning enforcement.

Do you have any information for Shaul and me regarding any such meeting. If so, I would most appreciate any feedback you can provide.

Thanks,
STEVE KAPLAN
Attorney
[16133 Ventura Boulevard, Suite 700](#)
[Encino, CA 91436](#)
Office: 818.377.7440
Cell: 818.321.9575
Facsimile: 818.377.7401
E-Mail: sk.landuselaw@gmail.com

On Wed, Jan 27, 2021 at 8:25 AM Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Hello Steve,

Thanks for the revised site plan. Can you please let me know when a revised project description will be submitted? Thanks.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning

We Appreciate Your Feedback!

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<https://bit.ly/LACoCSSSurvey>

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From: Steve Kaplan <sk.landuselaw@gmail.com>
Sent: Monday, December 28, 2020 8:16 AM
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Cc: shaul92@gmail.com <shaul92@gmail.com>
Subject: Re: 32222 Auga Dulce Canyon Road

CAUTION: External Email. Proceed Responsibly.

Good morning Richard,

In response to your below email request of 11/19/20, please find attached a revised project site plan addressing the concerns noted in your subject email.

I will reach out to you later today to further discuss the processing of my client's CUP filing.

Thank you.

Best,
STEVE KAPLAN
Attorney
[16133 Ventura Boulevard, Suite 700](#)
[Encino, CA 91436](#)
Office: 818.377.7440
Cell: 818.321.9575
Facsimile: 818.377.7401

E-Mail: sk.landuselaw@gmail.com

On Thu, Nov 19, 2020 at 3:25 PM Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Hi Steve,

Thank you for the information you provided on Nov. 12, 2020. Unfortunately, we have still not received all of the requested information. Please provide an updated project description as soon as possible. Also, there are some issues with the revised site plan, as follows:

1. Northeast of the pavilion the kitchen and storage buildings were removed from the plan, but the labels for those structures are still on the plan. They should be deleted.
2. The site plan shows a 400 sf restroom structure north of the pavilion. Is this an existing or proposed structure? This structure doesn't appear in a 2017 aerial photo.
3. The site plan shows a restaurant building on the south parcel. There is no restaurant there currently, so it should not be depicted as a restaurant. It was a snack bar/restaurant in the past, but has not been one for many years, and re-establishing a restaurant here will make the approval process more difficult. It should be labeled as a storage structure, which appears to be its current function.
4. The site plan shows a snack bar on the south parcel south of the pool. This is not an existing use and should be deleted from the site plan.
5. The site plan shows a laundry structure on the south parcel. Based on a site visit in 2018 it was a storage structure. The size and shape of the structure on the site plan don't appear accurate based on the attached aerial photo (Parcel 54).
6. The site plan shows a parking area on the west side of parcels 27 and 28. Aerial photos show an unpaved parking area in the same general area, but it is much smaller in size than depicted on the site plan. Based on the attached topo map, portions of this parking area are very steep (20%+ slope) and would not be suitable for parking. The site plan should only depict parking areas that are relatively flat and have been used for parking before, and not any areas that would require vegetation clearance or grading.

Let me know how much time is needed in order to provide this information. Also, please be aware that we can't process the CUP where there is an ongoing Zoning Violation. Events must cease on the site before we can continue processing the CUP. Thank you.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning

We Appreciate Your Feedback!

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[https://bit.ly/LACoCSSurvey](https://bit.ly/LACoCSSSurvey)

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From: Steve Kaplan <sk.landuselaw@gmail.com>
Sent: Thursday, November 19, 2020 1:50 PM
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Subject: Re: 32222 Auga Dulce Canyon Road

CAUTION: External Email. Proceed Responsibly.

Richard,

Once again, and before your work week ends, I hope you will give me a call at 818-321-9575 to discuss the CUP processing of the above captioned site.

Thank you.

STEVE KAPLAN
Attorney
[16133 Ventura Boulevard, Suite 700](#)
[Encino, CA 91436](#)
Office: 818.377.7440
Cell: 818.321.9575
Facsimile: 818.377.7401
E-Mail: sk.landuselaw@gmail.com

On Tue, Nov 17, 2020 at 2:44 PM Steve Kaplan <sk.landuselaw@gmail.com> wrote:

Helo Richard,

I would most appreciate a call from you to my cell phone at 818-321-9575 to discuss Shaul's case...thank you.

STEVE KAPLAN
Attorney
[16133 Ventura Boulevard, Suite 700](#)
[Encino, CA 91436](#)
Office: 818.377.7440
Cell: 818.321.9575
Facsimile: 818.377.7401
E-Mail: sk.landuselaw@gmail.com

On Thu, Nov 12, 2020 at 5:05 PM Steve Kaplan <sk.landuselaw@gmail.com> wrote:

Good afternoon Richard,

Please find attached my letter and additional documentation with respect to the above captioned property site and pending CUP application.

I will follow up tomorrow with additional material.

Thank you.

STEVE KAPLAN
Attorney
[16133 Ventura Boulevard, Suite 700](#)
[Encino, CA 91436](#)
Office: 818.377.7440
Cell: 818.321.9575
Facsimile: 818.377.7401
E-Mail: sk.landuselaw@gmail.com



Steve Kaplan <sk.landuselaw@gmail.com>

32222 Agua Dulce Canyon Rd.

1 message

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Thu, Feb 4, 2021 at 4:29 PM

To: "shaul92@gmail.com" <shaul92@gmail.com>, "karnier@gmail.com" <karnier@gmail.com>

Cc: Steve Kaplan <sk.landuselaw@gmail.com>, Kerstin Schlegel <kschlegel@planning.lacounty.gov>, Samuel Dea <sdea@planning.lacounty.gov>, Tracy Swann <tswann@counsel.lacounty.gov>

Good afternoon,

As we have informed you on prior occasions, we cannot process a CUP with active violations. As explained previously, you are not authorized to hold events at this location until after you receive approval of the CUP application. Therefore, you must cease holding any events until you obtain an approved CUP. Plot Plan RPP200900080 is not effective for continued operation of the event center.

On October 8, 2020, I requested the following information by November 12, 2020:

1. Submit to Regional Planning a revised site plan by November 12, 2020. The revised site plan should show only the existing structures.
2. Submit to Regional Planning a revised project description by November 12, 2020.
3. Submit to the Department of Public Health the required information for Drinking Water and Onsite Wastewater Treatment System as explained in the attached DPH letter.

I received a revised site plan on November 12, 2020. On November 19, 2020 I requested that changes be made to the site plan, including the following comment:

"The site plan shows a restaurant building on the south parcel. There is no restaurant there currently, so it should not be depicted as a restaurant. It was a snack bar/restaurant in the past, but has not been one for many years, and re-establishing a restaurant here will make the approval process more difficult. It should be labeled as a storage structure, which appears to be its current function."

A revised site plan was submitted on December 28, 2020, but it still shows the restaurant that I had asked to be removed. Please remove the restaurant from the site plan. Also, we still have not received the revised project description requested previously to reflect the modified scope of the project. Please provide this information by February 18, 2021 if you wish to continue the CUP permitting process.

Also, there does not appear to have been any progress toward addressing the Drinking Water and Onsite Wastewater Treatment System requirements of DPH. Please provide evidence that you have hired a consultant to prepare the necessary reports and other information for DPH to review the project.

We reiterate that you are not authorized to continue holding events and must cease holding events in order for us to continue processing the CUP. Thank you.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section

Department of Regional Planning

We Appreciate Your Feedback!

Please take a moment and fill out our EPIC-LA customer experience survey by clicking on the link below:

<https://bit.ly/LACoCSSSurvey>

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EXHIBIT 5

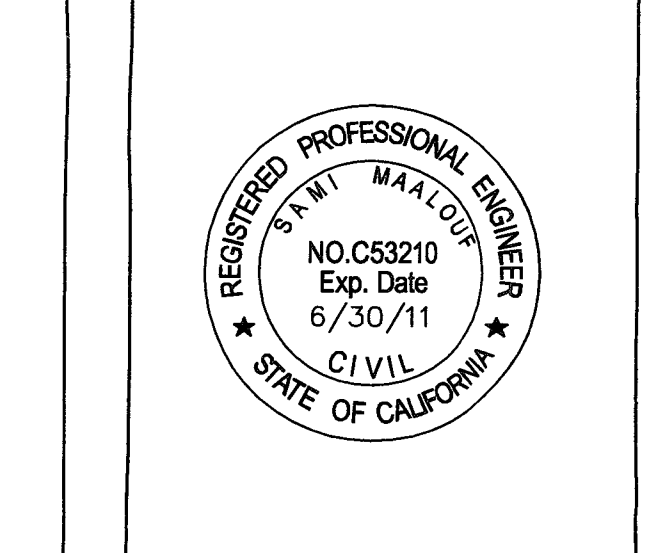
Plot Plan 200900080
(Project R2009-00106)
Agua Dulce CSD

- Plot plan 200900080 is approved for an outdoor dance pavilion with a 2,000 square foot accessory storage structure, an accessory 1,890 square foot office structure and two 735 square foot restroom structures with parking and landscaping as shown.
- No event is permitted where attendance exceeds 500 persons.
- Parking provided shall be 305 spaces as shown, including 8 handicapped parking spaces. Parking required is one space per three persons at the largest event, which is 167 spaces, based on an event for 500 people.
- Parking areas and driveways shall be paved with concrete or asphalt. Alternative materials may be used if authorized by the Department of Public Works (DPW).
- No catering or meals shall be provided, unless an approved film permit, Temporary Use Permit or Conditional Use Permit authorizes it.
- This project is subject to the Green Building requirements. These requirements are as follows:
 - a.) Design to achieve at least 15% more energy efficiency than Title 24 2005 California Energy Efficiency Standards.
 - b.) Recycle/reuse at least 65% of non-hazardous construction debris by weight.
 - c.) Install smart irrigation controller.
 - d.) Plant at least twenty-six 15-gallon trees, at least 65% of which must be drought-tolerant. Existing mature trees shown on the plans count toward this requirement if they remain.
 - e.) Install high efficiency toilets (maximum 1.28 gallons/flush)
- This project is subject to the Drought Tolerant Landscaping requirements, which are as follows:
 - a.) Minimum of 75% of all landscaping must be drought-tolerant (100% drought- tolerant proposed).
 - b.) Maximum 5,000 square feet of landscaping area may be grass/turf.
 - c.) Grass must be water-efficient.
 - d.) Grass areas must be a minimum of five feet wide.
 - e.) Group plants with similar watering needs.
 - f.) Proposed landscaping shall be all drought-tolerant. Turf areas are proposed to be replaced with drought-tolerant landscaping.
 - g.) A drought-tolerant landscaping covenant has been recorded.
- This project is subject to the LID requirements, to be determined by DPW.
- Proposed grading includes 12,983 square feet of cut and 3,214.88 square feet of fill. Obtain permit from DPW for the grading and retaining walls. Proposed export amount is 682.7 cubic yards.
- Obtain approval from DPW for structures within the restricted use area.
- Comply with all requirements from DPW, Building and Safety, Fire, Health, Regional Planning, Sheriff and all other relevant agencies.
- Obtain building permits from Building and Safety.
- This approval must be used by August 24, 2012.

DO NOT REMOVE!

DATE:	
REVISIONS:	

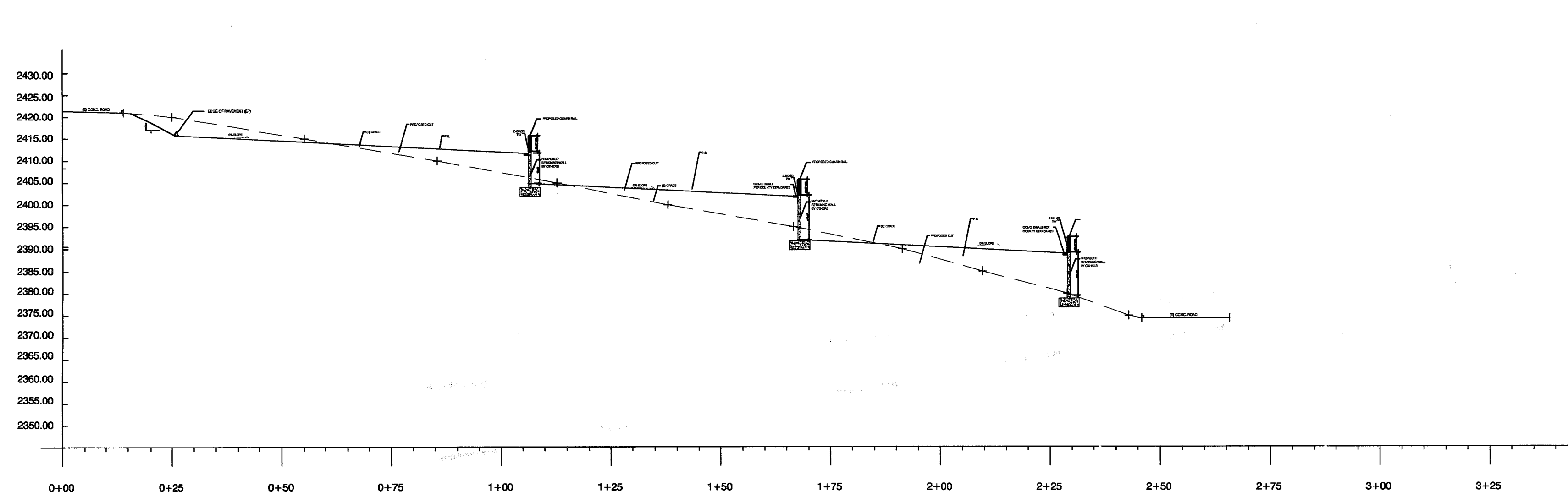
SHEET CONTENTS:
CROSS SECTIONS
SCALE: 1" = 10'-0"



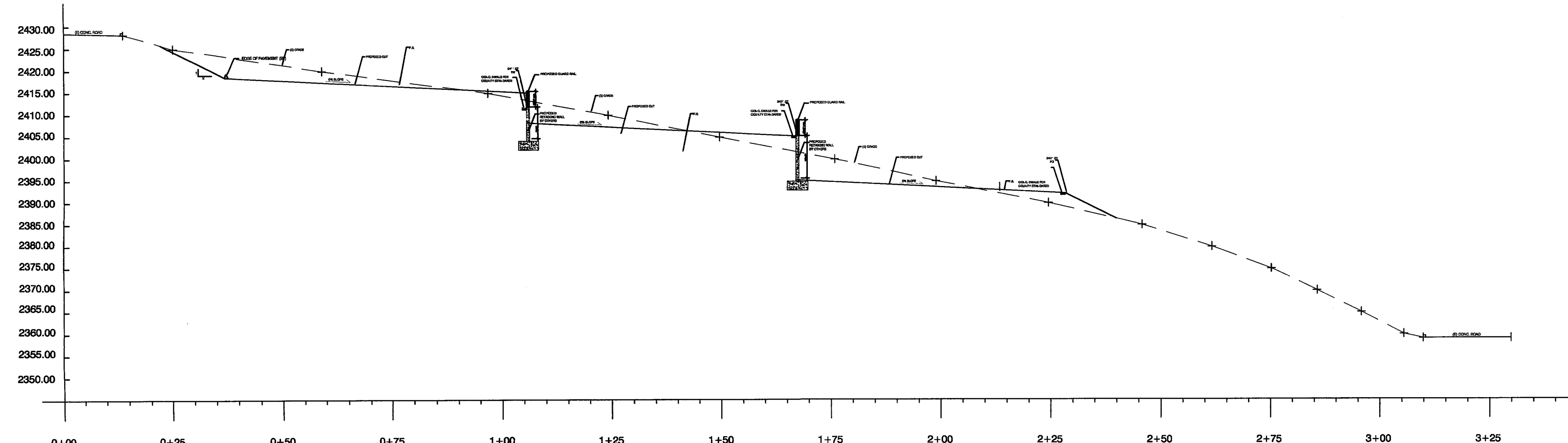
PROJECT NAME AND ADDRESS:
BEN AND REEF GARDENS
32222 AGUA DULCE CYN. RD., ST. CLARITA, CA 91390

OWNER'S NAME & ADDRESS:
RONIT WAIZGEN
32222 AGUA DULCE CYN. RD., ST. CLARITA, CA 91390

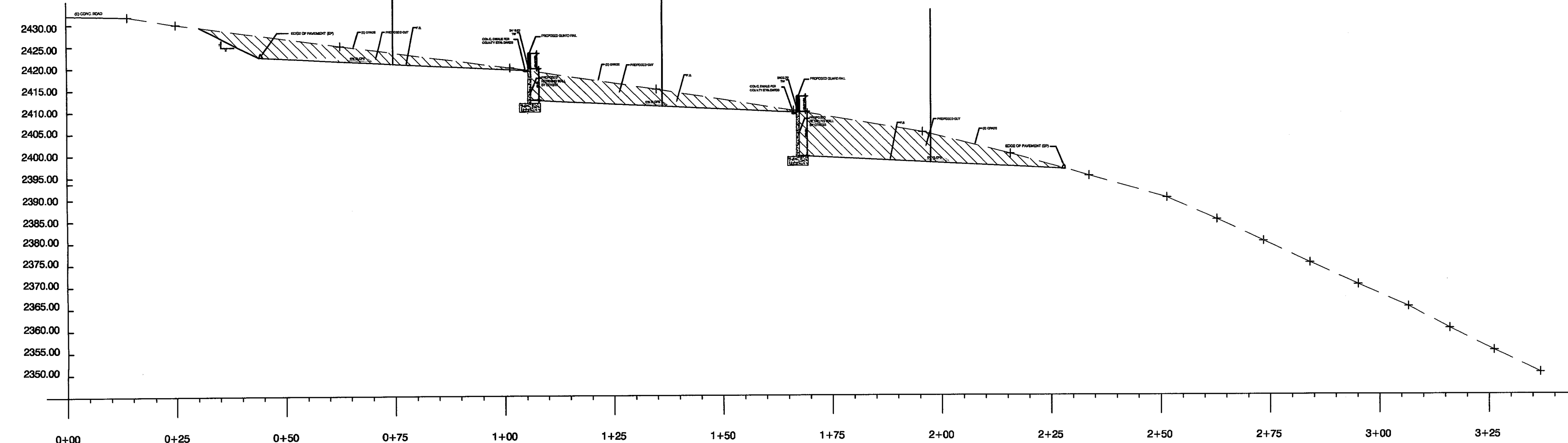
SHEET NUMBER:
C-1



SECTION 1-1
SCALE 1" = 20'-0"



SECTION 2-2
SCALE 1" = 20'-0"



SECTION 3-3
SCALE 1" = 20'-0"

- SPACING ABBREVIATIONS:**
- C/B Catch Basin
 - CBW Conc. Block Wall
 - C&G Curb and Gutter
 - CLF Chain Linked Fence
 - CONC. Concrete
 - D/A Driveway Apron
 - ED Edison Pole
 - EX E-x-iting
 - FF Finish Floor Elevation
 - FG Finish Grade Elevation
 - FL Flow Line Elevation
 - FS Finish Surface Elevation
 - GB Grade Break Elevation
 - HP High Point Elevation
 - INV. Invert Elevation
 - LS Land Scaping
 - PFL Pipe Flow Line
 - S&M Sewer Manhole
 - S/W Sidewalk
 - TBR To Be Removed
 - TC Top of Curb Elevation
 - TF Top of Footing Elevation
 - TE Top of Erect Elevation
 - TW Top of Wall Elevation
 - WF Wooden Fence
 - WM Water Meter
 - R&R Removed and Recompact
 - BW Bottom of Wall Elevation

NOTES:
ALL FILL SHALL BE COMPACTED TO A MIN. OF 95%.

EARTHWORK QUANTITIES

- CUT: 350,550/27 = APPROX. 12,833 CY
- REMOVE/REPLACE RECOMPACT: 0 CY
- FILL: 3,214.86 CY
- PAVEMENT FROM SITE: 662.7 CY

* Detailed soil may expand, due to its non-compacted nature, after assembly.

NOTES:

- SUBGRADE INSPECTION: ALL PROCESSED GROUND TO RECEIVE FILL AND OVER-EXCAVATIONS SHOULD BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING ANY FILL. PLEASE REFER TO SOILS REPORT FOR ADDITIONAL REQUIREMENTS.
- SUBGRADE PREPARATION: SCARRY A MIN. OF 12" DEEP WITHIN THE AREA OF NEW CONSTRUCTION, MOISTEN AND RECOMPACT PER RECOMMENDATIONS IN SOILS REPORT.

SUSMP NOTES:

- Pre and post development, of pervious and impervious areas created by the proposed development, are as follows:

POST DEVELOPMENT	PRE DEVELOPMENT
Impervious Area: _____ Acres	Impervious Area: _____ Acres
Pervious Area: _____ Acres	Pervious Area: _____ Acres

- All structural BMPs shall be accessible for inspection and maintenance and shall bear a "No Dumping - Grates to Open" symbol to traffic road point per detail herein. Stencils are available at the local Building and Safety District office.
- Prior to commencement of any work within the road right of way and/or connection to a County maintained storm drain an encroachment permit from Construction is required. For more information call (826)458-3129.
- Prior to commencement of any work and/or discharge to a watercourse, a permit from both the California Department of Fish and Game and U.S. Army Corps of Engineers may be required.
- STATEMENTS OF IMPLEMENTATION**
As the Architect/Engineer of the project, I have reviewed the Department Planning for Storm Water Management - A Manual for the Standard Urban Stormwater Mitigation Plan (SUSMP), and have proposed the implementation of the permanent Best Management Practices (BMPs) applicable to effectively minimize the negative impacts of the project's stormwater runoff. The selected BMPs will be installed per the approved plans and as recommended by the product manufacturer as applicable.

Signature: _____ Architect/Engineer of Record Date: _____

NPDES Certification

As the project Owner/Developer, I certify that the following minimum requirements and/or Best Management Practices (BMPs) are effectively implemented at this(ese) construction site(s):

- Sediments generated on the project site shall be retained using adequate treatment control or structural control;
- Construction related materials, wastes, soils, or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters or adjacent properties by wind or runoff;
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
- Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading during rain events, planting and maintenance of vegetation on slopes, and covering erosion susceptible slopes.

I am aware that these BMPs if applicable, must be installed, monitored, and maintained to ensure their effectiveness. The BMPs not selected for implementation is considered redundant or deemed not applicable to the proposed construction activities.

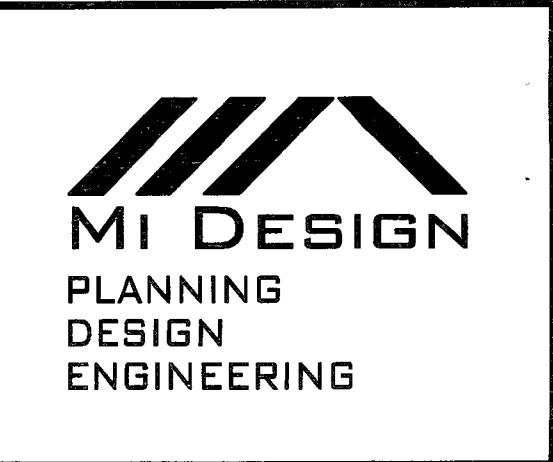
Construction Site Address: _____
County Assessor Parcel No.: _____
Building/Grading Permit No.: _____
Applicant/Developer: _____
Property Owner: _____
Contractor: _____
State Contractor License No.: _____ Date: _____
Signed: _____ Title: _____

National Pollutant Discharge Elimination System (NPDES) is the engine of the Clean Water Act that protects the receiving waters. The City Of Glendale as a Permittee to the NPDES Municipal Storm Water and Urban Runoff Discharges Permit issued by the RENDALE Regional Water Quality Control Board implements a program to control runoff from construction activity at all construction sites less than one acre within its jurisdiction.

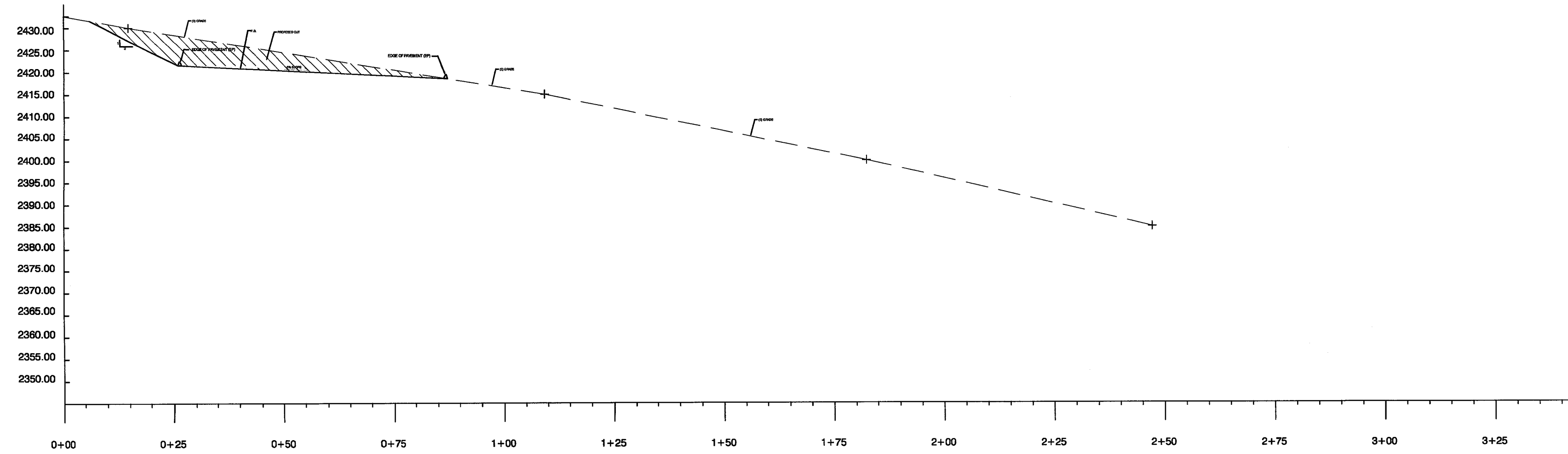
Best practice or BMP brochures that may be used to guide Owners and Developers to meet these requirements are available at the counter. For details and design criteria of these BMPs, you may refer to the California Stormwater BMP Construction Handbook, 1993, available only to permit applicants for \$15 at the Engineering counter in Room 204.

2430.00
2425.00
2420.00

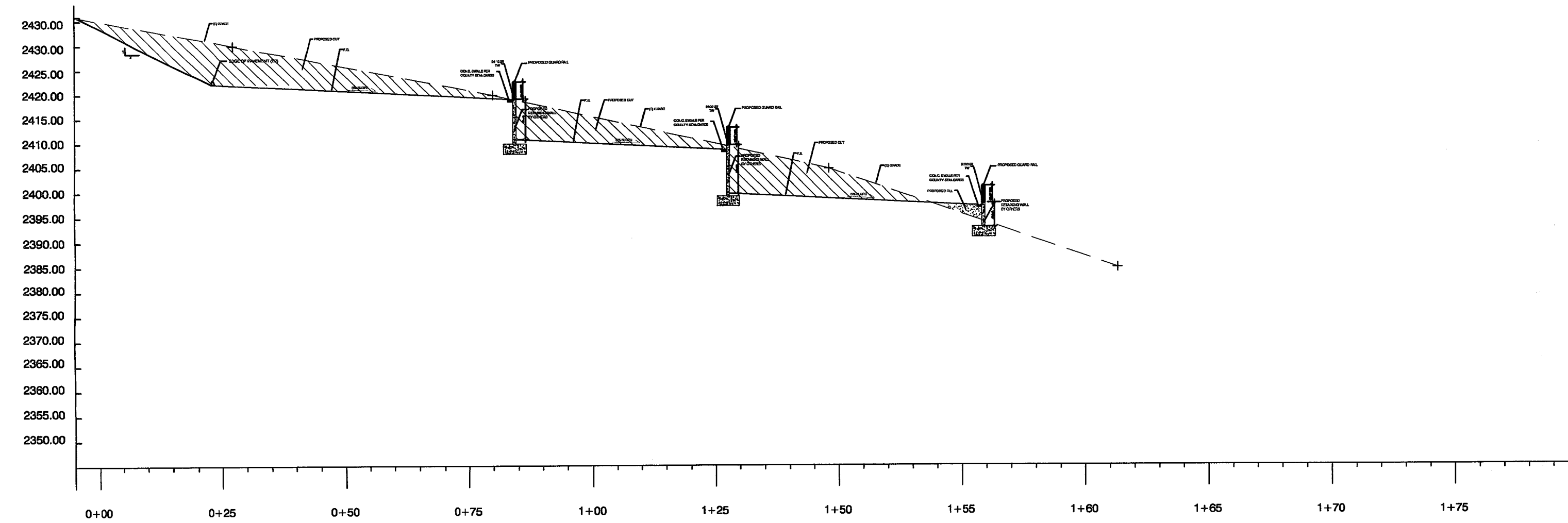
APPLICANT'S COPY



15445 VENTURA BLVD., SUITE 367
 SHERMAN OAKS, CA 91403
 TEL: (818) 402-4485
 FAX: (818) 479-9690
 www.midesigncorp.com



SECTION 4-4
 SCALE 1" = 10'-0"



SECTION 5-5
 SCALE 1" = 10'-0"

DATE:									
REVISIONS:									

SHEET CONTENTS:
CROSS SECTION
 SCALE: 1" = 10'-0"

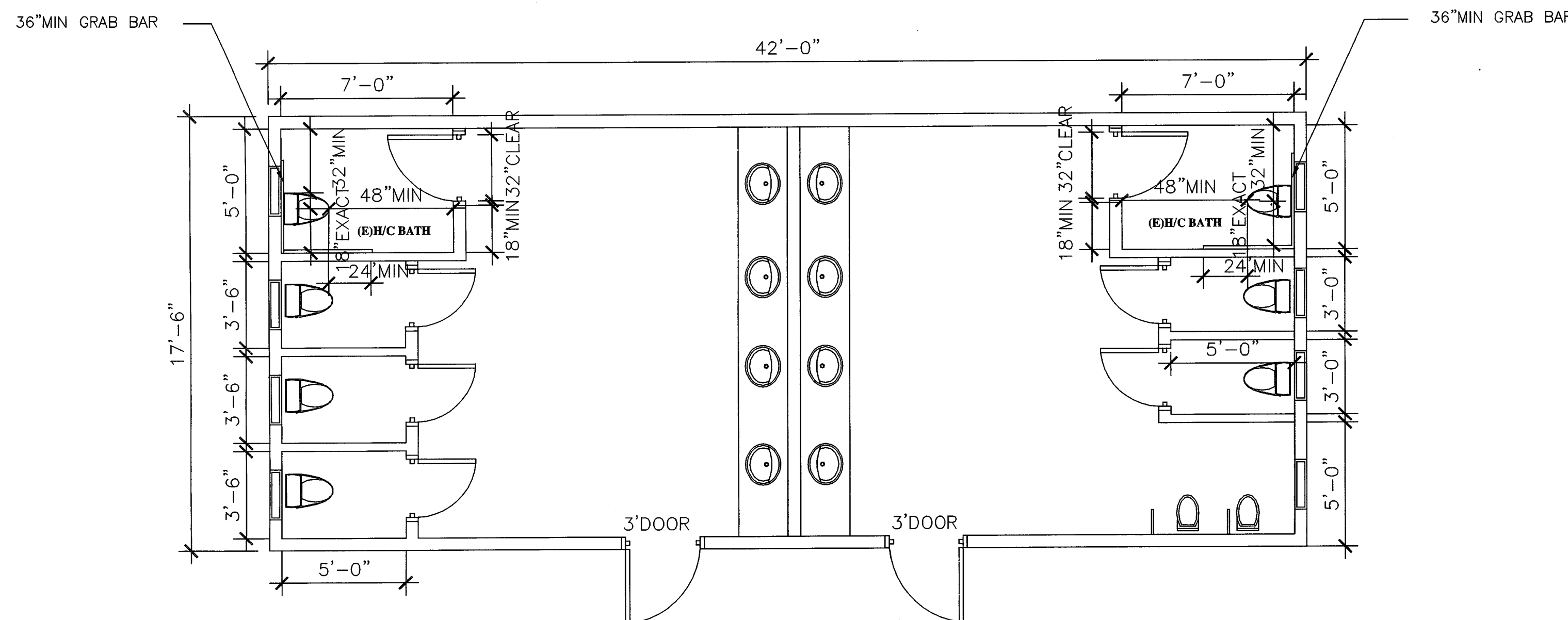


PROJECT NAME AND ADDRESS:
BEN AND REEF GARDENS
 32222 AGUA DULCE CYN. RD., ST. CLARITA, CA 91390

OWNER'S NAME & ADDRESS:
RONIT WAIZGEN
 32222 AGUA DULCE CYN. RD., ST. CLARITA, CA 91390

SHEET NUMBER:
C-2

APPLICANT'S COPY



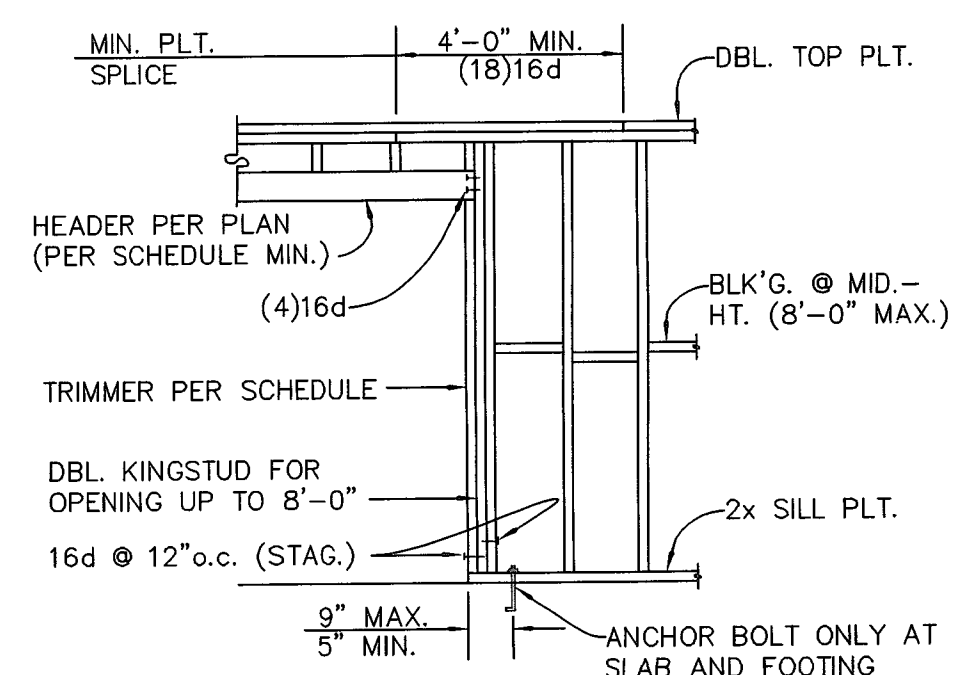
FLOOR PLAN BATHROOM 1

(E) WALL TO REMAIN

ALL EXISTING WINDOWS ARE 2'X 1'-6" SLIDERS
ALL EXISTING HEADERS TO REMAIN OR TO REPLACE WITH NEW 4X4 HEADERS

INTERIOR REMODELING OF EXISTING BATHROOMS:

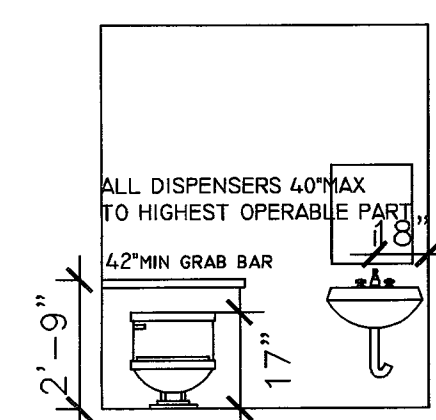
1. TO REPLACE ALL DOORS WITH THE SAME SIZE AND LOCATION.
2. TO REPLACE ALL EXISTING WINDOWS WITH THE SAME SIZE AND LOCATION. ALL EXTERIOR GLAZING SHALL BE MULTI-PANE UNITS WITH A MINIMUM ONE TEMPERED PANE, OR GLASS BLOCK UNITS OR MINIMUM 20-MIN RATED.
3. ALL DAMAGED STUDS TO BE REPLACED WITH NEW 2X4 STUDS, OR 2X6 STUDS FOR PLUMBING PURPOSES.
4. TO FIX THE DRYWALL AND REPAINT.



STUD WALL FRAMING

NOT TO SCALE

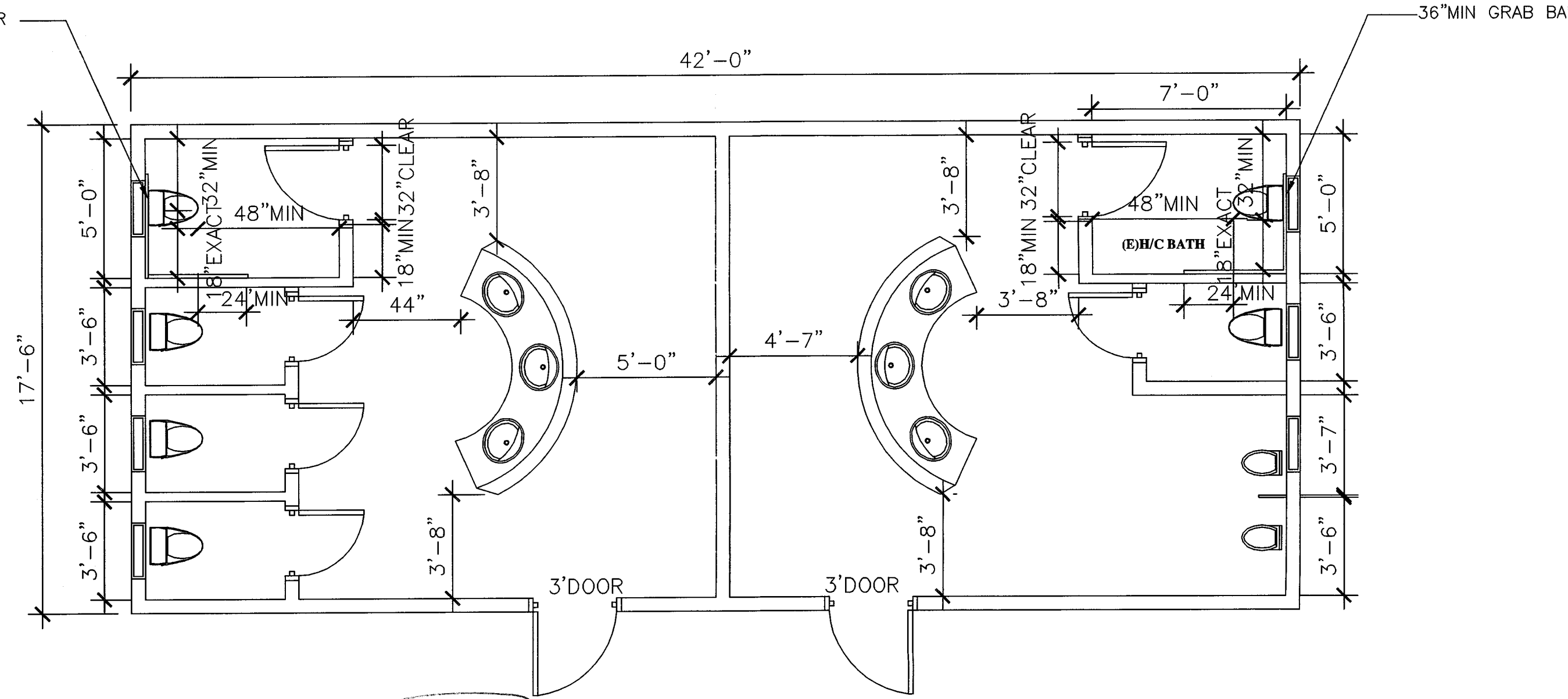
1



SIDE ELEVATION FOR H/C BATH

SANITARY FACILITIES NOTES:

1. GEOMETRIC (CIRCLE AND TRIANGLE) SYMBOLS ON SANITARY FACILITY DOORS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60" AND THEIR COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR.
2. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
3. CONTROLS FOR WATER CLOSET FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS.
4. THE FORCE REQUIRED TO ACTIVATE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS, AND FAUCET AND OPERATING MECHANISM CONTROLS, SHALL BE NO GREATER THAN 5LGF. ELECTRONIC OR AUTOMATIC FLUSHING CONTROLS ARE ACCEPTABLE AND PREFERABLE.
5. SELF-CLOSING FAUCET CONTROL VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
6. MIRROR'S SHALL BE MOUNTED WITH THE BOTTOM EDGE NO HIGHER THAN 40" FROM THE FLOOR.
7. TOILET TISSUE DISPENSERS SHALL BE LOCATED ON THE WALL WITHIN 12" OF THE FRONT EDGE OF THE TOILET SEAT AND NO LOWER THAN 19" FROM THE FLOOR.

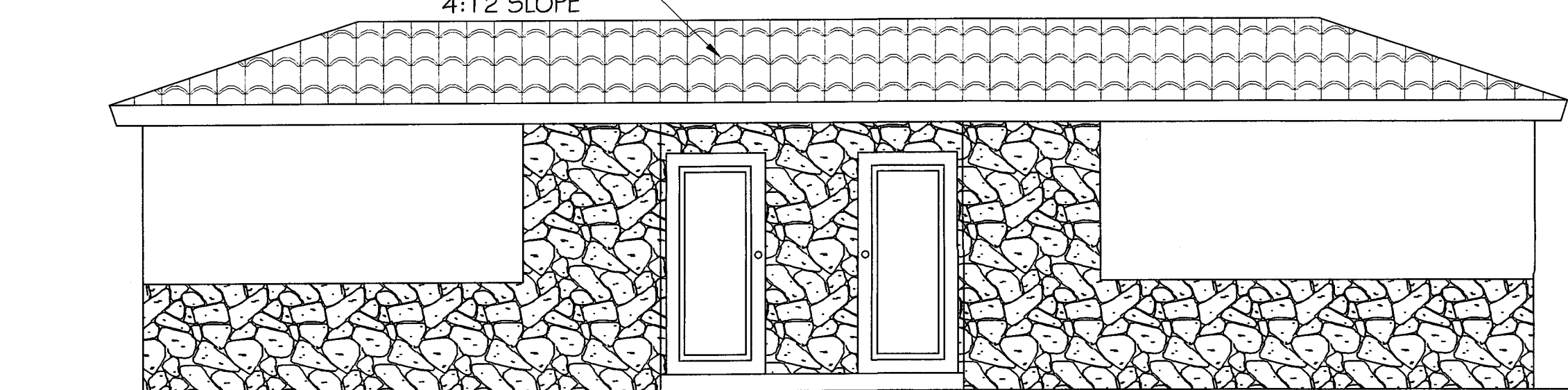


FLOOR PLAN BATHROOM 2

(E) WALL TO REMAIN

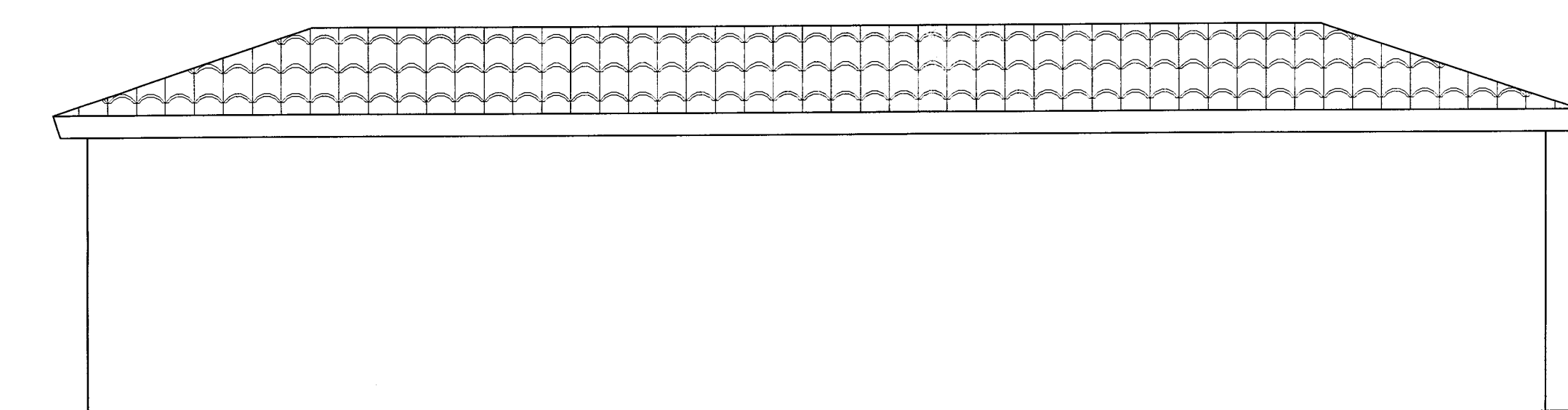
ALL EXISTING WINDOWS ARE 2'X2' SLIDERS
ALL EXISTING HEADERS TO REMAIN OR TO REPLACE WITH NEW 4X4 HEADERS

(E) TILE ROOF TO REPLACE
A FIRE RETARDANT ROOF COVERING IS REQUIRED.
4:12 SLOPE



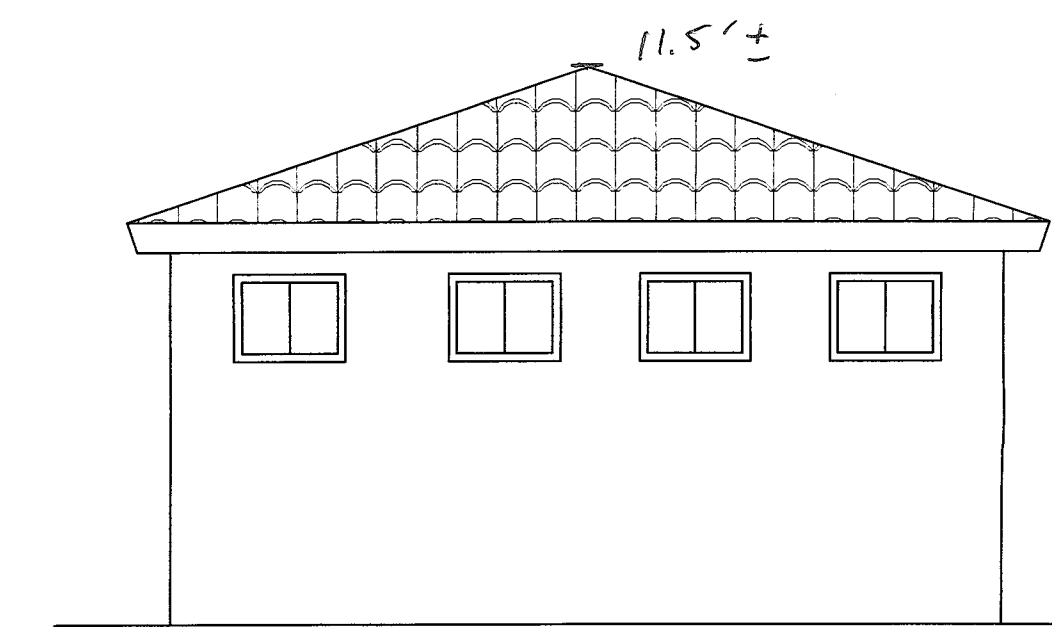
FRONT ELEVATION

SCALE 1/4"=1'-0"



BACK ELEVATION

SCALE 1/4"=1'-0"



SIDE ELEVATIONS

SCALE 1/4"=1'-0"

APPLICANT'S COPY

No.	Revision/Issue	Date

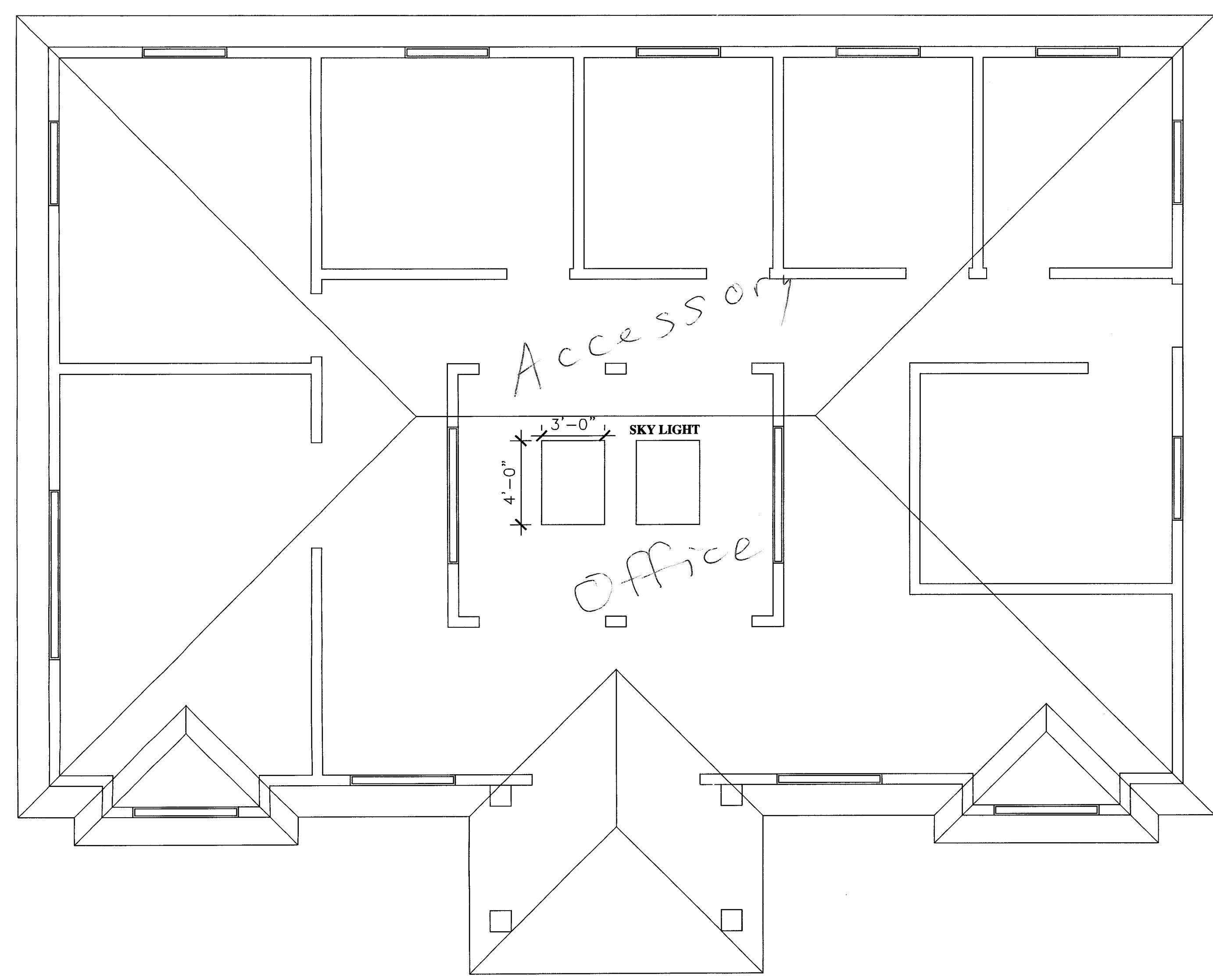
Project Name and Address
9607 HILDRETH AVE.
SOUTH GATE,
CA 90280

Drawn by MF
Checked by

Project 08-103	Sheet A0.0
Date 08/02/07	Scale 1/4"=1'-0"

D. DESIGN, INC.
 19562 VENTURA BLVD. #217
 TARZANA, CA 91356
 Ph. 818.344.4449
 Fax 818.344.4419

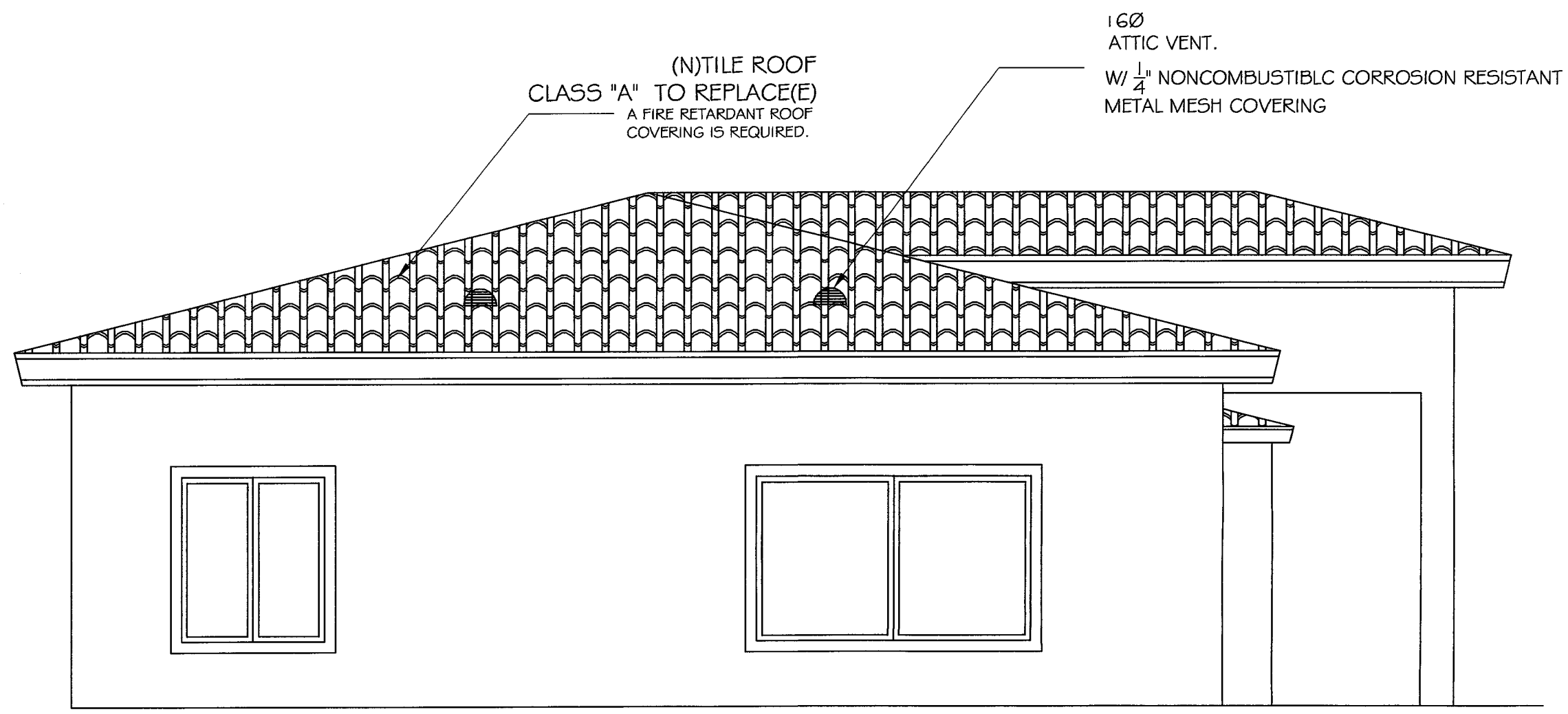
THIS DRAWING IS THE PROPERTY
 OF D.DESIGN AND SHALL NOT BE USED
 OR REPRODUCED WITHOUT WRITTEN
 CONSENT.



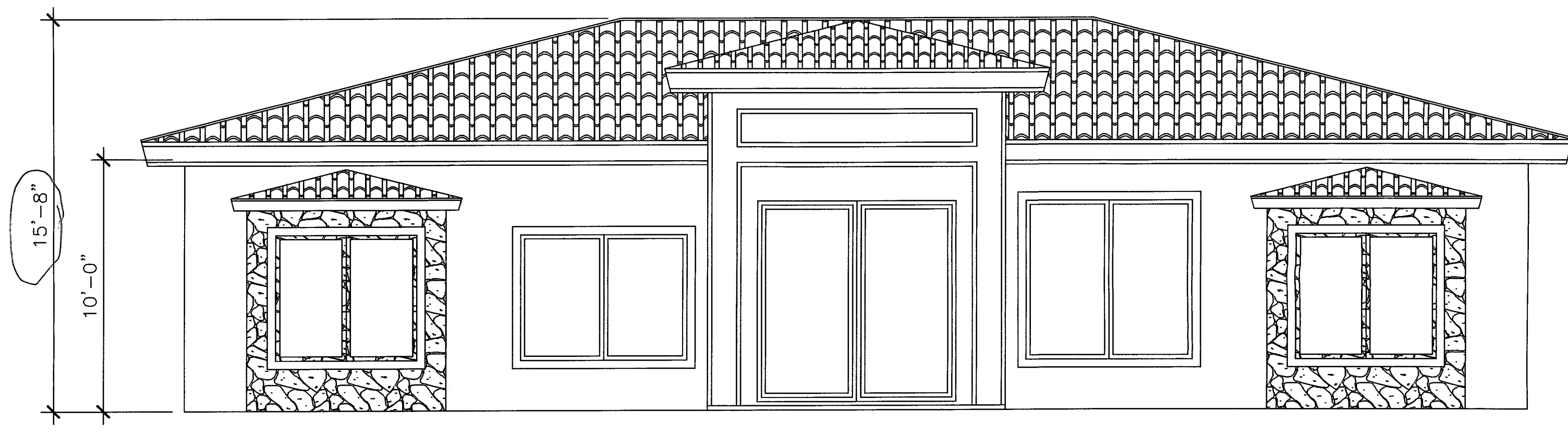
EXISTING ROOF PLAN

SCALE 1/4"=1'-0"

ALL DAMAGED LAMBER TO BE REPLACED
 ACCORDING STRUCTURAL PLANS
 PROVIDE R-13 INSULATION FOR ALL EXTERIOR
 WALLS AND R-30 INSULATION FOR THE CEILING.



SIDE ELEVATION



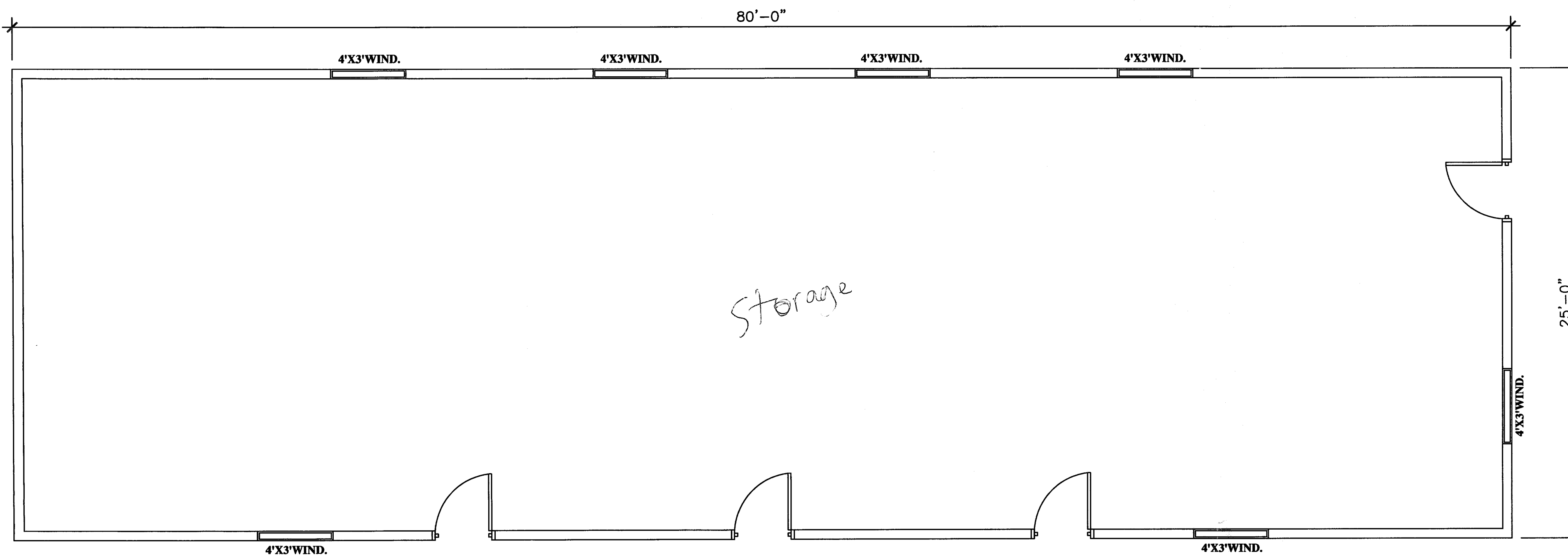
FRONT ELEVATION

No.	Revision/Issue	Date

Project Name and Address
 9607 HILDRETH AVE.
 SOUTH GATE,
 CA 90280

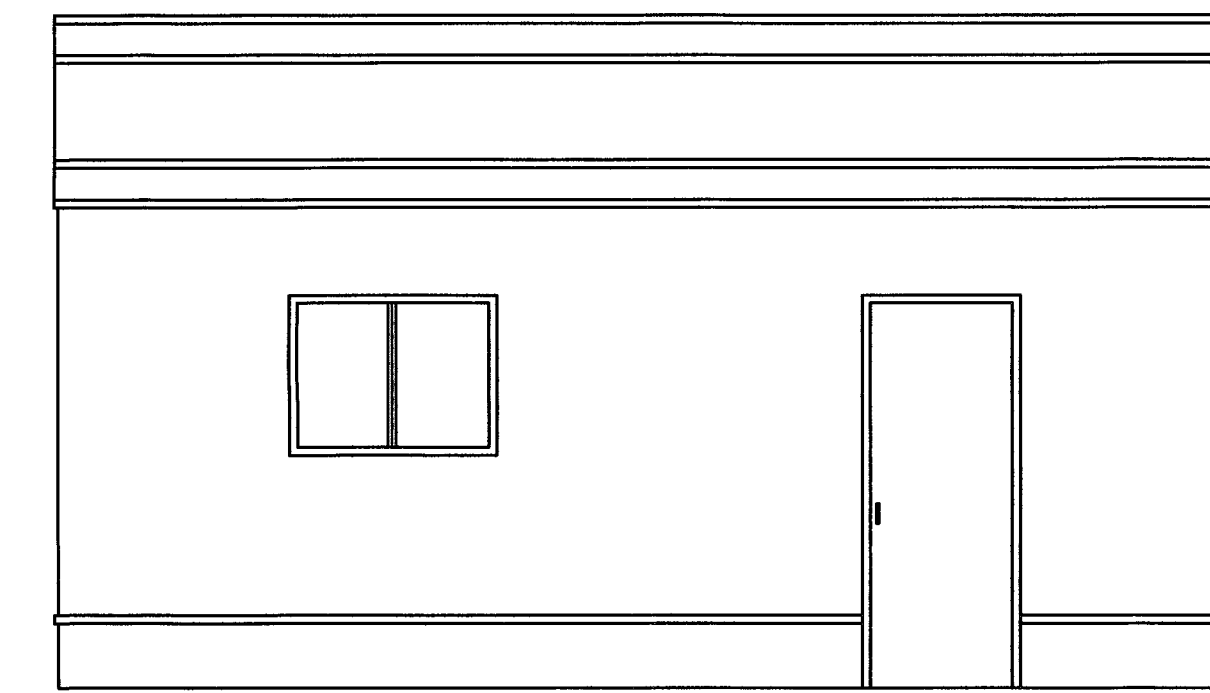
Drawn by MF
 Checked by

Project 08-103	Sheet A0.0
Date 08/02/07	
Scale 1/4"=1'-0"	

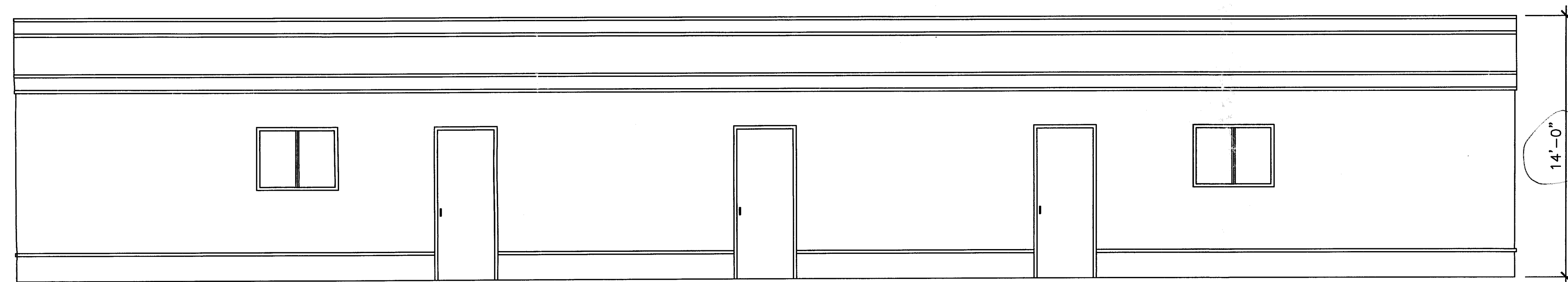


PROPOSED FLOOR PLAN

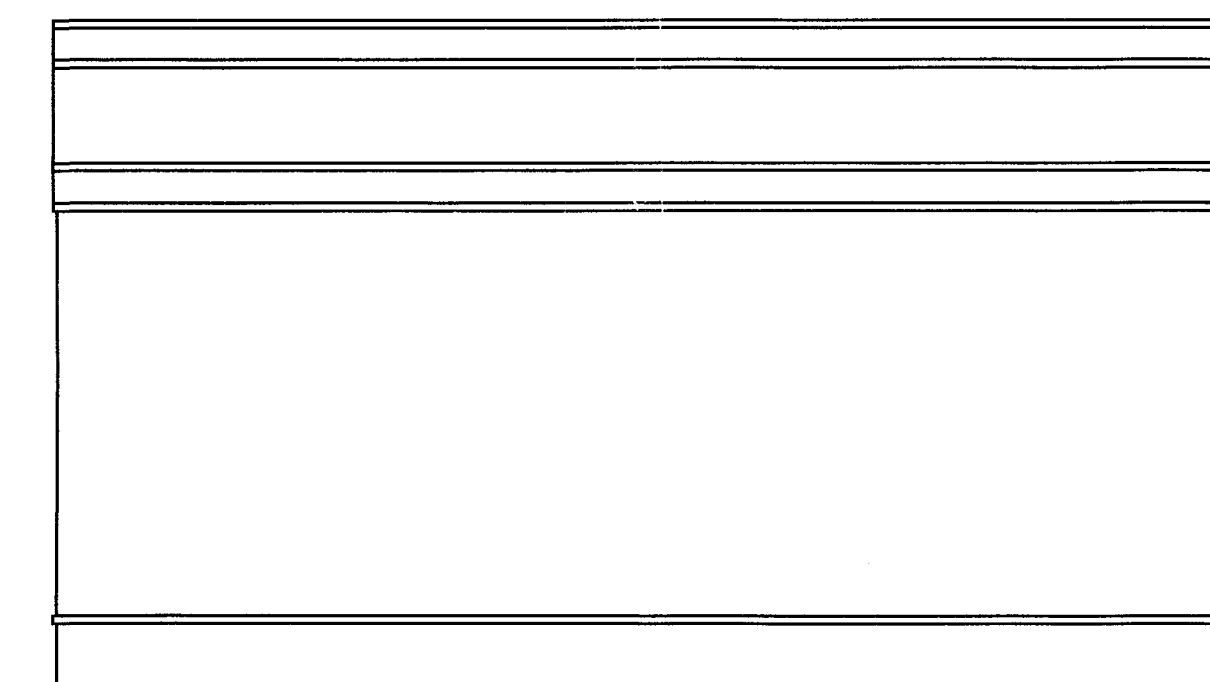
2,000 SQ. FT.



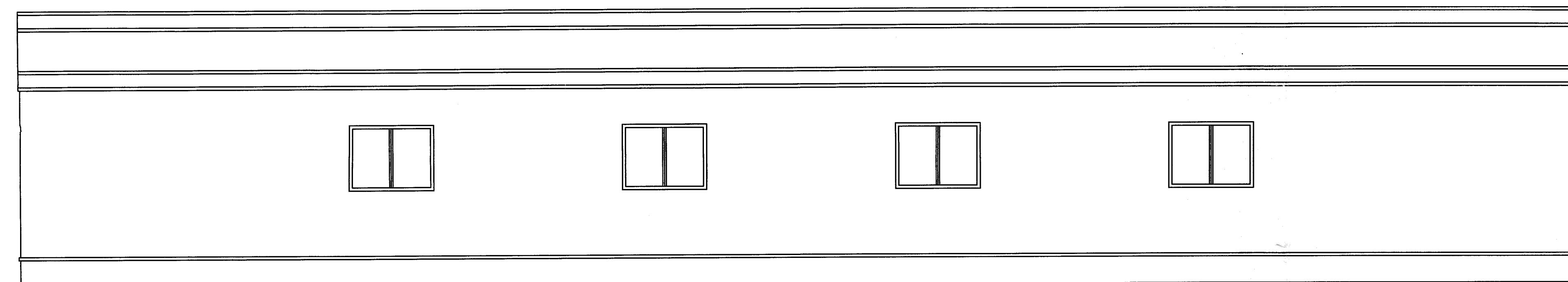
PROPOSED SIDE ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED BACK ELEVATION

DESIGN

D. DESIGN, INC.
19562 VENTURA BLVD. #217
TARZANA, CA 91356
Ph. 818.344.4449
Fax 818.344.4419

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OF D.DESIGN AND SHALL NOT BE USED
OR REPRODUCED WITHOUT WRITTEN
CONSENT.

No.	Revision/Issue	Date

32222
AQUA DOLCE CAN.
SANTA CLARITA,
CA 91390

Drawn by _____

Checked by _____

Project	Sheet
Date	
Scale	

APPLICANT'S COPY

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EXHIBIT 6

Document Date	Document Type	Description/Subject, to/from etc	Department	Name-Originator	Document #	Document date – Need to be able to sort by date/chronologically
1996	PO	Blueprint Of GOP - County Of Los Angeles	RP	RP	00061	
1996	PO	Blueprint Of GOP Property - RP	RP	RP	00337	Type of document
1996	PO	Blueprint Of GOP Property Zones - RP	RP	RP	00354	EM – email
10/27/1976	PO	Letter Regarding Property Expansion - Gary Bandy/Edgar T. Irvine	RP	Edgar T. Irvine	00073	SR – staff report
11/18/1976	PO	Blueprint Of Proposed Expansion; Exhibit "A" -	RP	RP	00093	PC – phone call
1/5/1994	Letter	Geotechnical Engineering Review Sheet; Parcel 23694 - Rossana D'Antonio	PW	Rossana D'Antonio	00358	EV – Event
2/23/1995	PO	Plat For Parcel Map 23694 "Exhibit A" - RP	RP	RP	00346	CS – call for service
2/28/1995	Letter	Grant Of Waiver and Certificate Of Compliance - RP	RP	RP	00361	PO - photos
3/22/1995	Letter	Grant Of Waiver and Certificate Of Compliance - RP	RP	RP	00341	
3/27/2008	SR	Articles Of Incorporation - Aliza Gross	BS	Aliza Gross	00086	Description/ Subject (summary, to/from subject etc)
5/23/2008	Deed	Deed - Steven L Borden/ Susan W. Borden/ Pamela Sue Fulton	Notary	Pamela Sue Fulton	00360	
8/8/2008	EM	GOP Sign Posted On Site Indicating Outdoor Weddings and Events are able to be Held at Site - Marie Powell/Leslie Cozby	PW	Leslie Cozby	00349	Department
8/11/2008	SR	Code Detailed Report EF083056 - Kerstin Schlegel	RP	Kerstin Schlegel	00427	RP – regional planning
10/15/2008	PO	Zones 3212007025/3212007026/3212007027/3212007028/3212008054/3212008051/3212004012/3212004011/3212008052/3212004013 - RP	RP	RP	00384	PW – Public works
11/5/2008	PO	PO GOP Property; Job PO Sheet - John McCarney	PW	John McCarney	00353	PH – Public Health
11/19/2008	SR	Authorization To Whom To Speak With Regarding GOP - Ronit Waizgen	GOP	Ronit Waizgen	00070	BS – Board of supervisors
11/19/2008	Letter	Ronit Waizgen Authorizes Shaul Yakovi and Erez Karni to Act on Behalf Of GOP - Ronit Waizgen	GOP	Ronit Waizgen	00355	SH – Sheriff
11/19/2008	PO	California Secretary of State GOP Corporate Filing - RP	RP	RP	00371	GOP – Gardens of Paradise
11/20/2008	PO	PO GOP Property - PH	PH	PH	00336	
11/20/2008	Letter	Ronit Waizgen Authorizes Shaul Yakovi and Erez Karni to Act on Behalf Of GOP - Ronit Waizgen	GOP	Ronit Waizgen	00338	Name – originator
11/20/2008	PO	PO Regarding Location Of Restrooms, Offices, Outdoor Dance Pavillion - RP	RP	RP	00359	
11/20/2008	Letter/PO	List Of Agency Approvals Before Obtaining Building Permits; Blueprint Of GOP Property - GOP/Leslie Cozby	PW	Leslie Cozby	00364	Document # 00001 – 09999 Place number on item as entering into excel
11/21/2008	EM	McCarney	PW	John McCarney	00335	
11/21/2008	EM	McCarney	PW	John McCarney	00352	
11/24/2008	EM	Forwarded EM From Complainant - Oscar Gomez	RP	Oscar Gomez	00421	
11/25/2008	SR	Code Detailed Report 3212007025 Unpermitted Tent - Zoning Enforcement	RP	RP	00347	
11/25/2008	SR	Code Detailed Report 3212007026 Unpermitted Offices and Restrooms - Zoning Enforcement	RP	RP	00348	
11/25/2008	EM	New Case Regarding Unpermitted Tent Structure; APN 3212-007-025 - Marlyn Reyes/Michael Nave	RP	Michael Nave	00350	
11/25/2008	CS	Request For Service EF084570 - Amir Bashar	RP	Amir Bashar	00391	
11/25/2008	EM	New Case ; APN 3212-007-026 ; Complaint Unpermitted Structures - Freyja Lee/Michael Nave	RP	Michael Nave	00424	
11/26/2008	SR	Regional Planning Inspection Sheet - RP	RP	RP	00342	
11/26/2008	SR	RP Inspection Sheet -RP	RP	RP	00362	
11/26/2008	EM	GOP Violation Regarding Graded Sides Of Stream and Filled Portion Of Lake - Michael Nave/Jeff Humble	RP	Jeff Humble	00419	
12/15/2008	Letter	Request Extension For Submitting Plans and Permits - Ronit Waizgen	GOP	Ronit Waizgen	00339	
12/15/2008	Letter	Request Extension For Submitting Plans and Permits - Ronit Waizgen	GOP	Ronit Waizgen	00356	
12/18/2008	SR	Notice Of Violation - Property Owner/Oscar Gomez	RP	Oscar Gomez	00075	
12/18/2008	Letter	Notice Of Violation Regarding Unpermitted Structure (Tent) - GOP/Oscar Gomez	RP	Oscar Gomez	00344	
12/18/2008	Letter	Notice Of Violation Regarding Unpermitted Structures (Offices and Restrooms) - GOP/Oscar Gomez	RP	Oscar Gomez	00345	
12/18/2008	Letter	Reconstruction, Snackshop, Junk, Mobile home - GOP/Oscar Gomez	RP	Oscar Gomez	00367	
12/18/2008	Letter	Notice Of Violation Regarding Unpermitted Tent Structure - GOP/Oscar Gomez	RP	Oscar Gomez	00368	
1/27/2009	EM	Update on GOP Filed Applications RPP 200900075, 200900080 - Michael Nave/Richard Claghorn	RP	Richard Claghorn	00423	
2/19/2009	EM	Points - Oscar Gomez/Jeff Humble	RP	Jeff Humble	00420	
4/29/2009	EM	Applicant Submit Copy Of Site Plan For PW - Richard Claghorn/Ruben Cruz	PW	Ruben Cruz	00425	
5/12/2009	SR	5/12/09 Meeting GOP Owners, RP, PW ; 6/16/09 Meeting Fire, PW - Oscar Gomez	RP	Oscar Gomez	00366	
5/12/2009	PO	Subject To Hydrology Test - RP	RP	RP	00370	
05/19/2009	PO	Blue Print Of GOP -	RP	RP	00074	
5/28/2009	SR	Official Inspection Report; 5/28/09, 6/9/09, 6/12/09, 6/15/09, 6/30/09, 8/18/09, 8/24/09, 8/18/12, 7/3/13 - PH	Fire Dept.	Fire Department	00304	

Document Date	Document Type	Description/Subject, to/from etc	Department	Name-Originator	Document #	Document date – Need to be able to sort by date/chronologically
5/28/2009	SR	Department	Fire Dept.	Fire Department	00340	
5/28/2009	SR	Department	Fire Dept.	Fire Department	00357	
6/15/2009	EM	Criminal Filing GOP; Notes from Conversation with AV's SH Station 6/7/09 - Oscar Gomez/Dave Perry	RP	Dave Perry	00351	
6/15/2009	EM	Notes From Conersation With SH Regarding Party At GOP on 6/7/09 - Oscar Gomez/Dave Perry	SH	Dave Perry	00422	
6/16/2009	PO	Screenshot Of GOP Website - GOP	RP	RP	00363	
7/28/2009	Letter	Advising LA County, PW Regarding Permits and Applications - PW/Ronit Waizgen	GOP	Ronit Waizgen	00365	
8/26/2009	SR	Waizgen/Robert E. Kalunian	BS	Robert E. Kalunian	00069	
8/26/2009	Letter	County Code Violations on GOP Property - Ronit Waizgen/Robert E. Kalunian	BS	Robert E. Kalunian	00343	
9/10/2009	SR	State Of California Secretary Of State Filing Fees and Disclosure E-816396- State Of California	California	California	00246	
9/10/2009	SR	State Of California Secretary Of State Filing Fees and Disclosure E-816396- State Of California	State Of Cali	State Of California	00300	
9/19/2009	SR	State Of California Secretary Of State Filing Fees and Disclosure E-816396- State Of California	California	California	00247	
3/17/2010	SR	Building and Safety / Land Development 3212-008-054 - PW	PW	PW	00383	
6/29/2010	SR	Job Status Sheet - Clarice Nash/John Mccarney/Leslie Cozby	County Of LA	County Of LA	00047	
8/19/2010	PO	APN - 3212 007 026 - Oscar Gomez	RP	Oscar Gomez	00369	
8/19/2010	SR	Inspection Sheet Single Standing Sign Observed Without RP Approval - Oscar Gomez	RP	Oscar Gomez	00387	
8/24/2010	PO	Plot Plan 2009900080 - RP	RP	RP	00390	
8/30/2010	SR	Enforcement	RP	RP	00372	
9/9/2010	SR	GOP Business Information - RP	RP	RP	00381	
9/13/2010	SR	Notice Of Violation Regarding Unapproved Freestanding Sign - GOP/Oscar Gomez	RP	Oscar Gomez	00389	
12/10/2010	EV	Enviromental Health Inspection - Richard Lavin	PH	Richard Lavin	00279	
12/14/2010	SR	Enviromental Health Referral - GOP/Teri Hachey	PH	Teri Hachey	00286	
3/23/2011	SR	Yakovi/Richard Lavin	PH	Richard Lavin	00280	
5/19/2011	SR	Notice of Building Code Violations - Property Owner/Hoa V. Quach	PW	Hoa V. Quach	00051	
5/19/2011	SR	Notice Of Building Code Violation - Ben and Reef Gardens Inc/Hoa V. Quach	PW	Hoa V. Quach	00076	
9/2/2011	EV	Drinking Water Inspection Report Addendum - Teri Hachey	PH	Teri Hachey	00285	
9/21/2011	EV	Drinking Water Site Official Inspection Report - GOP/PH	PH	PH	00284	
10/11/2011	Letter	Water Supply Permit Application Requirements Due By 1/10/12 - Shaul Yakovi/PH	PH	PH	00282	
11/16/2011	SR	Notice Of Violation and Compliance Order - Shaul Yakovi/Richard Lavin	PH	Richard Lavin	00281	
2/2012	SR	Show To Hearing; 1/12/14 Onsite Inspection; 1/13/14 Email Correspondance - Teri Hachey	PH	Teri Hachey	00274	
2/9/2012	SR	Public Health License/Permit Application - Teri Hachey	PH	Teri Hachey	00287	
2/19/2012	SR	Notice Of Violation GOP Water System 1900730 - Shaul Yakovi/Richard Lavin	PH	Richard Lavin	00278	
8/29/2012	PO	PO Tent Structure, Offices - RP	RP	RP	00378	
8/29/2012	PO	PO Inside Offices, Mobile Home,Restroom , Tent Structure - RP	RP	RP	00379	
8/29/2012	PO	PO Inside Offices, Mobile Home,Restroom , Tent Structure - RP	RP	RP	00412	
9/25/2012	SR	Code Detailed Report 3212007025 - Kerstin Schlegel	RP	Kerstin Schlegel	00410	
9/25/2012	EM	EM Regarding GOP Several Fire Code Issues - Oscar Gomez/Gerald Meehan	Fire Dept.	Gerald Meehan	00411	
9/25/2012	CS	CS EF084571 - Amir Bashar	RP	Amir Bashar	00415	
9/26/2012	SR	Inspection Sheet 847765 - RP	RP	RP	00413	
10/10/2012	PO	Copy Of Certified Mail and Recieved Receipt By Yakovi - GOP/RP	RP	RP	00385	
10/10/2012	PO	Copy Of Certified Mail and Recieved Receipt By Yakovi - GOP/RP	RP	RP	00386	
10/10/2012	Letter	Notice Of Violation Regarding Outdoor Dance Pavillion Tent EF084571 - GOP/Oscar Gomez	RP	Oscar Gomez	00414	
10/25/2012	EM	Confirmation EM Regarding Meeting on 11/8/12 at 2:00 pm - Amir Bashar/Oscar Gomez	RP	Oscar Gomez	00376	
11/5/2012	SR	Property Action Inquiry/Select ; B+S Application Header Update - RP	RP	RP	00382	
11/13/2012	EM	GOP Paving Materials - Mitch Miller/Richard Claghorn	RP	Richard Claghorn	00374	
11/15/2012	SR	Response To Letter 10/13/2012; Area Plan Update and Zone Change - Gregory S. Page/Richard Bruckner	RP	Richard Bruckner	00068	
11/15/2012	SR	Response To Proposed Zoning Designation For GOP - Gregory S. Page/Richard J.Bruckner	RP	Richard J. Bruckner	00088	
12/20/2012	EM	Confirmation EM Recieved Regarding Paving Materials - Oscar Gomez/Mark Herwick	RP	Mark Herwick	00375	
2/28/2013	EV	Hearing Notice 3/19/2013 at 10:00AM - GOP/PH	PH	PH	00276	
2/28/2013	SR	Notice Of Violation GOP Water System 1900730 - Shaul Yakovi/Richard Lavin	PH	Richard Lavin	00277	

Document Date	Document Type	Description/Subject, to/from etc	Department	Name-Originator	Document #	Document date – Need to be able to sort by date/chronologically
3/8/2013	CS	Service Request Application ; Production Wells - PH	PH	PH	00430	
5/6/2013	EM/PO	Glaser;Amir Bashar/Oscar Gomez	RP	Oscar Gomez	00373	
5/16/2013	PO	PO Handicap Parking Spaces -RP	RP	RP	00377	
6/13/2013	SR	Request For Review Materials - Shaul Yakovi, Erez Karni / Richard Claghorn	RP	Richard Claghorn	00001	
11/12/2013	SR	Sales Receipt GOP 3,500-4,000 Gallons of Water for Month Of 10/2013 - Richard Lavin	PH	Richard Lavin	00275	
12/12/2013	EV	Hearing Notice Regarding Drinking Water Program - Department Of Public Health	PH	PH	00216	
1/12/2014	EV	Routine Inspection Worksheet -	PH	PH	00213	
1/12/2014	SR	Drinking Water Official Sanitary Survey 1 OF 2 - Department Of Public Health	PH	PH	00214	
1/12/2014	SR	Drinking Water Official Sanitary Survey 2 OF 2 - Department Of Public Health	PH	PH	00215	
1/14/2014	SR	Notice Of Trustee's Sale Under Deed Of Trust - Bruce Beasley	BS	Bruce Beasley	00388	
11/25/2014	SR	Well Completion Report No 0962215 - Lundigan Drilling	State Of Cali	Lundigan Drilling	00432	
1/13/2015	EM	Veronica Petrosyan/Teri Hachey	PH	Teri Hachey	00220	
1/13/2015	EM	Veronica Petrosyan/Teri Hachey	PH	Teri Hachey	00268	
1/13/2015	EM	Hachey	PH	Teri Hachey	00269	
1/13/2015	EM	Inspection Report 2011 Missing File - Veronica Petrosyan/Teri Hachey	PH	Teri Hachey	00270	
1/13/2015	EM	Copies of Missing Inspection Report 2011 - Veronica Petrosyan/Teri Hachey	PH	Teri Hachey	00271	
1/13/2015	EM	Request For Missing Inspection Report 2011 -Lusi /Teri Hachey	PH	Teri Hachey	00272	
1/13/2015	EM	Question If GOP Well Permit Was Approved - Vincent Gallegos/Teri Hachey	PH	Teri Hachey	00273	
2/5/2015	SR	Well Completion Report No. 0962215; SR0042508 - Lundian Drilling	State Of Cali	Lundian Drilling	00223	
11/25/2015	SR	Code Detailed Report EF084570 Regarding Unpermitted Structure(s) Offices and Restrooms - Zoning Enforcement	RP	Amir Bashar	00426	
6/14/2016	EM	Due Date For Corrections Extended to 7/20/2016 - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00171	
7/19/2016	EM	Claghorn	RP	Richard Claghorn	00172	
8/2/2016	EM	Rescheduled Meeting for 8/10/2021 - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00173	
8/8/2016	SR	Entity Detail Status FTB Suspended - Alex Padilla	BS	Alex Padilla	00249	
8/8/2016	SR	State Of California Secretary Of State Filing Fees and Disclosure FF18430 - State Of California	State Of Cali	State Of California	00302	
8/11/2016	EM	8/10/14 Calls Regarding Incident Date 9/19/15 - Amir Bashar/Scott Short	SH	Scott Short	00458	
9/26/2016	EM	Ben and Reef Gardens Proof Of Permit - Oscar Gomez/Amir Bashar	RP	Amir Bashar	00030	
9/26/2016	EM	Board Office Receiving Complaints Regarding Ben and Reef Gardens - Scott Short/Amir Bashar	RP	Amir Bashar	00031	
11/23/2016	EM	5th District Inquiry - Nicole Barbarino/Amir Bashar	RP	Nicole Barbarino	00017	
5/24/2017	EM	Scheduled Appointment For 5/24/2017 at 1:00PM; Shaul Yakovi Did Not Attend - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00175	
6/21/2017	EM	Property For Sale; Fees To Be Paid Before Consultation Phase - Richard Claghorn/Todd Clark	RP	Todd Clark	00107	
6/27/2017	EM	Outstanding Permits, Noted Violations - Todd Clark/Robert Keilch,Richard Claghorn	PH	Robert Keilch	00003	
11/21/2017	EM	Yakovi/Richard Claghorn	RP	Richard Claghorn	00176	
11/21/2017	PO	PO Unauthorized Tent Structure - Kerstin Schlegel	RP	Kerstin Schlegel	00397	
11/21/2017	PO	Signage GOP Address - Kerstin Schlegel	RP	Kerstin Schlegel	00473	
1/11/2018	EM	Scheduled Inspection With Shaul Yakovi 1/17/18 at 1:30PM - Richard Claghorn/Kerstin Schlegel	RP	Kerstin Schlegel	00108	
1/17/2018	EM	Ben and Reef Gardens PP and PP Amendment; Confirming Meetup Time - Richard Claghorn/Amir Bashar	RP	Amir Bashar	00109	
1/17/2018	EM	Site Visit 1/17/2018; Reminder of Meeting on 1/25/2018; Fees That Need To Be Paid - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00177	
1/17/2018	PO	PO Unauthorized Tent Structure - Amir Bashar	RP	Amir Bashar	00393	
1/17/2018	PO	PO Junk, Trash, Debris;Trailer; Mobile Home - Amir Bashar	RP	Amir Bashar	00470	
1/25/2018	EM	Going To Be 10-15 Minutes Late To Meeting - Richard Claghorn/Shaul Yakovi	GOP	Shaul Yakovi	00178	
2/20/2018	EM	Fees Not Paid Within Week or Two From Meeting 1/25/2018; Deadline 2/28/2018 - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00179	
2/28/2018	EM	Fees Needed Prior To CUP Consultation; Fees Increase On 3/1/2018 - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00180	
10/16/2018	EM	Permit Regarding Agua Dulce Property - Tiele Hysni/Richard Claghorn	RP	Tiele Hysni	00004	
12/3/2018	EM	Initiate Denial Proceedings If GOP Fails To Pay CUP Consultation Fees By 2/4/2019 - Kerstin Schlegel/Richard Claghorn	RP	Richard Claghorn	00110	
12/3/2018	EM	Yakovi/Richard Claghorn	RP	Richard Claghorn	00181	
12/4/2018	PO	Signage GOpP Address; Trailer; Mobile Home; Junk, Trash, Debris ; Pool with Dirty Water - Kerstin Schlegel	RP	Kerstin Schlegel	00474	
2/6/2019	EM/PO	Richard Claghorn/Kerstin Schlegel	RP	Kerstin Schlegel	00111	
2/6/2019	EM	Final Notice Before Scheduled Denial if Payment Not Received By 5/6/2019 - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00182	

Document Date	Document Type	Description/Subject, to/from etc	Department	Name-Originator	Document #	Document date – Need to be able to sort by date/chronologically
3/27/2019	PO	PO GOP Signage; Vendor Delivering Water - Kerstin Schlegel	RP	Kerstin Schlegel	00395	
3/27/2019	PO	PO Junk, Trash, Debris , Mobile Home; Trailer; Pool with Dirty Water - Kerstin Schlegel	RP	Kerstin Schlegel	00472	
3/28/2019	EM	Request To Be Added To EM Communication - Kerstin Schlegel	RP	Kerstin Schlegel	00404	
4/2/2019	EM	Yakovi	GOP	Shaul Yakovi	00183	
4/4/2019	EM	Shaul Running Late For Meeting by 30 Minutes - Richard Claghorn/Shaul Yakovi	GOP	Shaul Yakovi	00184	
4/9/2019	EM	Working On Case - Anna Yang/Richard Claghorn	RP	Richard Claghorn	00112	
4/16/2019	EM	Accounting Section Informed Check Was No Good and Fees Need To Be Repaid - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00185	
7/9/2019	EM	Remove Hold From CUP 201200163 - Thu-Hong Nguyen/Richard Claghorn	RP	Richard Claghorn	00113	
8/14/2019	SR	Were Never Finalized - PH	PH	PH	00224	
8/14/2019	Letter	RCUP-201200163 Regarding Drinking Water - Vincent Gallegos	PH	Vincent Gallegos	00431	
9/19/2019	SC	Service Request Application - PH	PH	PH	00225	
12/17/2019	PO	Junk, Trash, Debris; Trailer; Mobile Home - Kerstin Schlegel	RP	Kerstin Schlegel	00475	
1/19/2020	EM	Request To Correct Attached GOP Paperwork - Peter Habib;Jesus Urrutia/Michelle Lecavalier	PH	Michelle Lecavalier	00329	
1/22/2020	EM	CUP Referral Fees Paid; Letter Sent 8/2019 & Did Not Hear Back - Kerstin Schlegel/Richard Claghorn	RP	Richard Claghorn	00114	
1/22/2020	EM	Yakovi/Richard Claghorn	RP	Richard Claghorn	00116	
1/22/2020	EM	DPH,DPW,Fire - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00186	
2/10/2020	EM/PC	Schlegel/Richard Claghorn	RP	Richard Claghorn	00115	
2/25/2020	PO	GOP Property - Kerstin Schlegel	RP	Kerstin Schlegel	00083	
2/25/2020	PO	PO Unauthorized Tent Structure - Kerstin Schlegel	RP	Kerstin Schlegel	00394	
3/2/2020	EM/PO	Schlegel/Richard Claghorn	RP	Richard Claghorn	00117	
3/2/2020	EM	After Speaking With Jon Sanabria - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00187	
4/25/2020	EV	6:30-12:30 ; 90 Guests - Jimenez	Jimenez	Jimenez	00502	
6/27/2020	EV	6:00-12:00 ; 200 Guests - Aguayo	Aguayo	Aguayo	00503	
7/4/2020	EV	6:00-12:00 ; 200 Guests - Vega	Vega	Vega	00504	
7/8/2020	EV	7:00-1:00 ; 70 Guests - Ghazanyan	Ghazanyan	Ghazanyan	00505	
7/24/2020	EV	6:00-11:00 ; 100 Guests - Brown	Brown	Brown	00506	
8/1/2020	EV	8:00-2:00 ; 200 Guests - Heknyan	Heknyan	Heknyan	00507	
8/7/2020	EV	Complaint Investigation Form CO0217700 - PH	PH	PH	00305	
8/13/2020	SR	Records Of Recieved Complaints Against GOP -	Resident	Resident	00201	
8/13/2020	SR	Records Of Recieved Complaints Against GOP -	Resident	Resident	00202	
8/14/2020	EV	7:00-1:00 ; 200 Guests - Mankikian	Mankikian	Mankikian	00508	
8/15/2020	EV	8:00-2:00 ; 80 Guests - Babakhanyan	Babakhanyan	Babakhanyan	00509	
8/20/2020	SR	Official Inspection Report Complaint - PH	PH	PH	00321	
8/21/2020	EV	7:30-1:30 ; 180 Guests - Amir	Amir	Amir	00510	
8/22/2020	EV	6:30-12:30 ; 200 Guests - Avanejyan	Avanejyan	Avanejyan	00511	
8/25/2020	EV	Complaint Investigation Form CO021656- PH	PH	PH	00306	
8/25/2020	SR	Complainants Comments - PH	PH	PH	00437	
8/26/2020	EM	Requested Update On GOP Status Due to Large Events and Noise Complaints - Oscar Gomez/Natalie Vartanian	BS	Natalie Vartanian	00400	
8/26/2020	PO	Screenshot Of GOP Contact Page -	RP	RP	00401	
8/26/2020	PO	Screenshot Of GOP Corporate Events Page -	RP	RP	00402	
8/26/2020	PO	Screenshot Of GOP Information About Venues Page -	RP	RP	00407	
8/26/2020	PO	Screenshot Of GOP Wedding & Private Parties Page -	RP	RP	00408	
8/26/20	PO	Screenshot Of GOP Wedding & Special Events Venue Page -	RP	RP	00409	
8/27/2020	SR	Envision Connect Comments -	RP	RP	00204	
8/27/2020	EV	Complaint Investigation Form CO0222254 - PH	PH	PH	00307	
8/27/2020	EV	Complaint Investigation Form CO0223157 - PH	PH	PH	00309	
8/27/2020	SR	Envision Connect Comments - PH	PH	PH	00433	
8/27/2020	SR	Envision Connect Comments - PH	PH	PH	00434	
8/28/2020	EV	7:00-1:00 ; 70 Guests - Sarkissian	Sarkissian	Sarkissian	00512	

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8/29/2020	EV	7:00-1:00 ; 150 Guests - Mandujano	Mandujano	Mandujano	00513	
8/30/2020	EV	6:00-1:00 ; 170 Guests - Saado	Saado	Saado	00514	
8/31/2020	EV	Complaint Investigation Form CO0222788 - PH	PH	PH	00308	
9/2/2020	EM/PO	RP Follow Up To Complaint Regarding GOP - Oscar Gomez/Evenor Masis;Robert Vasquez	PW/RP	Oscar Gomez	00014	
9/2/2020	PO	PO GOP Signage; Unauthorized Tent Structure - Kerstin Schlegel	RP	Kerstin Schlegel	00396	
9/2/2020	EM	Bashar/Oscar Gomez	RP	Oscar Gomez	00403	
9/2/2020	EM	Availability 9/8 11am-4pm ; 9/9 8am-5pm; 9/10 9am-5pm - Oscar Gomez/Richard Claghorn	RP	Richard Claghorn	00468	
9/3/2020	EM	RP Adding To List Of Complaints Regarding GOP - Oscar Gomez/Natalie Vartanian	RP	Natalie Vartanian	00015	
9/3/2020	EV	Complaint Investigation Form CO0223643 - PH	PH	PH	00310	
9/3/2020	EM	Added To List Of Constituent Complaints Regarding GOP - Oscar Gomez/Natalie Vartanian	PH	Natalie Vartanian	00463	
9/5/2020	EV	7:00-2:00 ; 200 Guests - Chilgevarhyan	Chilgevarhyan	Chilgevarhyan	00515	
9/9/2020	EM	Attached Correction Letter and Documents - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00188	
9/9/2020	EM/SR	and If Gotten Permits,Approvals,Clearance For Project - Shayne Lamont/Richard Claghorn	PH	Richard Claghorn	00200	
9/9/2020	SR	Request For Review Materials R2012-02971 - Shaul Yakovi;Erez Karni/RP	RP	RP	00226	
9/9/2020	EM/Letter	PH Letter Regarding R2012-02971; Follow-Up if Applicant Has Contacted PH - Shayne Lamont/Richard Claghorn	RP	Richard Claghorn	00239	
9/9/2020	EM/Letter	Project - Vincent Gallegos/Shayne Lamont	PH	Shayne Lamont	00240	
9/9/2020	EM/Letter	Analysis Was Conducted - Shayne Lamont/Vincent Gallegos	PH	Vincent Gallegos	00241	
9/9/2020	SR	Request For Review Materials R2012-02971 - GOP/Amy Bodek	RP	Amy Bodek	00429	
9/9/2020	EM	Requested Information if GOP Contacted PH Regarding CUP 201200163 - Shayne Lamont/Richard Claghorn	RP	Richard Claghorn	00439	
9/9/2020	EM	Noborio	PH	Denise Noborio	00440	
9/9/2020	EM	Request If GOP Has Gotten Permits/Approvals/Clearance For Project R2012-02971 -Vincent Gallegos/Shayne Lamont	PH	Shayne Lamont	00442	
9/9/2020	EM	Gallegos;Nick Brakband;Denise Noborio/Lusi Mkhitarian	PH	Lusi Mkhitarian	00445	
9/9/2020	EM	Richard Claghorn/Shayne Lamont	PH	Shayne Lamont	00446	
9/9/2020	EM	Replied EM Saying Thank You #00442 - Lusi Mkhitarian/Richard Claghorn	RP	Richard Claghorn	00447	
9/9/2020	EM	Property Not Near Event Facility, No Open Plan Check Service Requests - Shayne Lamont/Nick Brakband	PH	Nick Brakband	00448	
9/9/2020	EM	Requested Information From #00442 No New Plans or Permits - Shayne Lamont/Vincent Gallegos	PH	Vincent Gallegos	00449	
9/9/2020	EM	#00448	PH	Nick Brakband	00454	
9/12/2020	EV	Complaint Investigation Form CO0225721 - PH	PH	PH	00311	
9/12/2020	EV	7:00-1:00 ; 300 Guests - Mesropyan	Mesropyan	Mesropyan	00516	
9/13/2020	EV	5:00-11:00 ; 170 Guests - Secharia	Secharia	Secharia	00517	
9/15/2020	EM/PO	RP Inquiring About GOP Preparing For Event - Oscar Gomez/Natalie Vartanian; Kerstin Schlegel	RP/PH	Natalie Vartanian	00018	
9/15/2020	EM	9/12/20 - Kerstin Schlegel/ Orlando Martinez	SH	Orlando Martinez	00406	
9/16/2020	EM	RP Responding To Complaint Regarding GOP - Kerstin Schlegel	RP/PW	Resident	00019	
9/17/2020	EM	Complaint Regarding GOP - Kerstin Schlegel/Resident	PW	Resident	00020	
9/17/2020	EM/PO	RP Follow Up For Solution to Document 00018 - Kerstin Schlegel/Michelle Lecavalier	RP/PH	Kerstin Schlegel	00021	
9/17/2020	SR	Entity Detail; Registration - California Secretary of State	RP	RP	00063	
9/17/2020	EM	Incident History Report Forwarded - Kerstin Schlegel/Orlando Martinez	SH	Orlando Martinez	00459	
9/17/2020	EM	For Gathering and PO/Video - Orlando Martinez/Kerstin Schlegel	RP	Kerstin Schlegel	00460	
9/17/2020	EM	Unpermitted Special Event Facility Conducting Events - Jon Sanabria/Oscar Gomez	RP	Oscar Gomez	00461	
9/17/2020	EM	Invitation for Michelle Lecavalier to Join Meeting - Oscar Gomez/Kerstin Schlegel	RP	Kerstin Schlegel	00462	
9/17/2020	EV	6:00-12:00 ; 150 Guests - Vardumyan	Vardumyan	Vardumyan	00518	
9/18/2020	EM	Email Regarding GOP Hosting An Event - Kerstin Schlegel	PW/RP	Resident	00022	
9/18/2020	EV	6:30-12:30 ; 250 Guests - Sahakyan	Sahakyan	Sahakyan	00519	
9/19/2020	EV	6:30-12:30 ; 220 Guests - Grigorian	Grigorian	Grigorian	00520	
9/20/2020	EV	Citations Notice to Appear; AC142411, AC143431, AC395318, AC397584 - SH	SH	SH	00295	
9/21/2020	EM	Coordination To Send Team Out To GOP - Kerstin Schlegel/Michelle Lecavalier;Oscar Gomez	RP	Kerstin Schlegel	00023	
9/21/2020	EM	Forwarded Email Regarding Correction Letter - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00118	
9/22/2020	EM/PO	Information Regarding Event At GOP To PW - Benjamin Mock/Kerstin Schlegel	PW	Kerstin Schlegel	00024	
9/22/2020	EM	Jon Sanabria/Oscar Gomez	RP	Oscar Gomez	00464	

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9/23/2020	EM	Contact Information For Enviromental Health - Kerstin Schlegel	RP	Kerstin Schlegel	00025	
9/24/2020	EM	Coordination To Have Enviromental Health And RP Communication - Chief Swiatek/Sandy Song	PH/RP	Sandy Song	00026	
9/24/2020	EM	Update On GOP Hosting Event On 9/25/2020 - Orlando Martinez/Kerstin Schlegel	SH/RP	Orlando Martinez	00027	
9/24/2020	EM/PO	Norsworthy/Kerstin Schlegel	RP	Kerstin Schlegel	00465	
9/25/2020	EM	Update On GOP Hosting; Cars Entering GOP At 4:45pm - Orlando Martinez/Kerstin Schlegel	SH	Kerstin Schlegel	00028	
9/25/2020	EM	Complaint Investigation Information - Mark Como;Chief Swiatek/Michelle Lecavalier	PH	Michelle Lecavalier	00029	
9/25/2020	EM	Enviromental Health Complaint Investigation at GOP - RP/Michelle Lecavalier	RP	Michelle Lecavalier	00095	
9/25/2020	SR	Summary Property Information Report - RP	RP	RP	00248	
9/25/20	EM	Lecavalier	PH	Michelle Lecavalier	00255	
9/25/2020	EM	Habib/Michelle Lecavalier	PH	Natalie Vartanian	00466	
9/25/2020	EV	6:00-1:00 ; 150 Guests - Ajdagaryan	Ajdagaryan	Ajdagaryan	00521	
9/26/2020	EM	Request Copies of Citation/Reports - Oscar Gomez/Orlando Martinez	SH	Orlando Martinez	00032	
9/26/2020	EM/PO	Complaint Regarding GOP - Oscar Gomez/Resident	PW	Resident	00033	
9/26/2020	SR	Department	Fire Dept.	Fire Department	00077	
9/26/2020	SR	Being Granted - GOP/Sandra Aralos	Site Rep	Sandra Aralos	00250	
9/26/2020	SR	10/31/20, (4) 11/7/20 - PH	PH	PH	00322	
9/26/2020	EV	7:00-1:00 ; 200 Guests - Arteaga	Arteaga	Arteaga	00522	
9/27/2020	EM	Complaint Regarding GOP Hosting Event - Kerstin Schlegel/Resident	PW	Resident	00034	
9/27/2020	EV	Incident Report; Noice Violation - SH	SH	SH	00290	
9/27/2020	EV	7:00-1:00 ; 150 Guests - Mkrtchyan	Mkrtchyan	Mkrtchyan	00523	
9/28/2020	EM	Praise For RP Helping The Community - Oscar Gomez/Resident	PW	Resident	00035	
9/28/2020	EM	Update To County To Ensure Compliance With County Codes - Kerstin Schlegel/Oscar Gomez	RP	Oscar Gomez	00036	
9/28/2020	EM	Complaint Regarding GOP; GOP Issued Citations By SH, Fire Department, and PH - Anish Saraiya/Oscar Gomez	PW	Oscar Gomez	00037	
9/28/2020	EM/SR	Request For Review Materials 9/9/2020; Update On CUP Response - Richard Claghorn/Oscar Gomez	RP	Oscar Gomez	00038	
9/28/2020	EM	Regarding SH Sending Deputies To GOP - Kerstin Schlegel/Oscar Gomez	RP	Oscar Gomez	00039	
9/28/2020	EM	Oscar Gomez/Richard Claghorn	RP	Richard Claghorn	00119	
9/28/2020	EM	Forwarded EM Regarding Noise Complaints - Kerstin Schlegel/Zoning Department	RP	Kerstin Schlegel	00398	
9/28/2020	EM	Forwarded EM Regarding Noise Complaints - Kerstin Schlegel/Zoning Department	RP	Kerstin Schlegel	00399	
9/28/2020	PO	Screenshot GOP Facebook Page; Hours "Always Open" - RP	RP	RP	00405	
9/28/2020	EM	Response To #00439 ; No New Plans or Permits Submitted - Shayne Lamont/Vincent Gallegos	PH	Vincent Gallegos	00441	
9/28/2020	EM	#00442 Requested Any Information - Isabella Kwok/Vincent Gallegos	PH	Vincent Gallegos	00450	
9/28/2020	EM	EM - Isabella Kwok/Vincent Gallegos	PH	Vincent Gallegos	00451	
9/28/2020	EM	Fire and Health Visited GOP on 9/26/20 - Jon Sanabria/Oscar Gomez	RP	Oscar Gomez	00467	
9/29/2020	EM	Complaint Regarding GOP - Kerstin Schlegel/Resident	PW	Resident	00040	
9/29/2020	EM	Inquiry About NAT Meeting - Amir Bashar/Kerstin Schlegel	RP	Kerstin Schlegel	00041	
9/29/2020	EM	But None Recieved - Shaul Yakovi/Richard Claghorn	GOP	Shaul Yakovi	00120	
9/29/2020	EM	Management Topics; GOP - Oscar Gomez/Jon Sanabria	RP	Jon Sanabria	00469	
9/30/2020	EM	Joint Inspection 10/3/2020 - Steve Swiatek/Kerstin Schlegel ;Michelle Lecavelier/Steve Swiatek	RP	Michelle Lecavalier	00042	
9/30/2020	EM/SR	Schlegel/Steve Swiatek	RP	Steve Swiatek	00043	
9/30/2020	EM	Enforcement Cases; Unpermitted Events With Loud Music - Jason Ortiz/Kerstin Schlegel	RP	Kerstin Schlegel	00091	
9/30/2020	SR	Code Detailed Report(RPCE2020003774); Case Type Zoning Enforcement - Kerstin Schlegel	RP	Kerstin Schlegel	00101	
9/30/2020	SR	Code Detailed Report (RPCE2020003775); Case Type Zoning Enforcement - Kerstin Schlegel	RP	Kerstin Schlegel	00106	
9/30/2020	EM	Requesting a PC - Richard Claghorn/Shaul Yakovi	GOP	Shaul Yakovi	00189	
9/30/2020	EM	Attached FD Citation - Belle Chen/Michelle Lecavalier	PH	Michelle Lecavalier	00254	
10/1/2020	EM/PC	Email Regarding PC Requesting Site Plan Approval - Richard Claghorn/Kerstin Schlegel	RP	Kerstin Schlegel	00044	
10/1/2020	SR	Cease and Desist Notice - GOP/Tracy Swann	BS	Tracy Swann	00065	
10/1/2020	EM	Kerstin Schlegel/Richard Claghorn	RP	Richard Claghorn	00121	
10/1/2020	EM	GOP CUP; Fowarded Email and Attachments from 9/9/2020 To Shaul - Richard Claghorn/Kerstin Schlegel	RP	Kerstin Schlegel	00122	
10/1/2020	EM	GOP Recieved Cease and Desist Order From Steven J. Swiatek - Joseph Youman/Richard Claghorn	RP	Joseph Youman	00124	

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10/1/2020	EM	Cease and Desist Notice - GOP/Tracy Swann	BS	Tracy Swann	00259	
10/1/2020	EV	Incident Report; Noice Violation - SH	SH	SH	00291	
10/1/2020	EM	Cease and Desist Notice - GOP/Tracy Swann	BS	Tracy Swann	00298	
10/1/2020	EM	Cease and Desist Notice Regarding Hosting Parties,Events,Weddings,and Gatherings - GOP/Teri Hachey	PH	Teri Hachey	00438	
10/1/2020	EM	Attached Letter Regarding Request For Review Materials R2012-02971 - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00443	
10/1/2020	EV	7:00-1:00 ; 200 Guests - Yelena	Yelena	Yelena	00524	
10/2/2020	EM	Attached Letter Dated 9/9/20 Regarding Project - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00123	
10/2/2020	EV	Joint Inspection at GOP on 10/3/20 - Mark Como/Michelle Lecavalier	PH	Michelle Lecavalier	00219	
10/2/2020	EM	Joint Inspection at GOP on 10/3/20; Confirmation for LAFD, RP, Building and Safety - Mark Como/Michelle Lecavalier	PH	Michelle Lecavalier	00253	
10/2/2020	EV	Incident Report; Noice Violation - SH	SH	SH	00292	
10/3/2020	PO	PO of GOP; Subject Properties from Neighboring Property During Ongoing Event - Kerstin Schlegel	RP	Kerstin Schlegel	00059	
10/3/2020	PO	GOP Property; Signage For Event; Vendors/Cars Entering Property - Kerstin Schlegel	RP	Kerstin Schlegel	00084	
10/3/2020	SR	Drinking Water Inspection Report - Teri Hachey	PH	Teri Hachey	00263	
10/3/2020	EV	Incident Report; Noice Violation - SH	SH	SH	00292	
10/3/2020	EV	6:00-1:00 ; 120 Guests - Tahmazian	Tahmazian	Tahmazian	00525	
10/5/2020	EM	Requested Meeting Regarding GOP - Mitch Glaser/Richard Claghorn	RP	Richard Claghorn	00125	
10/5/2020	EM	Claghorn/Shaul Yakovi	GOP	Shaul Yakovi	00190	
10/6/2020	EM/PC	Claghorn	RP	Richard Claghorn	00126	
10/7/2020	EM	Know ASAP Due to a Emergency In Solving Things - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00191	
10/8/2020	SR/PO	Notice Of Violation - Property Owner/Amy J. Bodek	RP	Amy J. Bodek	00057	
10/8/2020	SR	Notice Of Violation - GOP; Erez Karni/Oscar Gomez	RP	Oscar Gomez	00082	
10/8/2020	SR	Affidavit Regarding Attached GOP Order Of Events Document - Teri Hachey	PH	Teri Hachey	00262	
10/9/2020	EV	7:00-1:00 ; 135 Guests - Avetisyan	Avetisyan	Avetisyan	00526	
10/10/2020	EV	6:00-12:00 ; 80 Guests - Diaz	Diaz	Diaz	00527	
10/11/2020	EV	Incident Report; Noice Violation - SH	SH	SH	00293	
10/11/2020	EV	7:00-1:00 ; 180 Guests - Maleech	Maleech	Maleech	00528	
10/13/2020	EM	Order - Tracy Swann/Steve Kaplan	Attorney	Steve Kaplan	00127	
10/13/2020	EV	Incident History Report; 8/1/20, 8/15/20, 8/21/20, 8/22/20, 8/29/20, 8/30/20, 8/30/20, 8/31/20, 8/31/20 - SH	SH	SH	00294	
10/13/2020	EV	Incident History Report; (4) 10/1/20, (4) 10/3/20, 10/9/20, 10/10/20, 10/11/20 - SH	SH	SH	00296	
10/13/2020	EV	SH	SH	SH	00297	
10/14/2020	PO	Overhead PO; Floodway;Significant Ecological Area - RP	RP	RP	00098	
10/14/2020	EM	Forwarded Email Regarding #00123 - Mitch Glaser/Richard Claghorn	RP	Richard Claghorn	00128	
10/14/2020	EV	Complaint Invstigation Form CO0232206 - PH	PH	PH	00312	
10/14/2020	EV	Complaint Investigation Form CO0232529 - PH	PH	PH	00313	
10/14/2020	EV	6:00-12:00 ; 250 Guests - Turgeman	Turgeman	Turgeman	00529	
10/15/2020	EM	Requested Deadline Extension Approved For 11/12/2020 - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00192	
10/15/2020	SR	Affidavit is Made in Support of the County's Request for Inspection Warrant - Teri Hachey	PH	Teri Hachey	00261	
10/15/2020	EV	6:00-12:00 ; 250 Guests - Biton	Biton	Biton	00530	
10/16/2020	EM	Complaint Regarding GOP Forwarded to Michelle Lecavalier - Bonnie Tonoco/James Culver	PH	James Culver	00301	
10/16/2020	EV	8:00-2:00 ; 100 Guests - Sowakhian	Sowakhian	Sowakhian	00531	
10/17/2020	EV	Complaint Investigation Form CO0232894 - PH	PH	PH	00314	
10/18/2020	EM	Anything Above" - Michelle Lecavalier/Peter Habib	PH	Peter Habib	00327	
10/19/2020	EM	Meeting Regarding Inspection Warrant For GOP - Tracy Swann/Stephanie English	BS	Stephanie English	00256	
10/19/2020	EV	Inspection Warrant Meeting for GOP Information 10/21/20 at 8:30AM - Stephanie English/Tracy Swann	BS	Tracy Swann	00257	
10/20/20	SR	Los Angeles County Fire Department Objectives and Areas to Inspect - Los Angeles Fire Department	Fire Dept.	Fire Department	00221	
10/20/2020	EM	Change in Protective Services for GOP Operations - Steve Swiatek/Kerstin Schlegel	RP	Kerstin Schlegel	00245	
10/20/2020	EM	Confirmation of Inspection Warrant Meeting #00257 - Teri Hachey/Michelle Lecavalier	PH	Michelle Lecavalier	00258	
10/20/2020	EM/PO	Anything Above" - Michelle Lecavalier/Peter Habib	PH	Peter Habib	00324	
10/21/2020	PO	Parcel Profile Report; Photos/Maps Of GOP Property - County Of Los Angeles	County Of LA	County Of LA	00252	

Document Date	Document Type	Description/Subject, to/from etc	Department	Name-Originator	Document #	Document date – Need to be able to sort by date/chronologically
10/22/2020	SR	Health Officer Order; Temporary Closure of a Public Site - GOP/PH	PH	PH	00067	
10/22/2020	EV	6:30-12:30 ; 150 Guests - Levi	Levi	Levi	00532	
10/23/2020	EV	Superior Court of The State of California - GOP/PH	PH	Benjamin Mock	00299	
10/23/2020	EV	8:00-2:00 ; 200 Guests - Mkrtohyan	Mkrtohyan	Mkrtohyan	00533	
10/24/2020	EV	3:00-5:00 ; 30 Guests - Kaacson	Kaacson	Kaacson	00534	
10/24/2020	EV	7:00-2:00 ; 200 Guests - Youssefi	Youssefi	Youssefi	00535	
10/25/2020	EV	7:00-1:00 ; 180 Guests - Ghukasyan	Ghukasyan	Ghukasyan	00536	
10/26/2020	EM	Hachey/Michelle Lecavalier	PH	Michelle Lecavalier	00264	
10/26/2020	EM/PO	Attached Inspection Warrant at GOP ; 10/27/20 Onsite 9:38-11:30 - Teri Hachey/Michelle Lecavalier	PH	Michelle Lecavalier	00428	
10/27/2020	SR	Notice of Building Code Violations - Property Owner/Dawn Melillo	PW	Dawn Melillo	00050	
10/27/2020	PO	GOP Property; RCD Dance Floor Truck; Chair Setup - Kerstin Schlegel	RP	Kerstin Schlegel	00085	
10/27/2020	EV	Area,Equipped Well Behind Tent,Booster Pumps and Filter Systems, Crew Breaking Down Tables and Dance Floor	PH	Teri Hachey	00265	
10/27/2020	EV	Inspection Warrant Return - GOP/Teri Hachey	PH	Teri Hachey	00266	
10/27/2020	PO	Inspection Warrant PO - Teri Hachey	PH	Teri Hachey	00267	
10/28/2020	EM	Materials Requested - Richard Claghorn/Steve Kaplan	Attorney	Steve Kaplan	00193	
10/28/2020	PO	Inspection Of Online Messages - Department Of Public Health	PH	PH	00203	
10/28/2020	PO	Official Photograph Screenshot Online Message - PH	PH	PH	00436	
10/29/2020	EV	11:00-1:00 ; 150 Guests - Sarusi	Sarusi	Sarusi	00537	
10/31/2020	SR	Offical Inspection Report; (2) 10/31/20 - PH	PH	PH	00323	
10/31/2020	EV	6:30-12:30 ; 100 Guests - Danielyan	Danielyan	Danielyan	00538	
11/1/2020	EV	6:30-12:30 ; 170 Guests - Davishian	Davishian	Davishian	00539	
11/6/2020	EV	7:30-1:30 ; 200 Guests - Boghossian	Boghossian	Boghossian	00540	
11/7/2020	EM	From 5 Miles Away at 2:30AM - Oscar Gomez/Resident	Resident	Resident	00212	
11/7/2020	EV	8:00-2:00 ; 200 Guests - Kababchian	Kababchian	Kababchian	00541	
11/8/2020	EV	Complaint Investigation Form CO0237337 - PH	PH	PH	00315	
11/8/2020	EV	4:00-11:00 ; 170 Guests - Samaan	Samaan	Samaan	00542	
11/9/2020	PO	Official Photograph By Complainant ; Junk and Salvage Debris - PH	PH	PH	00435	
11/13/2020	EV	7:00-1:00 ; 172 Guests - Vertanous	Vertanous	Vertanous	00543	
11/14/2020	EV	7:00-1:00 ; 200 Guests - Zakkour	Zakkour	Zakkour	00544	
11/15/2020	EV	6:30-12:30 ; 150 Guests - Manookian	Manookian	Manookian	00545	
11/17/2020	EV	Complaint Investigation Form CO0239475 - PH	PH	PH	00316	
11/17/20	EM	Citations of GOP 11/7/20 - Michelle Lecavalier/Scott Abbott	PH	Scott Abbott	00331	
11/18/2020	PO	Parked Trailer Home; Trash, Junk, and Debris on Property - Kerstin Schlegel	RP	Kerstin Schlegel	00103	
11/18/2020	SR	Code Detailed Report (RPCE2020004612); Case Type Zoning Enforcement - Kerstin Schlegel	RP	Kerstin Schlegel	00105	
11/20/2020	EV	6:30-12:30 ; 139 Guests - Ishoo	Ishoo	Ishoo	00546	
11/21/2020	EV	4:30-10:30 ; 200 Guests - Hindy	Hindy	Hindy	00547	
11/23/2020	SR	Response To Notice Of Appeal Of Violation - James Culver/Mainak D' Attaray	GOP	Mainak D' Attaray	00055	
11/23/2020	EM	Appeal Of Violations; Official Inspection Report Peter Habib - James Culver/Melanie Simon	Attorney	Melanie Simon	00205	
11/23/2020	EM	Forwarded Email #00205 - Scott Abbott/Michelle LeCavalier	PH	Michelle Lecavalier	00207	
11/23/2020	EM	Simon/James Culver	PH	James Culver	00210	
11/23/2020	EV	Complaint Investigation Form CO0241398 - PH	PH	PH	00317	
11/23/2020	EM	Notice To Appeal Of Violation Regarding Official Inspection Report Dated 11/7/20 - James Culver/Mainak D' Attaray	Attorney	Mainak D'Attaray	00330	
11/23/2020	EM	Assigned Complaint CO0237337 - Michelle Lecavalier/James Culver	PH	James Culver	00332	
11/23/2020	EM	Assigned Complaint CO0239475 - Michelle Lecavalier/James Culver	PH	James Culver	00333	
11/24/2020	EM/PO	Attached Photos From County Of LA Department of Public Health - Michelle Lecavalier/Teri Hachey	PH	Teri Hachey	00217	
11/26/2020	EV	6:30-12:30 ; 85 Guests - Rosen	Rosen	Rosen	00548	
11/27/2020	EV	Complaint Investigation Form CO0242617 - PH	PH	PH	00318	
11/27/2020	EV	7:30-1:30 ; 160 Guests - Torosian	Torosian	Torosian	00549	
11/28/2020	EV	7:00-1:00 ; 170 Guests - Minasian	Minasian	Minasian	00550	

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12/5/2020	EV	Complaint Investigation Form CO0245646 - PH	PH	PH	00319	
12/8/2020	EM	Request to Open Enforcement Case To Complaint - Marlyn Reyes/Kerstin Schlegel	RP	Kerstin Schlegel	00102	
12/10/2020	SR/PO	Final Zoning Enforcement Order; Certified Mail Reciept - GOP; Erez Karni/Oscar Gomez	RP	Oscar Gomez	00081	
12/16/2020	EM	Subject Complaint Assigned To EC - Michelle LeCavalier/James Culver	PH	James Culver	00211	
12/17/2020	SR/PO	Final Zoning Enforcement Order; Certified Mail Reciept - GOP; Erez Karni/Oscar Gomez	RP	Oscar Gomez	00080	
12/18/2020	EV	Order Granting Motion For a Preliminary Injunction - County Of Los Angeles v. Ben And Reef Gardens	BS	County Of LA	00066	
12/19/2020	Letter	Order Granting Motion For a Preliminary Injunction - County Of Los Angeles v. Ben And Reef Gardens	County Of LA	County Of LA	00209	
12/19/2020	SR	Order Granting Motion For a Preliminary Injunction - County Of Los Angeles v. Ben And Reef Gardens	County Of LA	County Of LA	00218	
1/6/2021	EM	Schedule Appeal Hearing For Permit Revocation - Arvinder Khokhar/Scott Abbott	PH	Scott Abbott	00206	
1/10/2021	EV	7:00-1:00 ; 200 Guests - Ohebshalom	Ohebshalom	Ohebshalom	00551	
1/11/2021	EV	Complaint Investigation Form CO0260723 - PH	PH	PH	00320	
1/12/2021	EM	Nuesca	Fire Dept.	Jason Nuesca	00129	
1/17/2021	EV	6:00-12:00 ; 80 Guests - Shamtov	Shamtov	Shamtov	00552	
1/19/2021	SR	Administrative Hearing Regarding Permit Suspension 2/25/2021 - Mainak D' Attaray/Grace Shin	PH	Grace Shin	00052	
1/19/2021	SR	Administrative Hearing Regarding Permit Suspension 2/25/2021 - Mainak D' Attaray/Grace Shin	PH	Grace Shin	00053	
1/19/2021	SR	Envelope Certified Mail - Mainak D' Attaray/Department of Public Health	PH	PH	00054	
1/19/2021	EM	Attached Administrative Appeal Hearing Scheduling Letter Dated For 2/25/2021 - Arvinder Khokhar	PH	Arvinder Khokhar	00328	
1/26/2021	EM	Comprehensive Business Report - Arvinder Khokhar/Christopher Mastro	PH	Christopher Mastro	00303	
1/27/2021	EM	Response To PC;Voicemail Regarding Code Enforcement Case No. RPCE202003774 - Kerstin Schlegel/Steve Kaplan	Attorney	Steve Kaplan	00094	
1/28/2021	PO	GOP; PO Final Zoning Enforcement Order - Kersten Schlegel	RP	Kerstin Schlegel	00079	
1/28/2021	SR	Final Zoning Enforcement Order - Ronit Waizgan;GOP/Oscar Gomez	RP	Oscar Gomez	00092	
1/29/2021	EM	Attached Administrative Appeal Hearing Scheduling Letter Dated For 2/25/2021 - Arvinder Khokhar	PH	Arvinder Khokhar	00208	
2/4/2021	EM	Denial To Process CUP with Active Violations; Unauthorized To Hold Events - GOP/Richard Claghorn	RP	Richard Claghorn	00096	
2/4/2021	EM	One-Stop Counseling For Project Link And Required Submittal of Zoning Permits - Steve Kaplan/Richard Claghorn	RP	Richard Claghorn	00194	
2/4/2021	EM	CUP Application - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00195	
2/5/2021	EM	Khokhar	PH	Arvinder Khokhar	00325	
2/9/2021	EM	Como/Jason Rowsey	PH	Jason Rowsey	00326	
2/11/2021	EM	Follow-Up From Email #00096; Schedule Meeting with GOP and County Departments - GOP/Richard Claghorn	RP	Richard Claghorn	00097	
2/15/2021	EV	4:30-10:30 ; 150 Guests - Mahpari	Mahpari	Mahpari	00553	
2/16/2021	EM	Description and Site Plan - Richard Claghorn/Steve Kaplan	Attorney	Steve Kaplan	00196	
2/17/2021	EM	Claghorn/Steve Kaplan	Attorney	Steve Kaplan	00197	
2/25/2021	Letter	Final Zoning Enforcement Order Appeal ; Case No RPCE2020003774 ; Certified Mail Reciept - RP	RP	Oscar Gomez	00418	
2/25/2021	PO	PO Junk, Trash, Debris; Trailer; Mobile Home; Pool; Offices;Restrooms Covered Motor Vehicle - Kerstin Schlegel	RP	Kerstin Schlegel	00471	
3/3/2021	SR/PO	Transaction History Report; Deed -	RP	RP	00062	
3/4/2021	EM/PO	Notice Of Appeal - Mainak D' Attaray/Kerstin Schlegel	RP	Kerstin Schlegel	00058	
3/4/2021	EM	D'Attaray/Kerstin Schlegel	RP	Kerstin Schlegel	00417	
3/5/2021	EV	6:00-1:00 ; 145 Guests - Tantanyan	Tantanyan	Tantanyan	00554	
3/8/2021	PO	Incident History - PW	PW	PW	00078	
3/9/2021	PO	Property Expired Data - BSUPD	PH	BSUPD	00049	
3/10/2021	SR	Job Status Sheet - John Mccarney/System Administrator/Lusine Aivazian/Dawn Melillo	County Of LA	County Of LA	00048	
3/10/2021	EM	Claghorn	RP	Richard Claghorn	00198	
3/11/2021	PO	GOP Facebook/Instagram/Website Page Screenshots - Kerstin Schlegel	RP	Kerstin Schlegel	00064	
3/11/2021	PO	Parcel Profile Report; Photos/Maps Of GOP Property - County Of Los Angeles	RP	County Of LA	00071	
3/11/2021	EM	Claghorn/Oscar Gomez	RP	Oscar Gomez	00130	
3/15/2021	SR	Appeal Of Final Zoning Enforcement Order - Oscar Gomez;John Sanabria	RP	Oscar Gomez	00056	
3/15/2021	EM	Gomez	RP	Oscar Gomez	00131	
3/17/2021	EM	Requested Update On Scheduling Meeting To Review GOP CUP Processing Status - Richard Claghorn/Steve Kaplan	Attorney	Steve Kaplan	00199	
3/18/2021	EM	Database For Review Found - Shayne Lamont/Richard Claghorn	RP	Richard Claghorn	00132	
3/18/2021	EM	Sent Out Certified Letter to Shaul Yakovi and Attorney Steve Kaplan - Richard Claghorn/ Edward Rojas	RP	Edward Rojas	00133	

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3/18/2021	EM	Joseph Youman/Richard Claghorn	RP	Richard Claghorn	00134	
3/18/2021	EM	Certified Letters Have Gone Out - HelpDesk Team/Richard Claghorn	RP	Richard Claghorn	00135	
3/18/2021	EM	#917199999170366855317 - Richard Claghorn/Edward Rojas	RP	Edward Rojas	00136	
3/18/2021	EM	Steve Kaplan/Richard Claghorn	RP	Richard Claghorn	00227	
3/18/2021	EM	Shayne Lamont/Richard Claghorn	RP	Richard Claghorn	00452	
3/18/2021	EM	Claghorn/Vincent Gallegos	PH	Vincent Gallegos	00453	
3/22/2021	PO	Picometry Of GOP Property Zones -	RP	RP	00060	
3/22/2021	EM	Gomez	RP	Oscar Gomez	00137	
3/22/2021	EM	Gomez	RP	Oscar Gomez	00138	
3/22/2021	EM	Attached Files For GOP; Records Of Drinking Water Program - Lusi Mkhitarayan/Teri Hachey	PH	Teri Hachey	00242	
3/22/2021	EM	Hirschtick	PH	Gary Hirschtick	00243	
3/22/2021	EM	any Information - Juan Padilla;Shayne Lamont;Aracely Lasso/Samuel Dea	RP	Samuel Dea	00444	
3/24/2021	CS	Invoice Previous ZE Order Noncompliance - Ronit Waizgen/RP	RP	RP	00089	
3/24/2021	CS	Invoice Previous ZE Order Noncompliance - Ronit Waizgen/RP	RP	RP	00090	
3/24/2021	EM	and Both Are Not Cleared - Samuel Dea/Toan Duong	PW	Toan Duong	00139	
3/31/2021	EM	Padilla	Fire Dept.	Juan Padilla	00140	
3/31/2021	EM	No Active Reviews For Project In System - Samuel Dea/Shayne Lamont	PH	Shayne Lamont	00455	
3/31/2021	EM	Confirmation if Active Reviews For Fire - Juan Padilla/Samuel Dea	RP	Samuel Dea	00456	
3/31/2021	EM	No Active Reviews For Project In System - Samuel Dea/Shayne Lamont	PH	Shayne Lamont	00457	
4/1/2021	EM	Claghorn	RP	Richard Claghorn	00141	
4/1/2021	EM	Claghorn	RP	Richard Claghorn	00142	
4/3/2021	EV	4:00-10:00 ; 65 Guests - Stevens	Stevens	Stevens	00556	
4/11/2021	EV	6:30-12:30 ; 56 Guests - Vardanyan	Vardanyan	Vardanyan	00555	
4/19/2021	EM	Supplemental Hearing Package For R202-02971 Posted - Mitch Glaser/Richard Claghorn	RP	Richard Claghorn	00143	
4/20/2021	EM	Richard Claghorn/Steve Kaplan	Attorney	Steve Kaplan	00144	
4/20/2021	EM	Updated Application For RCUP-201200163 - Richard Claghorn/Stephen Lamm	PW	Stephen Lamm	00145	
4/20/2021	EM	Kaplan/Richard Claghorn	RP	Richard Claghorn	00228	
4/20/2021	EM	GOP CUP Application for an Event Center Denied - Kathryn Barger Leibrich/Stephanie English	BS	Stephanie English	00476	
4/21/2021	SR	Final Zoning Enforcement Order Appeal ; Case No RPCE2020003774 - RP	RP	RP	00416	
4/23/2021	EV	6:00-12:00 ; 160 Guests - Babakhanian	Babakhanian	Babakhanian	00557	
5/1/2021	EV/SH	Incident Report; Noice Violation - SH	SH	SH	00100	
5/1/2021	EV	7:00-1:00 ; 200 Guests - Grigorian	Grigorian	Grigorian	00558	
5/7/2021	EV	6:00-12:00 ; 100 Guests - De Lamerced	De Lamerced	De Lamerced	00559	
5/10/2021	EV	Order Granting Motion For a Preliminary Injunction - County Of Los Angeles v. Ben And Reef Gardens	BS	County Of LA	00099	
5/12/2021	EM	Claghorn	RP	Richard Claghorn	00147	
5/13/2021	EM	Request and Clearing for RPC Meeting 7/21/2021 - Mitch Glaser/Richard Claghorn	RP	Richard Claghorn	00146	
5/17/2021	EM	GIS Section Done and Delivered 5/17/2021 - Richard Claghorn/Roman Help Desk	Help Desk	Roman Help Desk	00148	
5/17/2021	PO	- GOP	GOP	GOP	00222	
5/18/2021	EM	Posted HelpDesk Ticket For Attached Hearing Notice - Edward Rojas/Richard Claghorn	RP	Richard Claghorn	00149	
5/18/2021	EM	Hearing Notice To Be Sent Out This Week - Richard Claghorn/Edward Rojas	RP	Edward Rojas	00150	
5/19/2021	EM	Kerstin Schlegel/Richard Claghorn	RP	Richard Claghorn	00151	
5/20/2021	EM	Notices Gone Out; Jessica Provide Confirmation of Newspaper Ad - Richard Claghorn/Help Desk Team	Help Desk	Help Desk	00152	
5/24/2021	EM	First Email Confirmation For Newspaper Ad Posting - Richard Claghorn/Jessica Phillips	RP	Jessica Phillips	00153	
5/24/2021	EM	Second Email Confirmation For Newspaper Ad Posting - Richard Claghorn/Jessica Phillips	RP	Jessica Phillips	00154	
5/28/2021	EM	Complaint Regarding GOP - Richard Claghorn	PW	Resident	00002	
6/2/2021	EM	Electrical Permit Inquiry - Jessica Bunker/Laura Gonzales Urias ; Dawn Melillo/Shaul Yakovi	PW	Jessica Bunker	00046	
6/4/2021	EM	Email Regarding Constituents Giving Praise and to not Give Out Official Business - Gary Hirschtick/Benjamin Mock	PH	Benjamin Mock	00334	
6/8/2021	EM	Approve Due to Pending Appeal of Inactivity Denial and NOVs - Richard Claghorn/Steve Kaplan	Attorney	Steve Kaplan	00229	
6/14/2021	EM	Prepare Poster and Enforcement Post On Site - Samuel Dea/Richard Claghorn	RP	Richard Claghorn	00155	

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6/15/2021	EM	Seven Of Maps Generated and Ticket Will Be Closed - Richard Claghorn/ Carlos HelpDesk	Help Desk	Carlos HelpDesk	00156	
6/16/2021	EM	Town Council Meeting Dates; Update On GOP Case- Dawn Melillo/Yoshiya Morisaku ; Kerstin Schlegel/Dawn Melillo	PW	Yoshiya Morisaku	00045	
6/17/2021	EM	Gomez/Richard Claghorn	RP	Richard Claghorn	00157	
6/21/2021	EM	Sign Posted For R2012-02971 by Amir - Samuel Dea/Richard Claghorn	RP	Richard Claghorn	00158	
6/21/2021	PO	GOP Notice Of Hearing Posted - RP	RP	RP	00159	
6/21/2021	PO	GOP Notice Of Hearing Posted CUP 201200163 Proj R2012-02971-(5) - RP	RP	RP	00160	
6/21/2021	PO	GOP Notice Of Hearing Posted CUP 201200163 Proj R2012-02971-(5) - RP	RP	RP	00161	
6/21/2021	PO	GOP Notice Of Hearing Posted CUP 201200163 Proj R2012-02971-(5) - RP	RP	RP	00162	
6/21/2021	EM	GOP Notice Of Hearing Posted - Richard Claghorn/Amir Bashar	RP	Amir Bashar	00163	
6/28/21	EM/SR	Denial Of Conditional Use Permit - Mary Johnson/Richard Claghorn	RP	Mary Johnson	00005	
6/28/2021	EM	Appeal Of Denial Of Conditional Use Permit - Richard Claghorn/Don Henry	Town Council	Don Henry	00006	
6/28/2021	EM	RP Public Hearing 7/21/21; Appeal of Denial of Conditional Use Permit - Richard Claghorn/Don Henry	Town Council	Don Henry	00087	
7/8/2021	EM	Follow-UP For Sign Posting And Procedure Required For Postage - Steve Kaplan/Richard Claghorn	RP	Richard Claghorn	00230	
7/12/2021	EM	Steve Kaplan and Michael Lewis Brought On to Help Get GOP Through Application Process - Anish Saraiya	PW	Anish Saraiya	00486	
7/13/2021	EM	Attorney EM to PW Regarding GOP Site Plan - Anish Saraiya/Michael Lewis	Attorney	Michael Lewis	00477	
7/13/2021	EM	Building Permit Issues and Cup Ready for Consideration - Anish Saraiya/Michael Lewis	Attorney	Michael Lewis	00487	
7/14/2021	EM	Departments BS/Attorney	Attorney	Michael Lewis	00488	
7/14/2021	EM	Unable to Meet This Week - Michael Lewis/Anish Saraiya	PW	Anish Saraiya	00489	
7/15/2021	EM	7/19/21 - Samuel Dea/Steve Kaplan	Attorney	Steve Kaplan	00164	
7/15/2021	EM	Claghorn As Well - Samuel Dea/Steve Kaplan	Attorney	Steve Kaplan	00231	
7/19/2021	EM/PC	Email Regarding Phone Call Meeting via Planning Commission - Richard Claghorn/Mary Johnson	RP	Mary Johnson	00007	
7/20/2021	EM	Complaint Regarding GOP - Richard Claghorn/Melanie Grijalva	PW	Melanie Grijalva	00008	
7/21/2021	EM	Request For Testimonies For Hearing - Richard Claghorn/Helene Richards	RP	Helene Richards	00009	
7/21/2021	EM	Complaint Regarding GOP - Richard Claghorn/Sandy Kincaid	PW	Sandy Kincaid	00010	
7/21/2021	EM	Complaint Regarding GOP - Richard Claghorn/Sandy Kincaid	PW	Sandy Kincaid	00011	
7/21/2021	EM	Attached Script For Presentation For Hearing Project R2012-02971 - Ian Vergara/Richard Claghorn	RP	Richard Claghorn	00165	
7/21/2021	EM	Glaser/Richard Claghorn	RP	Richard Claghorn	00166	
7/21/2021	EM	Share Screen Due To Webinar Format - Richard Claghorn/Ian Vergara	RP	Ian Vergara	00167	
7/21/2021	EM	Attached Appeal Form For BS; Information on Board Appeal Fees - Steve Kaplan/Richard Claghorn	RP	Richard Claghorn	00232	
7/21/2021	EM	Uphold DRP Decision with Pat Modungo - Kathryn Barger Leibrich/Stephanie English	BS	Stephanie English	00478	
7/22/2021	EM	Complaint Regarding GOP - Richard Claghorn/Jorge Chediak	PW	Jorge Chediak	00012	
7/22/2021	EM	Claghorn	RP	Richard Claghorn	00168	
7/22/2021	EM	Claghorn/Francisco Garibay	RP	Francisco Garabay	00169	
7/22/2021	EM	Attached Denial Letter and Findings ; Appealed to BS no Later Than 8/4 at \$8,460 - Shaul Yakovi/Richard Claghorn	RP	Richard Claghorn	00233	
7/26/2021	EM	Request for Information Regarding Michael Lewis Meeting - Anish Sariya/Sandra Cruz	BS	Sandra Cruz	00490	
7/28/2021	EM	English; Anish Saraiya	PW	Anish Saraiya	00491	
8/2/2021	EM	Appeal to BOS Project # R2012-02971 - Francisco Garabay/Rosie Ruiz	RP	Rosie Ruiz	00170	
8/2/2021	EM	Confirmation of Payment of Appeal Reciept; Attached Appeal Form Signed By GOP - Steve Kaplan/Rosie Ruiz	RP	Rosie Ruiz	00234	
8/2/2021	EM	RP Will Contact GOP Attorney With Future Date For Hearing - Steve Kaplan/Rosie Ruiz	RP	Rosie Ruiz	00235	
8/2/2021	EM	Rosie Ruiz;Franciso Garabay/Steve Kaplan	Attorney	Steve Kaplan	00236	
8/2/2021	EM	Appeal Will be Set 11/30/21 Agenda; Will Get Back to GOP When Date Is Confirmed - Steve Kaplan/Francisco Garabay	BS	Francisco Garabay	00237	
8/3/2021	EM	GOP Appeal to BOS - Richard Claghorn/Mary Johnson	RP	Mary Johnson	00013	
8/4/2021	EM	Filed Applicant Appeal For Project No R2012-002971 - Anish Saraiya	PW	Anish Saraiya	00492	
8/10/2021	EM	Claghorn	RP	Richard Claghorn	00174	
8/19/2021	EM	Requested and Recieved Public Records Request 8/18/21 - Richard Claghorn/Steve Kaplan	Attorney	Steve Kaplan	00238	
8/25/2021	EM	Filed Applicant Appeal Request for November - Anish Saraiya/Francisco Garibay	BS	Francisco Garibay	00493	
9/9/2021	EM	Request for Appeal Dated 11/30 ok For PW - Anish Saraiya/Francisco Garibay	BS	Francisco Garibay	00494	
9/11/2021	EM	Appeal of Plannint Commission Decision Concerning GOP - Michelle Vega; Anna Mouradian/Anish Saraiya	PW	Anish Saraiya	00479	
9/11/2021	EM	Saraiya	PW	Anish Saraiya	00480	

Document Date	Document Type	Description/Subject, to/from etc	Department	Name-Originator	Document #	Document date – Need to be able to sort by date/chronologically
9/11/2021	EM	No Concerns/Issues Regarding Appeal Date 11/30/21 - Anish Saraiya/Michelle Vega	BS	Michelle Vega	00481	
9/11/2021	EM	No Concerns/Issues Regarding Appeal Date 11/30/21 - Anish Saraiya/Michelle Vega	BS	Michelle Vega	00482	
9/11/2021	EM	Request for Appeal Dated 11/30 ok For PW - Anish Saraiya/Francisco Garibay	BS	Francisco Garibay	00495	
9/11/2021	EM	No Concerns/Issues Regarding Appeal Date 11/30/21 - Anish Saraiya/Anna Mouradian	PW	Anna Mouradian	00496	
9/11/2021	EM	No Concerns/Issues Regarding Appeal Date 11/30/21 - Anish Saraiya/Michelle Vega	BS	Michelle Vega	00497	
9/30/2021	EM	Anish Saraiya/Francisco Garibay	BS	Francisco Garibay	00483	
9/30/2021	EM	Request to Postpone Appeal Hearing Until 2022 - Francisco Garibay/Steve Kaplan	Attorney	Steve Kaplan	00484	
9/30/2021	EM	EM Regarding Postpone Date Approval - Stephanie English/Anish Saraiya	PW	Anish Saraiya	00485	
9/30/2021	EM	Review Steve Kaplan's Request to Postpone Appeal Hearing til 2022 - Anish Saraiya/Francisco Garibay	BS	Francisco Garibay	00498	
9/30/2021	EM	No Concerns/Issues Regarding Appeal Date Postponed to 2022 - Stephanie English/Anish Saraiya	PW	Anish Saraiya	00499	
9/30/2021	EM	Steve Kaplan's Request to Postpone Appeal Hearing to 2022 - Anish Saraiya/Francisco Garibay	BS	Francisco Garibay	00500	
9/30/2021	EM	Hearing on 11/30/2021 - Anish Saraiya/Francisco Garibay	BS	Francisco Garibay	00501	
12/8/2021	PO	Parked Trailer Home; Trash, Junk and Debris on Property - Kerstin Schlegel	RP	Kerstin Schlegel	00104	
9/6/2016	EM	5th District Inquiry - Nicole Barbarino/Oscar Gomez	RP	Oscar Gomez	00016	
1/19//2021	Letter	GOP Administrative Hearing 2/25/2021 at 3:00PM - GOP/Grace Shin	PH	Grace Shin	00288	
	PO	Plot Plan;Blueprints;Signage -	RP	Agua Dulce CSD	00072	
	SR	Los Angeles County Fire Department Objectives and Areas to Inspect - Los Angeles Fire Department	Fire Dept.	Fire Department	00244	
	PO	Overhead PO of GOP Zones - RP	RP	RP	00251	
	SR	DPH-EH Operational Plan Information For GOP Warrant Execution - GOP/Michelle Lecavalier	PH	Michelle Lecavalier	00260	
	Letter	Public Water Supply Permit Plan Submittal Check List - Shaul Yakovi/PH	PH	PH	00283	
	PO	Blueprint Of Proposed Expansion; Exhibit "A" -	RP	RP	00289	
	PO	Copy Of Sandra Avalos Business Card - RP	RP	RP	00380	
	CS	Request For Service EF084570 - Amir Bashar	RP	Amir Bashar	00392	



shaul yakovi <shaul92@gmail.com>

Time Extension of due date for CUP 201200163

1 message

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Thu, Oct 8, 2020 at 10:12 AM

To: shaul yakovi <shaul92@gmail.com>

Cc: "karnier@gmail.com" <karnier@gmail.com>, Samuel Dea <sdea@planning.lacounty.gov>, Kerstin Schlegel <kschlegel@planning.lacounty.gov>, Toan Duong <TDUONG@dpw.lacounty.gov>, Shayne Lamont <SLamont@ph.lacounty.gov>, "Youman, Joseph" <Joseph.Youman@fire.lacounty.gov>

Shaul,

We are granting your request for a time extension until **November 12, 2020**. However, we cannot process a CUP with active violations. As explained previously, including in my email to you dated October 1, 2020, which is copied below, you are not authorized to hold events at this location until after you receive approval of the CUP application. Therefore, you must cease holding any events until you obtain an approved CUP. Plot Plan RPP200900080 is not effective for continued operation of the event center.

You have now stated that you want to revise your CUP application to reduce the scope of your project. You must submit the following by November 12, 2020:

1. Submit to Regional Planning a revised site plan by November 12, 2020. The revised site plan should show only the existing structures.
2. Submit to Regional Planning a revised project description by November 12, 2020.
3. Submit to the Department of Public Health the required information for Drinking Water and Onsite Wastewater Treatment System as explained in the attached DPH letter.

We reiterate that this or any extension does not authorize you to continue holding events, and is only to keep your CUP application active. Thank you.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning

We Appreciate Your Feedback!

Please take a moment and fill out our EPIC-LA customer experience survey by clicking on the link below:

<https://bit.ly/LACoCSSSurvey>

In response to the evolving coronavirus emergency, Los Angeles County facilities are closed to the public at this time. For the most current information about available services, public meeting schedules, and planning projects, please visit planning.lacounty.gov

From: Richard Claghorn <rclaghorn@planning.lacounty.gov>**Sent:** Thursday, October 1, 2020 1:56 PM**To:** shaul yakovi <shaul92@gmail.com>**Cc:** karnier@gmail.com <karnier@gmail.com>; Samuel Dea <sdea@planning.lacounty.gov>; Kerstin Schlegel <kschlegel@planning.lacounty.gov>; Toan Duong <TDUONG@dpw.lacounty.gov>; Shayne Lamont

<SLamont@ph.lacounty.gov>; Youman, Joseph <Joseph.Youman@fire.lacounty.gov>

Subject: Gardens of Paradise CUP

Good afternoon Shaul,

Please read the attached letter dated 9/9/20 regarding your project, and the related attachments. The letter and the attached letters from other County departments are based on the current project scope. As we've discussed, it is recommended that the project be downsized to focus on legalizing the existing unpermitted structures and establishing the event venue use through the CUP. Revised plans and application materials are needed to show the revised scope of the project. We can send the project to the other departments for interdepartmental County review if we receive the revised submittal materials. If we don't receive an adequate response by the deadline of October 13, 2020 we may begin the process of scheduling the CUP application for a public hearing for denial due to inactivity.

In addition, I've attached a letter from 2012 which explains background on the zone change that occurred in 2012 and how it affects your property. As explained on page 3 of the letter, the site plan approval for outdoor dance pavilion would only be valid for a period of 5 years after the date the zone change became effective. This means that after 12/27/17 the use would have to terminate, unless the CUP was approved by then, assuming the use had been legally established. Since the CUP is still not approved, you may not hold events at the site.

At this time, any gatherings/events not specifically allowed in the Health Officer Order 9.4.20, such as places of worship services, therapeutic behavioral health groups, small cohorts at schools/day care, etc., are prohibited.

Because of this order, gatherings and events not allowed in the order are prohibited, so even if the CUP had been approved the order related to the current pandemic would prohibit gatherings at the location until such time the order is lifted.

Let me know if you have any other questions about it. Thank you.

Richard Claghorn

Principal Regional Planner

Zoning Permits North Section

Department of Regional Planning

We Appreciate Your Feedback:

Please take a moment and fill out our customer experience survey for online applications [bit.ly/LACoCSSSurvey].

In response to the evolving coronavirus emergency, Los Angeles County facilities are closed to the public at this time. For the most current information about available services, public meeting

schedules, and planning projects, please visit planning.lacounty.gov

From: Richard Claghorn

Sent: Wednesday, September 9, 2020 4:36 PM

To: shaul92@gmail.com <shaul92@gmail.com>; karnier@gmail.com <karnier@gmail.com>

Subject: Gardens of Paradise CUP

Hello Shaul and Erez,

Please read the attached correction letter regarding your case, along with the other attached letters and documents. Let me know if you have any questions. Thanks.

Richard Claghorn

Principal Regional Planner

Zoning Permits North Section

Department of Regional Planning

We Appreciate Your Feedback:

Please take a moment and fill out our customer experience survey for online applications [bit.ly/LACoCSSSurvey].

In response to the evolving coronavirus emergency, Los Angeles County facilities are closed to the public at this time. For the most current information about available services, public meeting schedules, and planning projects, please visit planning.lacounty.gov



shaul yakovi <shaul92@gmail.com>

extension

3 messages

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>

Wed, Oct 7, 2020 at 5:09 PM

Hello Shaul,

I will send you an email tomorrow regarding the deadline extension.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning***We Appreciate Your Feedback!****Please take a moment and fill out our EPIC-LA customer experience survey by clicking on the link below:**<https://bit.ly/LACoCSSSurvey>**In response to the evolving coronavirus emergency, Los Angeles County facilities are closed to the public at this time. For the most current information about available services, public meeting schedules, and planning projects, please visit planning.lacounty.gov*

shaul yakovi <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Wed, Oct 7, 2020 at 5:41 PM

Ok thank you

Sent from my iPhone

On Oct 7, 2020, at 5:10 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Thu, Oct 8, 2020 at 10:04 AM

Hi
I don't understand why you are
Delaying everything
Please advise me ASAP because
It is emergency to solve things
Not delaying
Thanks
Shaul

Sent from my iPhone

On Oct 7, 2020, at 5:41 PM, shaul yakovi <shaul92@gmail.com> wrote:

Ok thank you

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Incomplete Letter6 - RCUP 201200163.pdf

1 message

Michael Sofris <michaelsofris@gmail.com>

Tue, Oct 6, 2020 at 11:33 AM

To: shaul yakovi <shaul92@gmail.com>

Have you responded or Complied with this letter.

-Sent from my iPhone

Michael N. Sofris, Esq.
Action Legal Team & Action Finance and Realty Team
468 N. Camden Drive, Ste 200, Beverly Hills, Ca 90210
[T] +1.310.229.4505
[C] +1.310.877.8828
[F] +1.310.388.0535 michaelsofris@gmail.com; filmlawyer@aol.com

WARNING: This communication and any documents, files, previous e-mail messages, and/or other attachments constitute an "electronic communication" within the scope of the Electronics Communication Privacy Act, 18 USCA 2510. This communication may contain non-public, confidential, and/or legally-privileged information intended for the sole use of the designated recipient(s). The unlawful interception, use or disclosure of such information is strictly prohibited under 18 USCA 2511, and other applicable laws. No dissemination may be made without WRITTEN PERMISSION from the sender.

 **Incomplete Letter6 - RCUP 201200163.pdf**
279K



Los Angeles County Department of Regional Planning

Planning for the Challenges Ahead



Amy J. Bodek, AICP
Director

Dennis Slavin
Chief Deputy Director

September 9, 2020

Shaul Yakovi/Erez Karni
32222 Agua Dulce Canyon Rd.
Agua Dulce, CA 91390

SUBJECT: REQUEST FOR REVIEW MATERIALS

Project: R2012-02971 – (5)

Case: CUP No. 201200163

Address: 32222 Agua Dulce Canyon Rd.

Dear Applicant:

The Department of Regional Planning is currently reviewing the project identified above and has determined that additional materials and information are required before we can proceed further. This is an update to the previous letter from February 6, 2019. Please address the following items and submit the necessary additional items by **October 13, 2020** or the project will be **DENIED**:

SITE PLAN

1. The current site plan (submitted 8/10/16) does not show any parking spaces. The previous version of the plan, submitted on 2/2/16, showed some parking spaces that appear to provide less than 26 feet of backup area, based on the drawing. These included some of the spaces east and northeast of the tennis courts and the spaces in the parking lot near the southwest part of parcel 27 and northwest part of parcel 28. A minimum of 26 feet of backup area is required for all standard parking spaces. The edges of the parking areas also need to be clearly defined. There is no clear eastern edge to the backup area for the parking spaces on parcel 27 between the handicapped spaces and tennis courts, so it's not clear if the required 26 feet of unobstructed backup area will be provided. Compact spaces (minimum size 8' x 15') require a minimum of 23 feet of backup area, but would need to be clearly marked if any are provided.
2. Guard shack #40 west of parcels 54 and 28 is in the public right-of-way (ROW), and so is part of the gate. The dashed line on the site plan that runs through the gate and east of the guard shack corresponds to the property line, based on the Assessor's map and on our GIS maps. They may not be located within the ROW or any future dedication area, so they must be removed or relocated. Also, the

- guard shack is listed as 150 square feet on the site plan, even though it appears to be about 35 square feet (5' x 7').
3. The proposed sign shown west of Parcel 28 and Parcel 54 is within the ROW area. This sign location must be relocated outside of the ROW. The existing sign near the main entrance on Parcel 26 is also within the ROW. The new sign location depicted on the site plan near the entrance on Parcel 26 is outside of the ROW, but is within the driveway. It needs to be moved to a location on Parcel 26 that is not in the driveway.
 4. The number of parking spaces depicted on the revised plans is 358, which is still short of what is required. A parking matrix was prepared listing all of the proposed uses (see attached). The total number of required spaces, based on this analysis, is 409. Reductions to the parking requirement would be possible if more changes are made to the project. The number of parking spaces will need to be increased substantially unless many of the uses are reduced or eliminated. Please provide a revised parking matrix incorporating any changes or corrections made to the project. The number of parking spaces provided must be equal to or greater than the number of spaces required.
 5. The site is in a State Responsibility Area for fire protection. There is a requirement that a 30-foot setback must be maintained around the perimeter of the property. The Fire Department may allow modifications to this under certain circumstances, but it is strongly recommended that 30-foot setbacks be provided around the perimeter of the property. There are 5 guest cabin units on parcel 25 and 5 guest cabin units on parcel 54 that are currently less than 30 feet from the lot lines. These units should be deleted or relocated.
 6. The project is subject to the Healthy Design Ordinance (HDO). Although the HDO was adopted after the submittal, its requirements are still applicable. The main requirement is that bicycle parking space needs to be provided. Based on the uses currently proposed on the 5 remaining parcels, a total of 11 short term and 7 long term bicycle parking spaces are required. This is based on the following ratios: one short term parking space per 40 guest rooms and one long term space per 20 guest rooms; one short term parking space per 5,000 square feet of other commercial buildings and one long term space per 12,000 square feet of other commercial buildings. Long term spaces must be covered, but short term spaces don't need to be covered. Bicycle parking spaces need to be a minimum of 2' x 6' each, and bike racks need to be provided. See the attached handout for additional details on the bike parking. Show the required bike spaces on the plan.

ARCHITECTURAL PLANS

7. Please provide floor plans and elevation plans for all proposed buildings or any buildings where work is being proposed. Some plans were provided, but the floor plans for the 3,500 sf guest units are still needed. Plans must show the building dimensions and must be drawn to scale.
8. Include the existing and proposed floor plans for the restaurant structure (building #24) and clearly show any alterations being proposed for the building, and for any other existing structures being altered. Obtain an occupant load determination

from Building & Safety for the restaurant, based on the proposed floor plan. The existing occupant load count for the restaurant is 134. A much lower occupant load count would be possible based on a more detailed floor plan showing the dining area, kitchen area, restrooms, and the interior layout of the restaurant. Required parking for the restaurant is based on one space per 3 occupants.

APPLICATION/PROJECT DESCRIPTION

9. The project description gives the project area as 94 acres. However, adding up the areas of the 8 parcels listed on the Assessor's maps gives a total of 90.63 acres. Since there are 3 parcels which now are no longer part of the project area, the project area needs to be updated. Based on Assessor's records, it appears the 5 remaining parcels have a combined area of 61.75 acres.
10. In the project description (page 2, paragraph 3) it says the existing hillsides would remain in their natural state. No proposed grading is listed on the application form. However, there will clearly need to be significant amounts of grading to accomplish the project. The previous plot plan approval (RPP 200900080) included 12,983 cubic yards of cut and 3,214.88 cubic yards of fill. Proposed export was listed as 682.7 cubic yards. This grading was related to a proposed parking area that apparently has not yet been started, and which is still proposed. Since this parking area is still proposed, and since it also appears grading may be needed for some of the other development in sloping areas, the grading must be included in the project description. Please provide the total amount of proposed grading (cut and fill, in cubic yards) as well as indicating the total square footage of the areas to be graded.
11. In the project description (second paragraph) it says all proposed improvements will be kept out of the flood zone. You don't have to discuss the flood zone in the project description, but if you do it needs to be accurate. It appears a number of buildings and other improvements are located in the FEMA flood zone, including the restrooms (#4), photo/dining pad (#11), tennis and basketball courts, spa (#31 & #33), and snack bar (#44). Public Works will need to review the flood zone issues, but you should be aware that these buildings and improvements may need to be modified, removed or relocated.
12. The project description mentions some proposed uses that are not labeled on the site plan. No equestrian facilities or stables are identified on the site plan, even though they're mentioned in the description. If any such facilities exist or are proposed, please show them on the site plan. Indicate how many horses are to be kept there and show the stalls on the floor plan of any stables. Describe the purpose of the stables. Are they for keeping horses owned by the owner, to provide horse rides for guests, boarding of horses, or some other purpose? Please provide a description of how the equestrian facilities are to be used and show where they are located.
13. The description mentions a juice bar, but this is not shown on the plan. Is this use the same as the snack bar?
14. A soccer field is mentioned in the description but is not shown on the site plan. It should be deleted from the description unless it is shown on the site plan.
15. The project description on the application mentions installing a monument sign. Is

- this a separate sign from the ones previously approved on 2/19/13? If so, please show the sign location on the site plan and include a sign plan.
16. On the application form the description mentions a winery including testing (tasting?) and selling. No winery is shown on the site plan nor are any facilities for wine tasting or sales identified. The winery should be deleted from the application unless it is also included on the site plan and project description and more details are provided. The winery would also require architectural plans, additional required parking, and more detailed information, such as the amount of projected production, the source of the grapes, estimated number of employees, and other details of the proposed winery operation.
 17. The application form states that new building construction will have an area of approximately 112,000 square feet. Please provide a detailed breakdown listing all of the structures and the size of each. Based on the information provided, I estimated the total of the new and existing structures as 81,718 square feet. However, this figure will need to be adjusted if any changes or corrections are made.
 18. Please clarify the use of the snack bar. Indicate what types of food items will be sold there and whether it is similar to a take-out restaurant, juice bar, or a small retail food store.
 19. Please explain what the purpose of the shacks on parcel 54 is (buildings #25 and #29 and the un-numbered shack next to the guest cabins). Are these guard shacks, storage shacks, or some other use?
 20. The project description mentions concerts and other large events. Please include in the description the maximum number of people who would attend a concert or large event on the property, and an estimate of the largest total number of people who would be on the property (all 5 remaining parcels) at any one time, including employees and all other persons.
 21. The application form needs to be updated to eliminate the parcels that are no longer part of the project and to update other project information which has changed.
 22. The project description (page 2, first paragraph) says parking for 500 vehicles would be provided on site, including a parking lot for 350 vehicles. This information is not accurate and needs to be corrected. Please rewrite the project description with accurate and current information based on the changes to the project.

OTHER

23. Please provide one (1) copy of the articles of incorporation. The articles of incorporation are required to validate that the owner's signature is from an authorized person within the corporation.
24. Please provide additional color photographs of the proposed project area with a photo-key map. Number each photo and show the location/photo direction on the map. The photographs must be taken from ground-level perspective, not aerial views. Include photographs of all existing structures, areas of proposed structures, parking areas and other areas of the site to be developed. The photos provided show the dance pavilion canopy, entrance gate, existing office, handicap parking spaces, restroom structures, and pond on parcel 26. No photos of the existing

- structures on parcel 54 were provided. No photos have been provided for some other areas where structures are proposed, such as the guest cabins and guest units. More photos are needed to provide a complete picture of existing site conditions.
25. A Certificate of Compliance (COC) is required for APN 3212-008-054 because new buildings are proposed on this parcel and there was no previous tract or parcel map creating the parcel and no prior COC. Please file a COC for Parcel 54. The COC fee is currently \$1,972.
 26. A covenant to hold property as one parcel is required. A covenant was done for the north four parcels for RPP 200900080, but since there are buildings crossing lot lines and shared parking and facilities, all 5 parcels will need to be tied together with a covenant to hold as one parcel. A copy of the draft covenant is attached. The complete legal description must be attached as Exhibit "A", and it must be signed, notarized and recorded. This can be done after the public hearing.
 27. This project does not qualify for a categorical exemption under CEQA and requires an Initial Study. Please pay the Initial Study fee and required referral fees. The current fees are \$3,672 for the Initial Study Fee (Negative Declaration) and \$1,152 for the Department of Public Works referral fee. A refund may be requested for the \$310 paid previously for the Environmental Assessment, if the Initial Study fee is paid. The Initial Study is required to evaluate the impacts to the environment of the proposed project and will require consultation with other agencies. Additional information may be requested to complete the environmental review. As currently designed, this project will likely require an Environmental Impact Report (EIR) due to the likelihood of significant impacts due to the large scope of the proposed development. A final environmental determination can't be made until the other departments have had a chance to comment on the project, and they can't provide comments until the required fees are paid. Because of the large number of guest rooms and other uses, other information may be required by other departments, possibly including a traffic study, for example. In order to avoid such requirements, and to avoid an EIR, the project will likely need to be reduced in scope significantly, so that impacts can be avoided or satisfactorily mitigated.
 28. Please address the issues listed in the attached letters from the Fire Department (8/8/19), Department of Public Health (8/14/19) and Department of Public Works (8/14/19). Please contact each department using the contact information listed in the individual letters.

Please provide a digital copy of any revised plans on a CD or by email, plus 2 full-size hard copies of the plans.

Please note that the Agua Dulce Town Council is a local body that has reviewed and provided comments on land use projects for the Agua Dulce area of Los Angeles County. It is recommended that you contact the Town Council to help gain community support for your project. To present before the Agua Dulce Town Council, please contact the Agua Dulce Town Council at the following address to arrange a meeting: 33201 Agua Dulce Canyon Road Box #8, Agua Dulce, CA 91390. You can also call Council President Don

Project R2012-02971 (CUP 201200163)

September 9, 2020

Page 6

Henry at (661) 268-1731 to request an item be placed on their agenda. Their email address is info@adtowncouncil.com.

Failure to submit the required information by October 13, 2020 will result in the CUP being scheduled for a public hearing with a recommendation of denial.

If you have any questions regarding this matter, please contact Richard Claghorn at (213) 974-6443, from 7:30 a.m. to 5:30 p.m., Monday through Thursday or via email at rclaghorn@planning.lacounty.gov. Our offices are closed on Fridays.

Sincerely,

Department of Regional Planning
Amy J. Bodek, AICP
Director

Richard Claghorn, Principal Regional Planner
Zoning Permits North Section

Attachments:

Draft Parking Analysis
Draft Covenant to Hold Property as One Parcel
FD Letter from 8/18/19
DPH Letter from 8/14/19
DPW Letter from 8/14/19



shaul yakovi <shaul92@gmail.com>

32222

3 messages

shaul yakovi <shaul92@gmail.com>

Thu, Oct 1, 2020 at 5:31 PM

To: rclaghorn@planning.lacounty.gov

Hi Richard

you told me yesterday when we talk on phone that you guys will change the due date i did not receive anything from you

Thank You

Shaul Yakovi

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Mon, Oct 5, 2020 at 6:54 AM

To: shaul yakovi <shaul92@gmail.com>

Hi Shaul,

I'll need to talk to my supervisor about the due date. I'll let you know if it can be extended after I talk to him about it.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning

We Appreciate Your Feedback:

Please take a moment and fill out our customer experience survey for online applications [[bit.ly/LACoCSSurvey](https://bit.ly/LACoCSSSurvey)].

In response to the evolving coronavirus emergency, Los Angeles County facilities are closed to the public at this time. For the most current information about available services, public meeting schedules, and planning projects, please visit planning.lacounty.gov

From: shaul yakovi <shaul92@gmail.com>**Sent:** Thursday, October 1, 2020 5:31 PM**To:** Richard Claghorn <rclaghorn@planning.lacounty.gov>**Subject:** 32222**CAUTION: External Email. Proceed Responsibly.**

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Mon, Oct 5, 2020 at 10:53 AM

To: shaul yakovi <shaul92@gmail.com>

Hi Shaul,

Let me know how much time you need to submit revised plans, revised project description, and the other requested information. Thanks.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning

We Appreciate Your Feedback:

Please take a moment and fill out our customer experience survey for online applications [[bit.ly/LACoCSSSurvey](#)].

In response to the evolving coronavirus emergency, Los Angeles County facilities are closed to the public at this time. For the most current information about available services, public meeting schedules, and planning projects, please visit planning.lacounty.gov

From: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Sent: Monday, October 5, 2020 6:54 AM
To: shaul yakovi <shaul92@gmail.com>
Subject: Re: 32222

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

32222 agua dulce cub rd

1 message

shaul yakovi <shaul92@gmail.com>

Wed, Sep 30, 2020 at 3:53 PM

To: Richard clag <rclaghorn@planning.lacounty.gov>

Hello Richard

this is Shaul please give me a call my phone number is 213-923-5225 I left you a message couple of time you did not called me back yesterday I email you you respond you will call me back you didn't iam Waiting for your call

thank you

Shaul yakovi



shaul yakovi <shaul92@gmail.com>

CUP 201200163

4 messages

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>

Thu, Aug 15, 2019 at 7:26 AM

Good morning Shaul,

Please read the attached letters from the Department of Public Health and Fire Department about your project. We are still waiting for a letter from the Department of Public Works, which I'll send you once I receive it. Please contact each department to address the issues discussed in the letters. Thanks.

Richard Claghorn

Principal Regional Planner

Zoning Permits North Section
Department of Regional Planning

213-893-7015

2 attachments **Fire_Not_Cleared.pdf**
143K **DPH_Not_Cleared.pdf**
315K

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>

Wed, Aug 21, 2019 at 7:39 AM

Good morning Shaul,

Here is the letter from DPW about your project. Please review each of the 3 letters I sent you from DPH, DPW and Fire and work with each department to resolve the issues for each. Thanks.

[Quoted text hidden]

 **DPW_Not_Cleared.pdf**
228K

shaul yakovi <shaul92@gmail.com>

Wed, Aug 21, 2019 at 1:39 PM

To: erez karni <karni69@gmail.com>

Sent from my iPhone

Begin forwarded message:

[Quoted text hidden]

 **DPW_Not_Cleared.pdf**
228K

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>

Wed, Jan 22, 2020 at 7:39 AM

Good morning Shaul,

I hope you're doing well. Could you please provide an update on the progress on your CUP? Have you contacted DPH, DPW, or the Fire Department to resolve the issues in the attached letters? Refer to the letters for the contact information for each department and address the issues described in each. Have you addressed any additional items from the attached letter dated 2/6/19 that I wrote? You paid the CUP referral fees from item #29 of that letter but have still not paid the fees listed in items #27 and 28. Those fees have changed since the last letter as follows: The COC fee from item #27 is now \$1,915. For item #28, the Initial Study fee is now \$3,494 and DPW referral fee is \$1,119. Fees are expected to increase again on March 1 with the annual fee adjustment.

Because of the scope of the project and the many requirements triggered by the many proposed uses, I think you should consider updating your project description and plans to eliminate proposed uses that may make the project more feasible and realistic. You will need to demonstrate progress on the permitting process or the CUP may be denied for inactivity, or denied for failure to meet the requirements. Please provide an update on your progress so we can help the CUP process to move forward. Thank you.

[Quoted text hidden]

4 attachments

 **Incomplete_letter5_RCUP201200163.pdf**
373K

 **Fire_Not_Cleared.pdf**
143K

 **DPH_Not_Cleared.pdf**
315K

 **DPW_Not_Cleared.pdf**
228K



shaul yakovi <shaul92@gmail.com>

CUP 201200163 referral payments

1 message

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Tue, Apr 16, 2019 at 11:32 AM

To: shaul yakovi <shaul92@gmail.com>

Hello Shaul,

Our computer system still does not show the bounced check, but our accounting section has been informed that the check is not good and the fees will need to be repaid.

Thu-Hong Nguyen from our Budget and Accounting Section wrote, "The check #1039 in amount \$1,607 was bounced..."

So the payer needs to repay \$1,607+\$33 NSF Fee= \$1,640.00.

If the payer would like to repay now, we can process the NSF in the Energov. Please remind the payer, the replacement should be cash, money order, or cashier check (indicated the payer's name)'.
'.

Let me know if you have any questions about it. Thanks.

Richard Claghorn

Principal Regional Planner

Zoning Permits North Section
Department of Regional Planning

213-893-7015



shaul yakovi <shaul92@gmail.com>

Shaul

1 message

shaul yakovi <shaul92@gmail.com>
To: rclaghorn@planning.lacounty.gov

Thu, Apr 4, 2019 at 1:04 PM

Hi Richard
this is Shaul we Running late like 30 minutes

Thank you
Shaul

Sent from my iPhone



shaul yakovi <shaul92@gmail.com>

32222 Agua Dulce

8 messages

shaul yakovi <shaul92@gmail.com>

To: rclaghorn@planning.lacounty.gov

Thu, Mar 28, 2019 at 5:20 PM

Hello Richard

I want to make an appointment with you in regard to cup next week Tuesday or Wednesday if you have opening please email me or call me at 2139235225

Thank you

Shaul

Sent from my iPhone

shaul yakovi <shaul92@gmail.com>

To: erez karni <karni69@gmail.com>

Thu, Mar 28, 2019 at 5:22 PM

Sent from my iPhone

Begin forwarded message:

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>

To: shaul yakovi <shaul92@gmail.com>

Thu, Mar 28, 2019 at 5:28 PM

Hello Shaul,

Let me know if Tuesday, April 2 at 2:00 pm works for you. If not we could schedule a different time. Our fees went up on March 1. The new CUP referral fees are \$664 for DPH, \$559 for DPR and \$384 for Fire. I can provide the other new fees later. Thanks.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning
213-893-7015

-----Original Message-----

From: shaul yakovi [mailto:shaul92@gmail.com]

Sent: Thursday, March 28, 2019 5:21 PM

To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Subject: 32222 Agua Dulce

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>

Thu, Mar 28, 2019 at 7:42 PM

To: erez karni <karni69@gmail.com>

Sent from my iPhone

Begin forwarded message:

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Thu, Mar 28, 2019 at 8:05 PM

hi Richard
thank you for answering I will be there at 2 o'clock Tuesday

Thanks

Shaul

Sent from my iPhone

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Mon, Apr 1, 2019 at 9:57 AM

Hi Richard
can we move the appointment to Wednesday please

Thanks

Shaul

Sent from my iPhone

> On Mar 28, 2019, at 5:28 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

>

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Mon, Apr 1, 2019 at 10:08 AM

Hi Shaul,

Would Wednesday at 3:00 pm work for you? I'm not available until 3:00 on that day. Thanks.

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Tue, Apr 2, 2019 at 9:26 AM

Hello Shaul,

Based on our phone conversation, I've scheduled an appointment with you for Thursday, April 4 at 1:30 pm. Please come to room 1348 at our office. Thanks.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning
213-893-7015

-----Original Message-----

From: Richard Claghorn

4/30/2021

Gmail - 32222 Agua Dulce

Sent: Monday, April 1, 2019 10:09 AM
To: 'shaul yakovi' <shaul92@gmail.com>
Subject: RE: 32222 Agua Dulce

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

CUP 201200163 (Project R2012-02971) Denial

1 message

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Wed, Feb 6, 2019 at 4:33 PM

To: shaul yakovi <shaul92@gmail.com>, "karnier@gmail.com" <karnier@gmail.com>

Hello Shaul and Erez,

On December 3, 2018 I emailed you and said that if we don't receive the CUP fees listed in the email by February 4, 2019, your CUP case could be scheduled for denial. I still haven't heard from you, and we still have not received the fees. For your information, the CUP referral fee for the Fire Department increased on 1/22/19 to \$384 from \$362.

This is a final notice that we will schedule your case for denial if we don't receive payment by May 6, 2019, at a minimum, for the fees for the CUP referral, which are as follows:

Fire \$384

DPR \$541

DPH \$643

Total \$1,568

I've updated the previous letter regarding your case, and have attached a copy. The original will be mailed to you. The other items in the letter need to be addressed as well, but the payment of the required fees must be done by May 6, 2019 to avoid the scheduling of your case for denial. Please be aware that if fees are paid on March 1 or later, the fees will increase. Feb. 28 will be the last day you can pay the fees at their current level. Please let me know if you have any questions. Thank you.

Richard Claghorn

Principal Regional Planner

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

 **Incomplete_letter5_RCUP201200163.pdf**
373K



shaul yakovi <shaul92@gmail.com>

Project R2012-002971

2 messages

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Mon, Dec 3, 2018 at 11:45 AM

To: shaul yakovi <shaul92@gmail.com>

Cc: "karnier@gmail.com" <karnier@gmail.com>

Hello Shaul,

I haven't heard from you in a while and hope you're doing well. We still haven't received the fees we discussed early this year that we need in order to proceed to the next step in the review of your CUP (Project R2012-002971, CUP 201200163). The fees increased on March 1, 2018 and will probably increase again on March 1, 2019. Here are the current fees:

The fees which we need prior to CUP consultation are as follows:

Fire \$362

DPR \$541

DPH \$643

Total \$1,546

You can pay with on check made out to LA County, or separate checks made out to LA County.

The other fees are currently as follows:

Initial Study \$3,312

Initial Study-DPW consult \$1,084

Initial Study-DPR consult \$458

COC \$1,855

If we don't receive the CUP consultation fees by February 4, 2019 then your case could be scheduled for denial. Please resolve this as soon as possible. Thank you.

Richard Claghorn
Principal Regional Planner
Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

-----Original Message-----

From: Richard Claghorn

Sent: Wednesday, February 28, 2018 11:04 AM

To: shaul yakovi <shaul92@gmail.com>

Subject: RE: Shaul

Hello Shaul,

The fees which we need prior to CUP consultation are as follows:

Fire \$362

DPR \$522

DPH \$621

Total \$1,505

You can pay with on check made out to LA County, or separate checks made out to LA County.

The other fees are currently as follows:

Initial Study \$3,199
Initial Study-DPW consult \$1,046
Initial Study-DPR consult \$442
COC \$1,790

These fees will increase to the following on March 1, 2018:

Initial Study \$3,312
Initial Study-DPW consult \$1,084
Initial Study-DPR consult \$458
COC \$1,855

You'll need the Initial Study fees before we can do the CEQA consultation, but that will come after the CUP consultation, and isn't needed immediately. You may want to pay the fees now to avoid the increase, but we can still move forward with the CUP consultation once we receive the \$1,505 in CUP consult fees. The COC is a separate issue, and will be needed before the public hearing. However, you'll need to submit all of the related paperwork to pay the COC fee.

Let me know if you have any questions on the fees. Thanks.

Richard Claghorn
Principal Regional Planning Assistant
Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

-----Original Message-----

From: Richard Claghorn
Sent: Wednesday, February 28, 2018 7:59 AM
To: 'shaul yakovi' <shaul92@gmail.com>
Subject: RE: Shaul

Hi Shaul,

I'm sorry I missed you yesterday. I didn't know you were coming in. Today is the last day of the current fees. I've attached a copy of the new fee schedule that will be effective on March 1. Let me know if you plan to pay the fees today, and what time you are planning to come in. Thanks.

Richard Claghorn
Principal Regional Planning Assistant
Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

-----Original Message-----

From: shaul yakovi [mailto:shaul92@gmail.com]
Sent: Tuesday, February 27, 2018 11:07 AM
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Subject: Re: Shaul

Hi Richard

I try to come today to pay the fees I understand you took today off so please give me a call tomorrow at 213-923-5225

Sent from my iPhone

> On Feb 20, 2018, at 2:57 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

> Hello Shaul,

> When we met on Jan. 25 you said you would pay the CUP referral fees we discussed in the next week or two. It doesn't appear the fees have been paid yet. The fees will need to be paid by no later than Feb. 28 at the current rate. If paid after that, the fee will be higher. I don't know exactly what the new fees are going to be yet, but I've heard they will increase 3.6%. Therefore, I would recommend paying before March 1 to avoid the fee increase. Thanks.

> Richard Claghorn
> Principal Regional Planning Assistant Zoning Permits North Section
> Department of Regional Planning
> 320 W. Temple Street, Room 1348
> Los Angeles, CA 90012
> Phone: 213-974-6443

> -----Original Message-----

> From: Richard Claghorn
> Sent: Thursday, January 25, 2018 1:59 PM
> To: 'shaul yakovi' <shaul92@gmail.com>
> Subject: RE: Shaul

> OK

> -----Original Message-----

> From: shaul yakovi [mailto:shaul92@gmail.com]
> Sent: Thursday, January 25, 2018 1:58 PM
> To: Richard Claghorn <rclaghorn@planning.lacounty.gov>
> Subject: Shaul

> Hi Richard
> We are let 10-15 minute

> Thanks shaul

> Sent from my iPhone

shaul yakovi <shaul92@gmail.com>
To: erez karni <karni69@gmail.com>

Mon, Dec 3, 2018 at 12:10 PM

Sent from my iPhone

Begin forwarded message:

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Shaul

8 messages

shaul yakovi <shaul92@gmail.com>

Thu, Jan 25, 2018 at 1:58 PM

To: Richard Clag <rclaghorn@planning.lacounty.gov>

Hi Richard

We are let 10-15 minute

Thanks shaul

Sent from my iPhone

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Thu, Jan 25, 2018 at 1:59 PM

To: shaul yakovi <shaul92@gmail.com>

OK

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Tue, Feb 20, 2018 at 2:57 PM

To: shaul yakovi <shaul92@gmail.com>

Hello Shaul,

When we met on Jan. 25 you said you would pay the CUP referral fees we discussed in the next week or two. It doesn't appear the fees have been paid yet. The fees will need to be paid by no later than Feb. 28 at the current rate. If paid after that, the fee will be higher. I don't know exactly what the new fees are going to be yet, but I've heard they will increase 3.6%. Therefore, I would recommend paying before March 1 to avoid the fee increase. Thanks.

Richard Claghorn
Principal Regional Planning Assistant
Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>

Tue, Feb 27, 2018 at 11:07 AM

To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Hi Richard

I try to come today to pay the fees I understand you took today off so please give me a call tomorrow at 213-923-5225

Sent from my iPhone

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Wed, Feb 28, 2018 at 7:59 AM

To: shaul yakovi <shaul92@gmail.com>

Hi Shaul,

I'm sorry I missed you yesterday. I didn't know you were coming in. Today is the last day of the current fees. I've attached a copy of the new fee schedule that will be effective on March 1. Let me know if you plan to pay the fees today, and what time you are planning to come in. Thanks.

[Quoted text hidden]

 **3. Revised Fees 2018 Final.pdf**
802K

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Wed, Feb 28, 2018 at 8:01 AM

PS-I'm going to be in a hearing this morning from 9 am to probably 10 am at least. I'll be available after that, except I'll probably be out to lunch from about noon to 1 pm.

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Wed, Feb 28, 2018 at 11:04 AM

Hello Shaul,

The fees which we need prior to CUP consultation are as follows:

Fire \$362
DPR \$522
DPH \$621

Total \$1,505

You can pay with on check made out to LA County, or separate checks made out to LA County.

The other fees are currently as follows:

Initial Study \$3,199
Initial Study-DPW consult \$1,046
Initial Study-DPR consult \$442
COC \$1,790

These fees will increase to the following on March 1, 2018:

Initial Study \$3,312
Initial Study-DPW consult \$1,084
Initial Study-DPR consult \$458
COC \$1,855

You'll need the Initial Study fees before we can do the CEQA consultation, but that will come after the CUP consultation, and isn't needed immediately. You may want to pay the fees now to avoid the increase, but we can still move forward with the CUP consultation once we receive the \$1,505 in CUP consult fees. The COC is a separate issue, and will be needed before the public hearing. However, you'll need to submit all of the related paperwork to pay the COC fee.

Let me know if you have any questions on the fees. Thanks.

Richard Claghorn
Principal Regional Planning Assistant
Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

-----Original Message-----

4/30/2021

Gmail - Shaul

From: Richard Claghorn

Sent: Wednesday, February 28, 2018 7:59 AM

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>

To: brownsteinlaw.bill@gmail.com

Wed, Feb 28, 2018 at 3:44 PM

Sent from my iPhone

Begin forwarded message:

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Fwd: CUP 201200163

3 messages

shaul92@gmail.com <shaul92@gmail.com>
To: William Brownstein <brownsteinlaw.bill@gmail.com>

Wed, Jul 15, 2015 at 12:38 PM

Sent from my iPhone

Begin forwarded message:

From: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Date: July 15, 2015 at 11:23:09 AM PDT
To: "shaul92@gmail.com" <shaul92@gmail.com>
Cc: "karnier@gmail.com" <karnier@gmail.com>
Subject: CUP 201200163

Hello Shaul and Erez,

Please read the attached letter regarding your project. The original will be mailed to you, along with the other attachments. Please note that you will still need to make major changes to the project as noted in the letter. Your project as currently proposed is likely to trigger many requirements from Public Works, Public Health as well as other requirements from Fire and Parks and Recreation. The project will probably need an EIR, which will be a very difficult and costly process, unless it is scaled down significantly. You need to at least reduce your uses so that the required parking does not exceed the parking provided, but it will probably have to be reduced a lot more to meet all of the departmental requirements and avoid costly public improvement costs and costs related to the EIR and environmental review process. Before the project can move forward the fees highlighted in the letter must be paid and the plans need to be revised as noted in the letter so that we can forward the plans to the other departments for review. Let me know if you have any questions. Thanks.

Richard Claghorn

Principal Regional Planning Assistant

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

From: Richard Claghorn
Sent: Wednesday, May 14, 2014 2:57 PM
To: 'shaul92@gmail.com'
Cc: 'karnier@gmail.com'
Subject: CUP

Good afternoon,

I'm following up on your pending CUP (Project R2012-02971). We were going to meet in February to go over the issues, but unfortunately I was bit by your dog, and the appointment fell through. I recovered and have been doing well, but haven't followed up with you yet. There are still a number of issues that need to be addressed before the project can move forward, which were discussed in the attached letter. It would probably be best to go through them one by one in a face to face meeting. Let me know if you would like to have a meeting to discuss the project so that we can resolve the problems, and let me know when you'd like to meet. Thanks.

Richard Claghorn

Principal Regional Planning Assistant

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

From: shaul92@gmail.com [mailto:shaul92@gmail.com]
Sent: Wednesday, February 05, 2014 3:18 PM
To: Richard Claghorn
Subject: Re: Appointment

Ok thanks

Sent from my iPhone

On Feb 5, 2014, at 11:08 AM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Yes. Can you can come in on Thursday, Feb. 13 at 2:00 pm? Thanks.

Richard Claghorn

Zoning Permits North

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6443

From: shaul92@gmail.com [mailto:shaul92@gmail.com]
Sent: Wednesday, February 05, 2014 10:53 AM
To: Richard Claghorn
Subject: Re: Appointment

Can we have t date change. To next week please

Thanks

Shaul

Sent from my iPhone

On Jan 29, 2014, at 2:00 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Hello Shaul and Erez,

I've just rescheduled our meeting to next Wednesday at 2:00 pm. It will be Feb. 5 (I think I said Feb. 3 on the phone, but the correct date is the 5th). Let me know if you need to reschedule. Thanks.

Richard Claghorn

Zoning Permits North

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6443

2 attachments

 **R2012-02971_letter3.pdf**
285K

 **Parking_RCUP201200163.pdf**
64K

shaul92@gmail.com <shaul92@gmail.com>
To: Leslie Richards <ladylaw@leslierichards.com>

Wed, Jul 15, 2015 at 12:39 PM

[Quoted text hidden]

2 attachments

 **R2012-02971_letter3.pdf**
285K

 **Parking_RCUP201200163.pdf**
64K

shaul yakovi <shaul92@gmail.com>
To: William Brownstein <brownsteinlaw.bill@gmail.com>

Mon, Feb 5, 2018 at 2:27 PM

----- Forwarded message -----
From: <shaul92@gmail.com>
Date: Wed, Jul 15, 2015 at 12:39 PM
Subject: Fwd: CUP 201200163
To: Leslie Richards <ladylaw@leslierichards.com>

Sent from my iPhone

Begin forwarded message:

From: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Date: July 15, 2015 at 11:23:09 AM PDT
To: "shaul92@gmail.com" <shaul92@gmail.com>
Cc: "karnier@gmail.com" <karnier@gmail.com>
Subject: CUP 201200163

Hello Shaul and Erez,

Please read the attached letter regarding your project. The original will be mailed to you, along with the other attachments. Please note that you will still need to make major changes to the project as noted in the letter. Your project as currently proposed is likely to trigger many requirements from Public Works, Public Health as well as other requirements from Fire and Parks and Recreation. The project will probably need an EIR, which will be a very difficult and costly process, unless it is scaled down significantly. You need to at least reduce your uses so that the required parking does not exceed the parking provided, but it will probably have to be reduced a lot more to meet all of the departmental requirements and avoid costly public improvement costs and costs related to the EIR and environmental review process. Before the project can move forward the fees highlighted in the letter must be paid and the plans need to be revised as noted in the letter so that we can forward the plans to the other departments for review. Let me know if you have any questions. Thanks.

Richard Claghorn

Principal Regional Planning Assistant

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

cup 32222

[Quoted text hidden]

2 attachments

 **R2012-02971_letter3.pdf**
285K

 **Parking_RCUP201200163.pdf**
64K



shaul yakovi <shaul92@gmail.com>

Project R2012-02971

13 messages

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Tue, Jun 14, 2016 at 10:19 AM

Hello Shaul,

I extended the due date for corrections to July 20, 2016. I received an email from Sami Maalouf last week that said he was going to provide updated drawings before the June 20 deadline. If possible, the drawings should be provided before June 20, or soon thereafter. However, since you think more time may be needed, and since I'll be on vacation between June 24 and July 10, I decided to provide an extension. I can schedule an appointment in July as you requested to submit the corrections. Let me know if Monday, July 18 at 1:00 pm is okay. If not, let me know another day and time when you can come in. Thanks.

Richard Claghorn

Principal Regional Planning Assistant

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

shaul yakovi <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Tue, Jun 14, 2016 at 3:09 PM

Ok sound good
Thanks
ShaulSent from my iPhone
[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Tue, Jul 19, 2016 at 11:33 AM

Hi Shaul,

I rescheduled the meeting for Wednesday, July 27 at 1:00 pm. Previously the meeting was set for July 18, although July 20 was the deadline, so that may have been the reason for the confusion (see below). I'll extend the deadline until at least July 27, and we will go over it next week in more detail at that time. Please confirm if that time works for you. Thanks.

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Tue, Jul 26, 2016 at 11:26 AM

Hi Shaul,

Based on our conversation today, I've rescheduled our meeting to next Wednesday, Aug. 3, at 1:00 pm. I hope you feel better soon.

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Tue, Aug 2, 2016 at 9:27 AM

Hi Shaul,

I've rescheduled the meeting to Wednesday, August 10 at 1:00 pm based on our conversation today. Please confirm that this time will be okay. Thanks.

Richard Claghorn

Principal Regional Planning Assistant

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Wed, Aug 10, 2016 at 4:51 PM

Hi Shaul,

Thank you for coming in today and for the revised plans. I've attached a copy of the 3/23/16 correction letter with notes based on the new information. I checked off items 1, 3, 10, 11 and 13, which have been completed. Item 12 was mostly completed, but we're still lacking the floor plans for the 3,500 sf guest units. I've also attached a spreadsheet with an updated parking analysis based on the revised plans. In this analysis, I eliminated 9 cabin units that were at least partly within the 30' setback area (see item 7 in letter). However, if you choose to relocate some of these units, you'll need to make sure they're reflected in the updated parking analysis. If a floor plan is done for the restaurant (Bldg 24) and a new occupant calculation is obtained from Building and Safety for it, then you're likely to be able to get a further reduction in the parking requirement. Based on the updated analysis, you're required to provide 409 parking spaces. The last site



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Richard J. Bruckner
Director

March 23, 2016

Shaul Yakovi/Erez Karni
32222 Agua Dulce Canyon Rd.
Agua Dulce, CA 91390

SUBJECT: REQUEST FOR REVIEW MATERIALS
Project: R2012-02971 – (5)
Case: CUP No. 201200163
Address: 32222 Agua Dulce Canyon Rd.

Dear Applicant:

The Department of Regional Planning is currently reviewing the project identified above and has determined that additional materials and information are required before we can proceed further. This is an update to the previous letter from July 15, 2015 following your submittal of revised plans on February 2, 2016. Please address the following items and submit the necessary additional items by **June 20, 2016** or the project may be **DENIED** due to inactivity:

SITE PLAN

- ✓ 1. "Guest house" 12C is located within a slope easement. Structures are not allowed within a slope easement. The structure must be removed or relocated.
2. The new site plan shows 18 new parking spaces that were added to the parking lot in the southwest part of parcel 27 and northwest part of parcel 28. A minimum of 26 feet of backup area is required for all standard parking spaces. The site plan does not show where the edge of this parking lot is. According to the topographic map for RPP 200900080, which previously approved a 36-space parking area there, there are steep slopes within part of the expanded parking lot area, which would require additional grading. A revised grading plan with total grading amounts (cubic yards of cut and fill) will need to be provided to account for the expanded parking lot area and other proposed changes to the site where grading is required. Parking lots may not have slopes exceeding 5%, so if the slopes exceed 5%, grading will be needed to flatten out the parking areas. The site plan needs to include a detailed topographic map in order to see what the existing grade is in the parking areas and other sloping areas of the site. The edges of the parking areas also need to be clearly defined. There is no clear eastern edge to the backup area for the parking spaces on parcel 27 between the handicapped spaces and tennis courts, so it's not clear if the required 26 feet of unobstructed backup area will be provided.
- ✓ 3. The dining pad (#11) was changed to a photo pad on the latest revised site plan. However, there is still a small kitchen shown adjacent to the pad, so we would still consider it a dining pad, even though it is now labeled "photo pad". In order to have it not classified as a dining pad, along with the requirement for 78 parking spaces, the adjacent kitchen would need to be eliminated and the pad could not be used as a dining area.
4. Guard shack #40 west of parcels 54 and 28 is in the public right-of-way, and so is part of the gate. The dashed line on the site plan that runs through the gate and east of the guard

Need to
show
parking

site plan but none match the same dimensions. Using the scale, approximate dimensions appear to be 32' x 32' for building #8, 12' x 47' for buildings #21 and #42, 18' x 60' for buildings #22 and #23, and 27' x 50' for building #43. Please make sure building dimensions are accurate and consistent on the site plan, floor plans, and elevations for all structures.

14. Include the existing and proposed floor plans for the restaurant structure (building #24) and clearly show any alterations being proposed for the building, and for any other existing structures being altered. Obtain an occupant load determination from Building & Safety for the restaurant, based on the proposed floor plan. The existing occupant load count for the restaurant is 134. A much lower occupant load count would be possible based on a more detailed floor plan showing the dining area, kitchen area, restrooms, and the interior layout of the restaurant. Required parking for the restaurant is based on one space per 3 occupants.

APPLICATION/PROJECT DESCRIPTION

15. The project description gives the project area as 94 acres. However, adding up the areas of the 8 parcels listed on the Assessor's maps gives a total of 90.63 acres. Since there are 3 parcels which now are no longer part of the project area, the project area needs to be updated. Based on Assessor's records, it appears the 5 remaining parcels have a combined area of 61.75 acres.
16. In the project description (page 2, paragraph 3) it says the existing hillsides would remain in their natural state. No proposed grading is listed on the application form. However, there will clearly need to be significant amounts of grading to accomplish the project. The previous plot plan approval (RPP 200900080) included 12,983 cubic yards of cut and 3,214.88 cubic yards of fill. Proposed export was listed as 682.7 cubic yards. This grading was related to a proposed parking area that apparently has not yet been started, and which is still proposed. Since this parking area is still proposed, and since it also appears grading may be needed for some of the other development in sloping areas, the grading must be included in the project description. Please provide the total amount of proposed grading (cut and fill, in cubic yards) as well as indicating the total square footage of the areas to be graded.
17. In the project description (second paragraph) it says all proposed improvements will be kept out of the flood zone. You don't have to discuss the flood zone in the project description, but if you do it needs to be accurate. It appears a number of buildings and other improvements are located in the FEMA flood zone, including the restrooms (#4), photo/dining pad (#11), tennis and basketball courts, spa (#31 & #33), and snack bar (#44). Public Works will need to review the flood zone issues, but you should be aware that these buildings and improvements may need to be modified, removed or relocated.
18. The project description mentions some proposed uses that are not labeled on the site plan. No equestrian facilities or stables are identified on the site plan, even though they're mentioned in the description. If any such facilities exist or are proposed, please show them on the site plan. Indicate how many horses are to be kept there and show the stalls on the floor plan of any stables. Describe the purpose of the stables. Are they for keeping horses owned by the owner, to provide horse rides for guests, boarding of horses, or some other purpose? Please provide a description of how the equestrian facilities are to be used and show where they are located.
19. The description mentions a juice bar, but this is not shown on the plan. Is this use the same as the snack bar?
20. A soccer field is mentioned in the description but is not shown on the site plan. It should be

four parcels for RPP 200900080, but since there are buildings crossing lot lines and shared parking and facilities, all 8 parcels will need to be tied together with a covenant to hold as one parcel. A copy of the draft covenant is attached. The complete legal description must be attached as Exhibit "A", and it must be signed, notarized and recorded. This can be done after the public hearing.

34. This project does not qualify for a categorical exemption under CEQA and requires an Initial Study. Please pay the Initial Study fee and required referral fees. You've already paid \$310 for the Environmental Assessment Initial Review. You'll need to pay an additional \$4,288 to cover the Environmental Assessment Initial Study (Negative Declaration) fee and agency referral fee of \$1,026 for the Department of Public Works and \$433 for the Department of Parks and Recreation. The \$310 you've paid for the Environmental Assessment (ENV) will be deducted from the \$3,139 Initial Study (Negative Declaration) fee, for a balance of \$2,829 ($\$2,829 + \$1,026 + \$433 = \$4,288$). Please note that these fees will need to be paid by the same payer as the \$310 ENV fee (Ronit Waizgen and Shaul Yakovi). If the payer is different the fee will be \$310 higher, and a refund could be requested for the \$310 already paid. The Initial Study is required to evaluate the impacts to the environment of the proposed project and will require consultation with other agencies. Additional information may be requested to complete the environmental review. As currently designed, this project will likely require an Environmental Impact Report (EIR) due to the likelihood of significant impacts due to the large scope of the proposed development. A final environmental determination can't be made until the other departments have had a chance to comment on the project, and they can't provide comments until the required fees are paid. Because of the large number of guest rooms and other uses, other information may be required by other departments, possibly including a traffic study, for example. In order to avoid such requirements, and to avoid an EIR, the project will likely need to be reduced in scope significantly, so that impacts can be avoided or satisfactorily mitigated.
35. The following CUP referral fees are also required before the project can progress: Fire Department referral fee of \$263, Department of Parks and Recreation referral fee of \$512 and Department of Public Health referral of \$609. Please note that checks should be made out to Los Angeles County and not to the individual departments, and are paid at Regional Planning. Planning fees may be made out to LA County Regional Planning.

Please provide a digital copy of any revised plans on a CD or by email, plus 3 full-size hard copies of the plans.

The above list provides a summary of issues that will need to be addressed for this project, although other issues may be identified after consultation with other County departments or other agencies. Some issues may be addressed later in the review process, but some must be addressed prior to the consultation with the other County departments. The most critical issues to be addressed are item #34 and 35 (required fees). Items 1-11 and 14-28 also need to be addressed before the project will be ready to be circulated to the other County departments.

Please note that the Agua Dulce Town Council is a local body that has reviewed and provided comments on land use projects in Los Angeles County. It is recommended that you contact the Town Council to help gain community support for your project. To present before the Agua Dulce Town Council, please contact the Agua Dulce Town Council at the following address to arrange a meeting: 33201 Agua Dulce Canyon Road Box #8, Agua Dulce, CA 91390.

plan showed 358 spaces, so it's still short on parking. You'll also still need at least 18 bike parking spaces (11 short term and 7 long term).



For reference, I've also attached a copy of the application form, which includes a project description. Please provide an updated project description with correct and current information. I've also included a link to the COC application form, which is required for parcel 54.

<http://planning.lacounty.gov/apps>

Let me know if you have any questions, or if you're ready to schedule an appointment to submit the revised plans, fees, etc. Thanks.

[Quoted text hidden]

3 attachments

-  **IncompleteLetter4(updated8-10-16).pdf**
142K
-  **buildingsRCUP201200163_update_8-10-16.xlsx**
21K
-  **R2012-02971_app.pdf**
1407K

shaul yakovi <shaul92@gmail.com>
To: Sami Maalouf <sami@midesigncorp.com>

Mon, Sep 19, 2016 at 6:41 AM

[Quoted text hidden]

3 attachments

-  **IncompleteLetter4(updated8-10-16).pdf**
142K
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21K
-  **R2012-02971_app.pdf**
1407K

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>
Cc: "karnier@gmail.com" <karnier@gmail.com>

Wed, May 24, 2017 at 4:30 PM

Good afternoon,

We had an appointment scheduled for today at 1:00 pm but you weren't here. I hope everything is okay. I just realized that the attachment I sent you on 8/10/16 where I sent a copy of the correction letter with some handwritten notes was missing some pages. I'm sending you a revised version with all pages. I also updated the fees for items 34 & 35, which have increased since the last letter. Let me know if you'd like to reschedule the appointment, and what day(s) and time(s) you'd prefer. Thanks.

[Quoted text hidden]

Incomplete_Letter4(Updated_5-24-17).pdf

 259K

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>
Cc: "karnier@gmail.com" <karnier@gmail.com>

Tue, Nov 21, 2017 at 2:03 PM

Hello Shaul,

It was good to see you today. Let me know if you'd be able to meet in January to discuss the attached letter regarding your project. My suggested meeting time is Monday, January 8 at 2:00 pm. Please confirm if that time would be okay, or if you would prefer a different day and/or time. Thank you and I hope you have a good Thanksgiving.

[Quoted text hidden]

 **Incomplete_Letter4(Updated_5-24-17).pdf**
259K

shaul yakovi <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Tue, Nov 21, 2017 at 3:04 PM

Hello Richard
It was nice to see you today
Can we meet on jan 25 at 2

Thank you
Shaul Yakovi

Sent from my iPhone

[Quoted text hidden]

<Incomplete_Letter4(Updated_5-24-17).pdf>

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Tue, Nov 21, 2017 at 3:14 PM

Hello Shaul,

Yes, I've put you on the calendar for January 25 at 2:00 pm and will plan to see you then. I'll send a reminder closer to the meeting date. Thanks.

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Tue, Nov 21, 2017 at 3:25 PM

Ok thanks

Sent from my iPhone

[Quoted text hidden]

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Wed, Jan 17, 2018 at 4:52 PM

Hello Shaul,

Thanks for the site visit today. This is a reminder that our meeting time for Jan. 25 will be at 2:00 pm. I've attached the most recent correction letter. The fees that are required are items #34 and #35 in the letter. The current fee amounts are written in red pen on this page. The most important at this time are the fees for item #35, the CUP referral fees. These fees are currently \$362 for Fire, \$522 for DPR and \$621 for DPH. These fees need to be paid as soon as possible so we can continue processing the CUP. The other fees listed in item #34 are also important, but could be paid later. However, they need to be paid before we can process the Initial Study. We can discuss it further next week. Please look over the letter before our meeting and let me know if you have any questions about it. Thank you.

[Quoted text hidden]

 **Incomplete_Letter4(Updated_5-24-17).pdf**
259K



shaul yacovi <shaul92@gmail.com>

Fwd: prints for shaul yacovi

3 messages

shaul yacovi <shaul92@gmail.com>
To: Richard clag <rclaghorn@planning.lacounty.gov>

Tue, Feb 2, 2016 at 2:34 PM

Sent from my iPhone

Begin forwarded message:

From: Sami Maalouf <sami@midesigncorp.com>
Date: January 29, 2016 at 11:16:28 AM PST
To: Onsite Graphics <mail@onsitereprographics.com>, shaul yacovi <shaul92@gmail.com>
Subject: prints for shaul yacovi

4 copies please thank you

Sami Maalouf, PE
MI Design, Inc.
818.881.1135 (Office)
818.402.4485 (Cell)
818.479.9690 (Fax)
www.midesigncorp.com
Planning ◦ Design ◦ Engineering



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 SITE PLAN JAN 2016.pdf
735K

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yacovi <shaul92@gmail.com>

Wed, Mar 23, 2016 at 4:09 PM

Hello Shaul,

Please read the attached letter based on the revised plans. Let me know if you have any questions. Thanks.

Richard Claghorn

Principal Regional Planning Assistant

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

2 attachments

 **R2012-02971_letter4.pdf**
280K

 **buildingsRCUP201200163_update_2016.pdf**
66K

shaul yacovi <shaul92@gmail.com>
To: erez karni <karni69@gmail.com>

Fri, Mar 25, 2016 at 1:19 PM

Sent from my iPhone

Begin forwarded message:

[Quoted text hidden]

2 attachments

 **R2012-02971_letter4.pdf**
280K

 **buildingsRCUP201200163_update_2016.pdf**
66K

Gardens of Paradise (2016 update)

number	building description	sq. ft.	occ. load	New/exist	Parcel	pkg. req.	pkg. ratio
1	storage	2,000	7	N		25	2.3 1/3 occ
2	kitchen	2,000	10	N		25	3.3 1/3 occ
3	(deleted)						
4	restrooms	400	0	N		25	0
5	pavilion canopy	8,205	547	E	25-26		182.3 1/3 occ
6	office	1,914	19	E		26	4.8 1/400
7	restrooms	735	0	E		26	0
8	kitchen	1,000	5	N		26	1.7 1/3 occ
9	storage	2,000	8	N		27	2.7 1/3 occ
10	restrooms	735	0	E		26	0
11	reception dining /photo pad	150	234	N		27	78 1/3 occ
12	guest A	3,500	18	N		25	2 2/unit
	guest B	3,500	18	N		25	2 2/unit
	guest C	3,500	18	N		25	2 2/unit
	(deleted)						
	guest D	3,500	18	N		26	2 2/unit
	guest E	3,500	18	N		26	2 2/unit
13	cabins 1-9	2,370	18	N		25	9 1/unit
	cabins 10-19	2,633	20	N		25	10 1/unit
	cabins 20-23	1,058	8	N		25	4 1/unit
	cabins 24-30	1,845	14	N		25	7 1/unit
	cabins 31-35	1,320	10	N		25	5 1/unit
	cabins 36-38	795	6	N		25	3 1/unit
14	guard shack	47	1	E		26	1 1/guard
15	storage	2,400	8	N		54	2.4 1/1000
16	hair salon	2,400	48	N		54	9.6 1/250
17	storage	2,400	40	N		54	2.4 1/1000
18	nail salon	2,400	48	N		54	9.6 1/250
19	spa	2,400	48	N		54	16 1/3 occ
20	spa	2,400	48	N		54	16 1/3 occ
21	storage	1,000	4	E		54	1 1/1000
22	shower	1,000	0	N		54	0
23	restrooms	1,000	0	N		54	0
24	restaurant/storage	2,000	134	E		54	44.7 1/3 occ
25	shack	48	1	E		54	1 1/guard
26	2-story house	1,460	10	E		54	2 2/unit
27	2-story guest house	1,400	7	E		54	0
28	caretaker mobile home	1,200	6	E		54	2 2/unit
29	shack	200	1	E		54	1 1/guard
	shack (by cabins)	40		N		54	1 1/guard
30	restrooms	500	0	N		54	0
31	spa	1,500	30	N		54	10 1/3 occ
32	cabins 39-40	533	4	N		54	2 1/unit
	cabins 41-42	533	4	N		54	2 1/unit
	cabins 43-46	1,058	8	N		54	4 1/unit

cabins 47-48	533	4 N	54	2 1/unit
cabins 49-59	2,895	22 N	54	11 1/unit
cabins 60-61	533	4 N	54	2 1/unit
33 spa	1,500	30 N	54	10 1/3 occ
40 guard shack	150	1 N	54	1 1/guard
42 laundry	1,000	0 N	54	0
44 snack bar	531	14 N	54	10 10 min.
subtotal	81,718	1,521		487
other uses				
pond		E	25-26	0
tennis court 1		N	27	2 2/court
tennis court 2		N	27-28	2 2/court
basketball court 1		N	28	3.33 1/3 players
basketball court 2		N	28	3.33 1/3 players
pool 1		E	54	0
pool 2		E	54	0
pool 3		E	54	0
pool 4		E	54	0
Total				497

Total required 497
Total Provided 358

Parking provided	parcel(s)	spaces
hillside parking lot	25-26	167
handicapped spaces	26-27	8
hillside parking lot 2	27-28	54
creekside parking area	26-28	115
guest unit garages	25-27	10
Parcel 54 parking	54	4
		358

Building area breakdown

guest rooms/cabins	33,603
dance pavilion	8,205
residential	4,060
other commercial uses	35,850
total commercial uses	44,055

Bicycle parking	units	sf	short term	long term
guest rooms	66	33,603	2.0	3.3
commercial		44,055	8.8	3.7
total			10.8	7.0



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Richard J. Bruckner
Director

March 23, 2016

Shaul Yakovi/Erez Karni
32222 Agua Dulce Canyon Rd.
Agua Dulce, CA 91390

SUBJECT: REQUEST FOR REVIEW MATERIALS

Project: R2012-02971 – (5)

Case: CUP No. 201200163

Address: 32222 Agua Dulce Canyon Rd.

Dear Applicant:

The Department of Regional Planning is currently reviewing the project identified above and has determined that additional materials and information are required before we can proceed further. This is an update to the previous letter from July 15, 2015 following your submittal of revised plans on February 2, 2016. Please address the following items and submit the necessary additional items by **June 20, 2016** or the project may be **DENIED** due to inactivity:

SITE PLAN

1. "Guest house" 12C is located within a slope easement. Structures are not allowed within a slope easement. The structure must be removed or relocated.
2. The new site plan shows 18 new parking spaces that were added to the parking lot in the southwest part of parcel 27 and northwest part of parcel 28. A minimum of 26 feet of backup area is required for all standard parking spaces. The site plan does not show where the edge of this parking lot is. According to the topographic map for RPP 200900080, which previously approved a 36-space parking area there, there are steep slopes within part of the expanded parking lot area, which would require additional grading. A revised grading plan with total grading amounts (cubic yards of cut and fill) will need to be provided to account for the expanded parking lot area and other proposed changes to the site where grading is required. Parking lots may not have slopes exceeding 5%, so if the slopes exceed 5%, grading will be needed to flatten out the parking areas. The site plan needs to include a detailed topographic map in order to see what the existing grade is in the parking areas and other sloping areas of the site. The edges of the parking areas also need to be clearly defined. There is no clear eastern edge to the backup area for the parking spaces on parcel 27 between the handicapped spaces and tennis courts, so it's not clear if the required 26 feet of unobstructed backup area will be provided.
3. The dining pad (#11) was changed to a photo pad on the latest revised site plan. However, there is still a small kitchen shown adjacent to the pad, so we would still consider it a dining pad, even though it is now labeled "photo pad". In order to have it not classified as a dining pad, along with the requirement for 78 parking spaces, the adjacent kitchen would need to be eliminated and the pad could not be used as a dining area.
4. Guard shack #40 west of parcels 54 and 28 is in the public right-of-way, and so is part of the gate. The dashed line on the site plan that runs through the gate and east of the guard

shack corresponds to the property line, based on the Assessor's map and on our GIS maps. They may not be located within the ROW or any future dedication area, so they must be removed or relocated. Also, the guard shack is listed as 150 square feet on the site plan, even though it appears to be about 35 square feet (5' x 7').

5. The proposed signs are shown within the ROW area. The sign locations must be relocated outside of the ROW.
6. The parking summary on the site plan is not accurate. The square footages are not listed correctly, the required parking information is incorrect, and most uses are not included. It lists 207 spaces provided, which is not accurate based on the current site plan. You don't need to have a complete parking summary on the site plan, but it should at least list the number of parking spaces provided and the number required. A detailed analysis can be included on a separate page. The number of parking spaces depicted on the revised plans is 358, which is still short of what is required. An updated parking matrix was prepared listing all of the proposed uses (see attached). The total number of required spaces, based on this analysis, is 497. It could be reduced to 419 if the kitchen is eliminated next to the "photo pad". Further reductions would be possible if more changes are made. The number of parking spaces will need to be increased substantially unless many of the uses are reduced or eliminated. Please provide a parking matrix incorporating any changes or corrections made to the project. The number of parking spaces provided must be equal to or greater than the number of spaces required.
7. The site is in a State Responsibility Area for fire protection. There is a requirement that a 30-foot setback must be maintained around the perimeter of the property. The Fire Department may allow modifications to this under certain circumstances, but it is strongly recommended that 30-foot setbacks be provided around the perimeter of the property. There are 5 guest cabin units on parcel 25 and 5 guest cabin units on parcel 54 that are currently less than 30 feet from the lot lines. These units should be deleted or relocated.
8. The project is subject to the Healthy Design Ordinance (HDO). Although the HDO was adopted after the submittal, its requirements are still applicable. The main requirement is that bicycle parking space needs to be provided. Based on the uses currently proposed on the 5 remaining parcels, a total of 11 short term and 7 long term bicycle parking spaces are required. This is based on the following ratios: one short term parking space per 40 guest rooms and one long term space per 20 guest rooms; one short term parking space per 5,000 square feet of other commercial buildings and one long term space per 12,000 square feet of other commercial buildings. Long term spaces must be covered, but short term spaces don't need to be covered. Bicycle parking spaces need to be a minimum of 2' x 6' each, and bike racks need to be provided. See the attached handout for additional details on the bike parking. Show the required bike spaces on the plan.
9. The parking lot east of the tennis courts includes some parking spaces which have less than 26 feet of backup area, based on the updated site plan. Please revise to comply with the 26-foot backup space requirement.
10. There is a square south of the snack bar (building #44) on the site plan that is unidentified. It appears to be a possible structure. Please indicate whether this is a structure and identify what it represents.

ARCHITECTURAL PLANS

11. The elevation plans for the houses show garages. Please show the driveways leading to the garages on the site plan.
12. Please provide floor plans and elevation plans for all proposed buildings or any buildings where work is being proposed. Some plans were provided, but many were not. No floor plans for the 3,500 sf guest units were provided, or for the 1,500 sf spa buildings, 2,400 sf buildings, 1,000 sf buildings, 500 sf restrooms, 400 sf restrooms, etc. Plans must show the building dimensions and must be drawn to scale.
13. Elevation plans were provided for a 1,000 square foot (25' x 40') structure, but it's not clear which structure it is intended to represent. Six 1,000 square foot buildings are shown on the

site plan but none match the same dimensions. Using the scale, approximate dimensions appear to be 32' x 32' for building #8, 12' x 47' for buildings #21 and #42, 18' x 60' for buildings #22 and #23, and 27' x 50' for building #43. Please make sure building dimensions are accurate and consistent on the site plan, floor plans, and elevations for all structures.

14. Include the existing and proposed floor plans for the restaurant structure (building #24) and clearly show any alterations being proposed for the building, and for any other existing structures being altered. Obtain an occupant load determination from Building & Safety for the restaurant, based on the proposed floor plan. The existing occupant load count for the restaurant is 134. A much lower occupant load count would be possible based on a more detailed floor plan showing the dining area, kitchen area, restrooms, and the interior layout of the restaurant. Required parking for the restaurant is based on one space per 3 occupants.

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19. The description mentions a juice bar, but this is not shown on the plan. Is this use the same as the snack bar?
20. A soccer field is mentioned in the description but is not shown on the site plan. It should be

deleted from the description unless it is shown on the site plan.

21. The project description on the application mentions installing a monument sign. Is this a separate sign from the ones previously approved on 2/19/13? If so, please show the sign location on the site plan and include a sign plan.
22. On the application form the description mentions a winery including testing (tasting?) and selling. No winery is shown on the site plan nor are any facilities for wine tasting or sales identified. The winery should be deleted from the application unless it is also included on the site plan and project description and more details are provided. The winery would also require architectural plans, additional required parking, and more detailed information, such as the amount of projected production, the source of the grapes, estimated number of employees, and other details of the proposed winery operation.
23. The application form states that new building construction will have an area of approximately 112,000 square feet. Please provide a detailed breakdown listing all of the structures and the size of each. Based on the information provided, I estimated the total of the new and existing structures as 81,718 square feet. However, this figure will need to be adjusted if any changes or corrections are made.
24. Please clarify the use of the snack bar. Indicate what types of food items will be sold there and whether it is similar to a take-out restaurant, juice bar, or a small retail food store.
25. Please explain what the purpose of the shacks on parcel 54 is (buildings #25 and #29 and the un-numbered shack next to the guest cabins). Are these guard shacks, storage shacks, or some other use?
26. The project description mentions concerts and other large events. Please include in the description the maximum number of people who would attend a concert or large event on the property, and an estimate of the largest total number of people who would be on the property (all 5 remaining parcels) at any one time, including employees and all other persons.
27. The application form needs to be updated to eliminate the parcels that are no longer part of the project and to update other project information which has changed.
28. The project description (page 2, first paragraph) says parking for 500 vehicles would be provided on site, including a parking lot for 350 vehicles. This information is not accurate and needs to be corrected. Please rewrite the project description with accurate and current information based on the changes to the project.

OTHER

29. Please provide one (1) copy of the articles of incorporation. The articles of incorporation are required to validate that the owner's signature is from an authorized person within the corporation.
30. Please provide additional color photographs of the proposed project area with a photo-key map. Number each photo and show the location/photo direction on the map. The photographs must be taken from ground-level perspective, not aerial views. Include photographs of all existing structures, areas of proposed structures, parking areas and other areas of the site to be developed. The photos provided show the dance pavilion canopy, entrance gate, existing office, handicap parking spaces, restroom structures, and pond on parcel 26. No photos of the existing structures on parcel 54 were provided. No photos have been provided for some other areas where structures are proposed, such as the guest cabins and guest units. More photos are needed to provide a complete picture of existing site conditions.
31. Please resolve the Public Health Environmental Health concerns from the letter dated 2/28/13 and resolve the violations with them.
32. A Certificate of Compliance (COC) is required for APN 3212-008-054 because new buildings are proposed on this parcel and there was no previous tract or parcel map creating the parcel and no prior COC. Please file a COC for Parcel 54. The COC fee is currently \$1,755.
33. A covenant to hold property as one parcel is required. A covenant was done for the north

four parcels for RPP 200900080, but since there are buildings crossing lot lines and shared parking and facilities, all 8 parcels will need to be tied together with a covenant to hold as one parcel. A copy of the draft covenant is attached. The complete legal description must be attached as Exhibit "A", and it must be signed, notarized and recorded. This can be done after the public hearing.

34. This project does not qualify for a categorical exemption under CEQA and requires an Initial Study. Please pay the Initial Study fee and required referral fees. You've already paid \$310 for the Environmental Assessment Initial Review. You'll need to pay an additional \$4,288 to cover the Environmental Assessment Initial Study (Negative Declaration) fee and agency referral fee of \$1,026 for the Department of Public Works and \$433 for the Department of Parks and Recreation. The \$310 you've paid for the Environmental Assessment (ENV) will be deducted from the \$3,139 Initial Study (Negative Declaration) fee, for a balance of \$2,829 ($\$2,829 + \$1,026 + \$433 = \$4,288$). Please note that these fees will need to be paid by the same payer as the \$310 ENV fee (Ronit Waizgen and Shaul Yakovi). If the payer is different the fee will be \$310 higher, and a refund could be requested for the \$310 already paid. The Initial Study is required to evaluate the impacts to the environment of the proposed project and will require consultation with other agencies. Additional information may be requested to complete the environmental review. As currently designed, this project will likely require an Environmental Impact Report (EIR) due to the likelihood of significant impacts due to the large scope of the proposed development. A final environmental determination can't be made until the other departments have had a chance to comment on the project, and they can't provide comments until the required fees are paid. Because of the large number of guest rooms and other uses, other information may be required by other departments, possibly including a traffic study, for example. In order to avoid such requirements, and to avoid an EIR, the project will likely need to be reduced in scope significantly, so that impacts can be avoided or satisfactorily mitigated.
35. The following CUP referral fees are also required before the project can progress: Fire Department referral fee of \$263, Department of Parks and Recreation referral fee of \$512 and Department of Public Health referral of \$609. Please note that checks should be made out to Los Angeles County and not to the individual departments, and are paid at Regional Planning. Planning fees may be made out to LA County Regional Planning.

Please provide a digital copy of any revised plans on a CD or by email, plus 3 full-size hard copies of the plans.

The above list provides a summary of issues that will need to be addressed for this project, although other issues may be identified after consultation with other County departments or other agencies. Some issues may be addressed later in the review process, but some must be addressed prior to the consultation with the other County departments. The most critical issues to be addressed are item #34 and 35 (required fees). Items 1-11 and 14-28 also need to be addressed before the project will be ready to be circulated to the other County departments.

Please note that the Agua Dulce Town Council is a local body that has reviewed and provided comments on land use projects in Los Angeles County. It is recommended that you contact the Town Council to help gain community support for your project. To present before the Agua Dulce Town Council, please contact the Agua Dulce Town Council at the following address to arrange a meeting: 33201 Agua Dulce Canyon Road Box #8, Agua Dulce, CA 91390.

Failure to disclose all pertinent information for consideration in the review of this case could result in delays, continuation of public hearings, new environmental analysis and/or additional costs. Additional materials may be required pending the outcome of consultation with other agencies.

If you have any questions regarding this matter, please contact Richard Claghorn at (213) 974-6443, from 7:30 a.m. to 5:30 p.m., Monday through Thursday or via email at rclaghorn@planning.lacounty.gov. Our offices are closed on Fridays.

Sincerely,

Department of Regional Planning
Richard J. Bruckner
Director

Richard Claghorn, Principal Regional Planning Assistant
Zoning Permits North Section



15445 VENTURA BLVD, SUITE 367
 SHERMAN OAKS, CA 91403
 TEL: (818) 402-4485
 FAX: (818) 479-9690
 www.midesigncorp.com

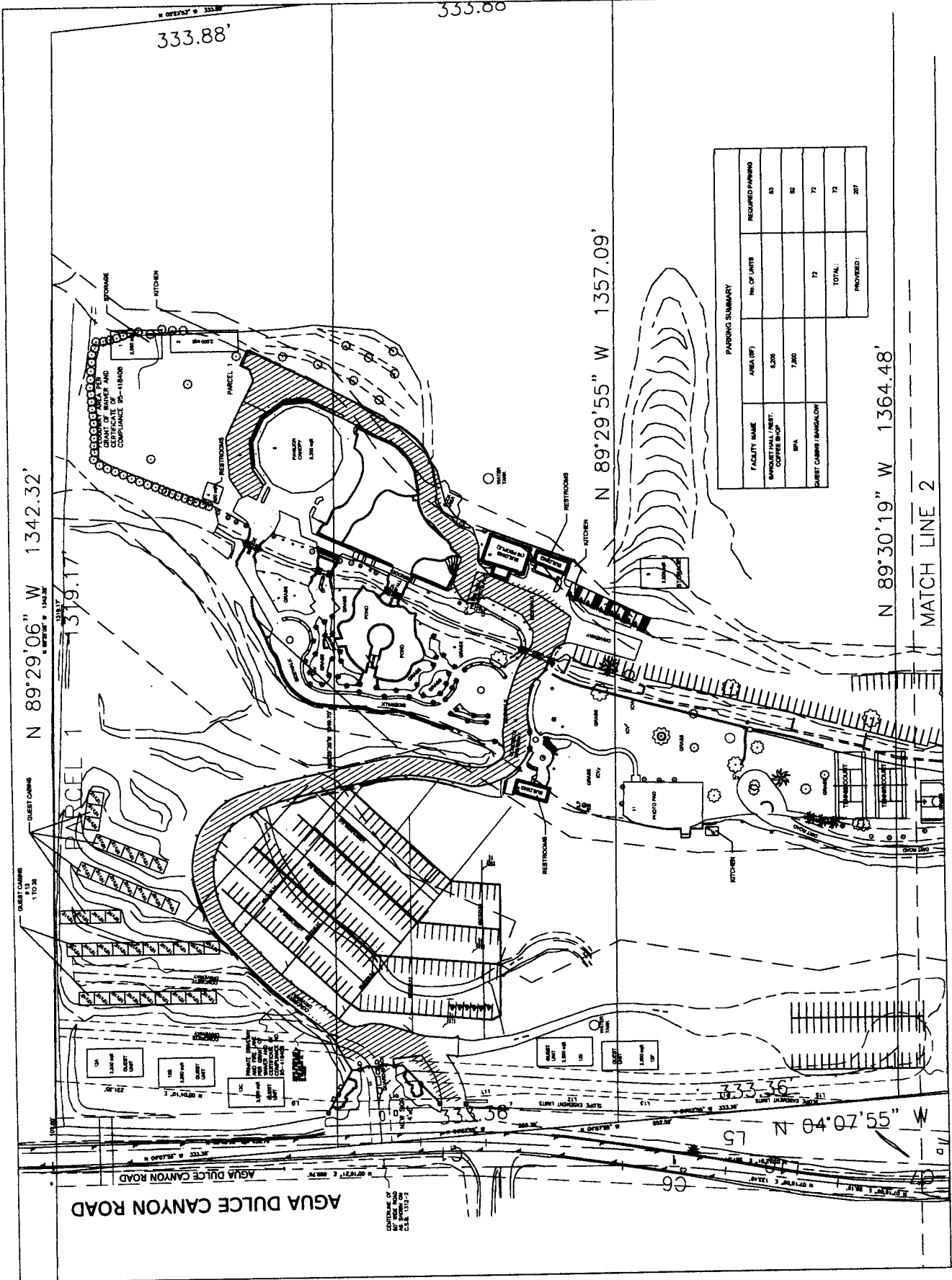
NO.	REVISIONS	DATE

BUILDINGS
 MASTER PLAN



PROJECT NAME AND ADDRESS
 BEN AND REEF GARDENS
 32222 AGUA DULCE CANYON RD., ST. CLARITA, CA 91390

PROJECT NAME AND ADDRESS
 NIT WAIZEN
 32222 AGUA DULCE CANYON RD., ST. CLARITA, CA 91390



PARKING SUMMARY			
FACILITY NAME	AREA (SF)	NO. OF SPOTS	REQUIRED PARKING
SHORT TERM VISIT	6,036	62	62
LONG TERM	7,960	62	62
QUEST CUBICLE (BATHROOM)	72	72	72
TOTAL		196	196
PROVIDED:			207



shaul yakovi <shaul92@gmail.com>

Agua

1 message

shaul yakovi <shaul92@gmail.com>

Tue, Feb 2, 2016 at 1:24 PM

To: Richard clag <rclaghorn@planning.lacounty.gov>

Hello Richard

This shaul I am running 30 minutes late

Thanks

Shaul

Sent from my iPhone



shaul yakovi <shaul92@gmail.com>

32222 Agua dulce

2 messages

shaul92@gmail.com <shaul92@gmail.com>

Thu, Oct 8, 2015 at 12:36 PM

To: "rclaghorn@planning.lacounty.gov" <rclaghorn@planning.lacounty.gov>

Hi Richard
We running late Can we be there at 3 3.30 please
Thanks shaul
213 923 5225

Sent from my iPhone

shaul92@gmail.com <shaul92@gmail.com>

Thu, Oct 8, 2015 at 1:14 PM

To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Thanks will be there

Sent from my iPhone

> On Oct 8, 2015, at 1:05 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

>

> Hi Shaul,

>

> That should be okay. Thanks for the notice.

>

>

> Richard Claghorn

> Principal Regional Planning Assistant

> Zoning Permits North Section

> Department of Regional Planning

> 320 W. Temple Street, Room 1348

> Los Angeles, CA 90012

> Phone: 213-974-6443

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Fwd: Ben & Reef Gardens inquiries

2 messages

shaul92@gmail.com <shaul92@gmail.com>
To: erez kami <kami69@gmail.com>

Thu, Jun 11, 2015 at 7:32 PM

Sent from my iPhone

Begin forwarded message:

From: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Date: June 11, 2015 at 3:57:57 PM PDT
To: "shaul92@gmail.com" <shaul92@gmail.com>
Subject: Ben & Reef Gardens inquiries

Hello Shaul,

As I mentioned on the phone earlier, Robert Stenson of Equassure came into our office on March 4, 2015, inquired about your property, and gave me his business card. His phone # is 310-335-9350 and email is rstenson@equassure.com . I was later contacted on March 31 via email by David Rosenthal, who also asked about your property. I also spoke with him over the phone. His contact information is listed below:

David Rosenthal

Rosenthal Land Advocates, Inc.
Office: 949-943-3926

Cell: 949-943-2926

david@rosenthallandadvocates.com

Lic. 01173980

P.O. Box 50844, Irvine, CA 92619

[Click Here To See What People Are Saying About Us!](#)**Richard Claghorn**

Principal Regional Planning Assistant

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>

Thu, Jun 18, 2015 at 5:26 PM

Hello Shaul,

I think it will be better for you to bring in the revised plans, referral fees, and the other information requested in the May 12, 2015 letter to our office rather than at a visit to the property in Agua Dulce. I still want to visit the site again, but it probably won't be in July as we had discussed last week. Let me know if you would like to submit the revisions on July 7 as we talked about, or if you would like to do it another day. You can choose another day to submit, but it needs to be before the August 12 deadline. Let me know your preferred day and time and I will confirm if I'm available. Thanks.

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

cup violation

1 message

shaul yakovi <shaul92@gmail.com>
To: Rachel Milman <rachelsmilman@gmail.com>
Cc: joesafran@yahoo.com

Sun, Dec 14, 2014 at 7:48 PM

 **RCUP201200163letter.pdf**
279K



shaul yakovi <shaul92@gmail.com>

Fwd: ben and reef garden Ronit

1 message

shaul yakovi <shaul92@gmail.com>
To: joesafran@yahoo.com

Wed, Nov 19, 2014 at 11:02 AM

----- Forwarded message -----

From: shaul yakovi <shaul92@gmail.com>
Date: Thu, Dec 18, 2008 at 2:19 PM
Subject: ben and reef garden Ronit
To: LDPorterfield@comerica.com

----- Forwarded message -----

From: Claghorn, Richard <rclaghorn@planning.lacounty.gov>
Date: Thu, Dec 18, 2008 at 10:15 AM
Subject: FW: 32222 Agua Dulce Canyon Rd.
To: shaul92@gmail.com

I sent the e-mail below to Building and Safety based on our discussion on Tuesday.

Richard Claghorn

From: Claghorn, Richard
Sent: Thursday, December 18, 2008 10:10 AM
To: 'rbagby@dpw.lacounty.gov'; 'lcozby@dpw.lacounty.gov'; 'jmccarne@dpw.lacounty.gov'
Cc: Gomez, Oscar; Paidar, Nooshin
Subject: 32222 Agua Dulce Canyon Rd.

Mr. Shaoul Yakovi has requested that we write to you concerning the status of the property at 32222 Agua Dulce Canyon Road. There are 8 parcels in all.

The applicant has agreed to submit a site plan review for the renovation of the existing residence on parcel 3212-008-054. They have not yet filed the case, but plan to soon. The site plan review will only be for the remodeling of the residence and will not include the other work on the property. We have agreed to process this case separately from the CUP.

The applicant has agreed to submit a CUP for this same parcel (54) for an RV Park/campground/snack bar/caretaker residence and related uses, including grading/solid fill on the property. There was a previous CUP for an RV Park/caretaker's residence that has expired. They have not filed the case yet but plan to do so soon according to a letter we received from them.

The applicant is also seeking approval for parcels 3212-007-025 and -026. They want approval for holding outdoor events such as weddings, birthday parties, business conferences and other events. There was also some grading work done on these parcels for some ponds and some structures were built without permits. We are still in the process of determining what the appropriate permitting procedures will be for this property. We will notify you of the process that will be required once that has been determined. It will be either a site plan review or CUP.

The applicant has indicated to us that they do not plan on using APN 3212-007-027 and -028, APN 3212-008-051 and -052 and APN 3212 -004-012 at this time for any use and they plan to keep them as vacant parcels. Parcels 12, 51 and 52 have an existing driveway that will continue to provide access to parcel 54, but no other uses are proposed on these parcels according to the applicant.

Our Zoning Enforcement section has cited the property owner for violations on parcels 25, 26 and 54. They are in the process of working to correct the violations, and the applications they are filing will be part of this process. There are no current zoning violations on parcels 12, 51, 52, 27 and 28. The applicant has asked for our clearance for these vacant parcels but since there is no proposed use on these parcels there is nothing for us to review. They have reportedly done some work in the stream bed on parcels 27 and 28. We believe this work will require clearance from the Department of Fish and Game, but no Regional Planning approval would be needed for these parcels based on the information we have. If you have any questions regarding the Zoning Enforcement issues you may contact Oscar Gomez.

Let me know if you have any questions regarding any of the above properties. I'll be out of the office next week so if you have questions about the case during that time you may contact Oscar Gomez or Nooshin Paidar.

Richard Claghorn



shaul yakovi <shaul92@gmail.com>

Fwd: Ben & Reef Gardens

1 message

shaul yakovi <shaul92@gmail.com>
To: joesafran@yahoo.com

Wed, Nov 19, 2014 at 10:01 AM

----- Forwarded message -----

From: **Erez Karni** <karnier@gmail.com>
Date: Thu, Jun 6, 2013 at 11:07 AM
Subject: Ben & Reef Gardens
To: Bemitnick@comerica.com

Dear Barry,

Per our last phone conversation we are hereby sending you some of the paperwork that reflect the L.A. County demands to finalize our site plan application for the dance pavilion.

As you can see on the letters the county requires the handicap pavement, pavement of the lower parking, grading/constructing (the upper parking area) which includes retaining walls etc.

Other than that we have to finish all fire department requests and building and safety to approve the structures.

Please let us know asap how we can proceed with obtaining a loan against the Van Nuys properties. Like we have discussed before.

We see no other options at this time the place is 90% completed. And our deadline is August 24, 2013.

Please attachment below.

Best regards,

Erez Karni and Shaul Yakovi

Richard Claghorn <rclaghorn@planning.lacounty.gov> 12/11/12

to me, shaul, Mark

Hello,

I just wanted to send you a reminder about the approaching Zone Change and plan implementation. The effective date is December 27, 2012. That means that you must submit a complete application before then to be able to take advantage of the exemption for complete applications filed before the deadline.

A letter was sent dated Nov. 15 on this matter (see attached).

Basically, you'll need to submit an amendment to the site plan showing only the parking spaces you intend to develop by the time the plot plan expires on August 24, 2013. The amendment must be submitted by Dec. 26. Otherwise, you'll be expected to provide all the parking shown on the previous approval. The plot plan must be used by the Aug. 24 deadline, meaning that all the necessary permits must be secured by that date and you must begin work to effectuate the permits by that date, and the permits must remain active until the project is completed. Even if you use the permit by Aug. 24 and complete the required parking and legalize the structures, there will be a 5 year amortization period. Signage may also be included as part of the amendment.

4/30/2021

Gmail - Fwd: Ben & Reef Gardens

It is also recommended that you file a CUP before the effective date as we discussed before. You should schedule a filing appointment as soon as possible if you wish to avoid the more restrictive requirements that take effect on Dec. 27. A CUP would give you potentially a much longer time horizon to continue the use and more flexibility in what you're allowed to do on the property, so it appears this would be your best option at this time. Let me know if you have any other questions about it. Thanks.

Richard Claghorn

Land Development Coordinating Center

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6278

 **3848001319452.DOCUMENT.PDF**
121K



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Richard J. Bruckner
Director

October 10, 2012

NOTICE OF VIOLATION

Ben and Reef Gardens Inc
Attn: Ronit Waizgen, President
5837 Donna Avenue
Tarzana, CA 91356

RFS No: 12-0025596/EF084570

Dear Property Owner/Tenant:

An inspection was conducted at Assessor's Parcel Number 3212-007-026 located in Agua Dulce and it disclosed the following violation(s):

1. **Several unpermitted structures (offices and restrooms) are being maintained on the premises without complying with approved plot plan no. 200900080 and without meeting development standards - 22.40.010, 22.40.020, 22.40.180, 22.40.190 and 22.40.230**

This is not a permitted use in zone R-R and is in violation of the provisions of the Los Angeles County Zoning Ordinance Section(s) listed above.

Be advised that the subject property will be rezoned to A-1 (Light Agricultural Zone) and an outdoor dance pavilion is not a permitted use in zone A-1. You must obtain all required permits and approval and bring the property into compliance prior to the effective date of the new zone. Additionally, Plot Plan no. 200900080 expired on 8/24/2012.

Please consider this an order to comply with the provisions of the zoning ordinance **within thirty (30) days upon receipt** of this letter. Failure to correct the violation(s) found at Assessor's Parcel Number 3212-007-026 located in Agua Dulce may cause this matter to be referred to the District Attorney with the request that a criminal complaint be filed if compliance is not achieved. Conviction can result in a penalty of up to six months in jail and/or a \$1,000.00 fine, each day in violation constituting a separate offense. **In addition to criminal prosecution, you may be subject to a noncompliance fee of \$691.00 and the imposition of further administrative and collection fees totaling approximately \$2,419.00.**

Any inquiry regarding this matter may be addressed to the Department of Regional Planning, 320 W. Temple Street, Los Angeles, CA 90012, Attention: Zoning Enforcement. To speak directly with the investigator, **Amir Bashir**, please call 661-222-2940 or 213-974-6455 before 10:00 a.m. Monday through Thursday. Our offices are closed on Fridays.

Sincerely,

DEPARTMENT OF REGIONAL PLANNING

Richard J. Bruckner

Director

Oscar A. Gomez

Supervising Regional Planner
Zoning Enforcement North



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Richard J. Bruckner
Director

October 10, 2012

NOTICE OF VIOLATION

Ben and Reef Gardens Inc
Ronit Waizgen, President
5837 Donna Avenue
Tarzana, CA 91356

RFS No: 12-0025593/EF084571

Dear Property Owner/Tenant:

An inspection was conducted at Assessor's Parcel Number 3212-007-025 and it disclosed the following violation(s):

1. **An outdoor dance pavilion (tent structure) is being maintained on the premises without complying with approved plot plan no. 200900080 and without meeting development standards – 22.40.010, 22.40.020, 22.40.180, 22.40.190 and 22.40.230**

This is not a permitted use in zone R-R and is in violation of the provisions of the Los Angeles County Zoning Ordinance Section(s) listed above.

Be advised that the subject property will be rezoned to A-1 (Light Agricultural Zone) and an outdoor dance pavilion is not a permitted use in zone A-1. You must obtain all required permits and approval and bring the property into compliance prior to the effective date of the new zone. Additionally, Plot Plan no. 200900080 expired on 8/24/2012.

Please consider this an order to comply with the provisions of the zoning ordinance **within thirty (30) days upon receipt** of this letter. Failure to correct the violation(s) found at Assessor's Parcel Number 3212-007-025 may cause this matter to be referred to the District Attorney with the request that a criminal complaint be filed if compliance is not achieved. Conviction can result in a penalty of up to six months in jail and/or a \$1,000.00 fine, each day in violation constituting a separate offense. **In addition to criminal prosecution, you may be subject to a noncompliance fee of \$691.00 and the imposition of further administrative and collection fees totaling approximately \$2,419.00.**

Any inquiry regarding this matter may be addressed to the Department of Regional Planning, 320 W. Temple Street, Los Angeles, CA 90012, Attention: Zoning Enforcement. To speak directly with the investigator, **Amir Bashir**, please call 661-222-2940 or 213-974-6455 before 10:00 a.m. Monday through Thursday. Our offices are closed on Fridays.

Sincerely,

DEPARTMENT OF REGIONAL PLANNING

Richard J. Bruckner

Director


Oscar A. Gomez

Supervising Regional Planner
Zoning Enforcement North



shaul yakovi <shaul92@gmail.com>

Agua

2 messages

shaul92@gmail.com <shaul92@gmail.com>
To: Richard clag <rclaghorn@planning.lacounty.gov>

Wed, May 28, 2014 at 11:19 AM

Hi Richard
We like to change t date to end of next week if is possible

Thanks
Shaul

Sent from my iPhone

shaul92@gmail.com <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Thu, May 29, 2014 at 1:27 PM

Can we schedule after the 16 of the month please

Sent from my iPhone

> On May 28, 2014, at 1:52 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

>

> Hi Shaul,

>

> Let me know if either of these times would be okay for you:

>

> Wednesday, June 4 at 2:00 pm

> Thursday, June 5 at 10:00 am

>

> If neither of those times works, we can try for the following week. Thanks.

>

>

> Richard Claghorn

> Principal Regional Planning Assistant

> Zoning Permits North Section

> Department of Regional Planning

> 320 W. Temple Street, Room 1348

> Los Angeles, CA 90012

> Phone: 213-974-6443

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Re: Appointment

2 messages

shaul92@gmail.com <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Wed, Feb 5, 2014 at 10:53 AM

Can we have t date change. To next week please
Thanks
Shaul

Sent from my iPhone

On Jan 29, 2014, at 2:00 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Hello Shaul and Erez,

I've just rescheduled our meeting to next Wednesday at 2:00 pm. It will be Feb. 5 (I think I said Feb. 3 on the phone, but the correct date is the 5th). Let me know if you need to reschedule. Thanks.

Richard Claghorn
Zoning Permits North
Department of Regional Planning
rclaghorn@planning.lacounty.gov
Office: 213-974-6443

shaul92@gmail.com <shaul92@gmail.com>
To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Wed, Feb 5, 2014 at 3:18 PM

Ok thanks

Sent from my iPhone

On Feb 5, 2014, at 11:08 AM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Yes. Can you can come in on Thursday, Feb. 13 at 2:00 pm? Thanks.

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Re: Appointment

1 message

shaul92@gmail.com <shaul92@gmail.com>

Tue, Jan 21, 2014 at 3:47 PM

To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Can u call me to change t date and time please

Thanks
Shaul

Sent from my iPhone

On Jan 16, 2014, at 1:59 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Hello Shaul,

I told you on the phone that we would be able to meet on Wednesday, Jan. 22 at 2 pm. However, I just realized I already have another appointment for that time. I forgot to write the other appointment on my calendar so I had forgotten about it. I'm sorry for the mistake. Let me know if it would be okay to move your appointment to 3:00 pm on Jan. 22. If not, let me know of another day and time that would be better. Thanks.

Richard Claghorn

Zoning Permits North

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6443



shaul yakovi <shaul92@gmail.com>

Fwd: RCUP 201200163

1 message

shaul yakovi <shaul92@gmail.com>
To: mike@lewisandco.net

Mon, Jun 17, 2013 at 2:27 PM

----- Forwarded message -----

From: **Richard Claghorn** <rclaghorn@planning.lacounty.gov>

Date: Thu, Jun 13, 2013 at 10:39 AM

Subject: RCUP 201200163

To: "shaul92@gmail.com" <shaul92@gmail.com>, "karni69@gmail.com" <karni69@gmail.com>

Hello Shaul and Erez,

Please read the attached letter concerning your CUP application. Let me know if you have any questions. The original letter and the attachments will be mailed to you. We'll need to schedule a meeting time to go over these issues. Let me know what your availability is. Thanks.

Richard Claghorn

Zoning Permits North

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6443

 **RCUP201200163letter.pdf**
279K



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Richard J. Bruckner
Director

June 13, 2013

Shaul Yakovi/Erez Karni
32222 Agua Dulce Canyon Rd.
Agua Dulce, CA 91390

SUBJECT: REQUEST FOR REVIEW MATERIALS

Project: R2012-02971 – (5)

Case: CUP No. 201200163

Address: 32222 Agua Dulce Canyon Rd.

Dear Applicant:

The Department of Regional Planning is currently reviewing the project identified above and has determined that additional materials and information are required before we can proceed further. Please address the following items and submit the necessary additional items:

1. One (1) copy of the land use map (**folded**). Land uses within a 500 foot radius of the project site must be shown. The land use map must depict the land uses that currently exist within 500 feet of the property. See item 12 on the Zoning Permits checklist for details.
2. One (1) copy of the articles of incorporation. The articles of incorporation are required to validate that the owner's signature is from an authorized person within the corporation.
3. Please provide additional color photographs of the proposed project area with a photo-key map. Number each photo and show the location/photo direction on the map. The photographs must be taken from ground-level perspective, not aerial views. Include photographs of all existing structures, areas of proposed structures, parking areas and other areas of the site to be developed. The photos provided show the dance pavilion canopy, entrance gate, existing office, handicap parking spaces, restroom structures, and pond on parcel 26. No photos of the existing structures on parcel 54 were provided. More photos are needed to provide a complete picture of existing site conditions.
4. "Guest house" 12C is located within a slope easement. Structures are not allowed within a slope easement. Guest houses 12D, 12E, and 12F are located within a recorded private driveway. See the Assessor's map for the driveway location. Structures are not allowed within this private driveway-fire lane easement. The structures must be removed or relocated.
5. The structures being called "guest houses" on the plans don't meet the county guest house requirements. Guest houses are intended as non-rental structures accessory to single-family residences, are limited to one per property, and are not allowed to have kitchen facilities. The proposed structures don't fit the guest house definition, but you'll need to clarify how these structures are intended to be used in a detailed project description.
6. Two sets of elevation plans of the houses were provided. One of them shows a 2,400 square foot house size and the other says the house size is 3,500 square feet. None of the houses shown on the site plan are 2,400 square feet. Please indicate whether any 2,400 square foot houses are proposed. There are six 2,400 square foot structures shown on the

site plan, but they are not houses. Also, the 2,400 square foot structures on the site plan appear to be 30' x 40' on size, apparently with two stories. The 2,400 square foot house on the elevation plan appears to be approximately 42' x 74', so it's not clear what this drawing represents.

7. The elevation plans for the houses show garages. Please show the driveways leading to the garages on the site plan.
8. Please provide floor plans and elevation plans for all buildings. Some were provided, but most were not. Plans must show the building dimensions and must be drawn to scale.
9. Elevation plans were provided for a 1,000 square foot (25' x 40') structure, but it's not clear which structure it is intended to represent. Six 1,000 square foot buildings are shown on the site plan but none match the same dimensions. Using the scale, approximate dimensions appear to be 32' x 32' for building #8, 12' x 47' for buildings #21 and #42, 18' x 60' for buildings #22 and #23, and 27' x 50' for building #43. Please make sure building dimensions are accurate and consistent on the site plan, floor plans, and elevations for all structures.
10. The elevation plans and floor plans were provided for the cabins. They are shown with a 15' width on the front and 18' on the sides. On the site plan, most of the cabins are oriented with an 18' width at the front and 15' on the sides. Since each cabin is 14' wide inside with 6" walls on each side according to the floor plan, the 9-cabin structure at the northwest part of parcel 25 should be 18' x 131' in size (14' x 9' = 126', plus 5 additional feet for the walls). Instead the structure scales out to approximately 15' x 162'. The 10-cabin structure next to it has dimensions of 18' x 145'-6" on the floor plan. However, on the site plan, this same structure appears to be 15' x 180'. Most of the other cabin structures have the same problem on the site plan. If the cabins are to be oriented with an 18' width for each cabin at the front, then the floor plan and elevation plans need to be revised so that they are consistent with the site plan. If they will be oriented in different directions, then this needs to be clarified. It is important that the buildings be depicted accurately on all the plans to avoid problems during and after the processing of the case.
11. The project description gives the project area as 94 acres. However, adding up the areas of the 8 parcels listed on the Assessor's maps gives a total of 90.63 acres. Please provide a survey or other evidence to show the area of the parcels is in fact 94 acres, or revise the project description with the correct lot size.
12. In the project description (page 2, paragraph 3) it says the existing hillsides would remain in their natural state. No proposed grading is listed on the application form. However, there will clearly need to be significant amounts of grading to accomplish the project. The previous plot plan approval (RPP 200900080) included 12,983 cubic yards of cut and 3,214.88 cubic yards of fill. Proposed export was listed as 682.7 cubic yards. This grading was related to a proposed parking area that has not yet been started, and which is still proposed. It doesn't appear a grading permit for this work will be issued prior to the site plan expiration on August 24, 2013. Since this parking area is still proposed, and since it also appears much other grading is needed, a grading plan is needed that shows all of the proposed grading. The banquet hall (building 9) is located on sloping terrain, as are the guest cabins and many of the other proposed structures and the basketball and tennis courts, and it appears grading will be needed for these. If a soccer field is included that will also require significant grading. You'll need to provide a detailed grading plan to depict all of the grading involved in the project, and include this information in the revised project description. Please provide the total amount of cut and fill (in cubic yards) as well as indicating the total square footage of the areas to be graded.
13. In the project description (second paragraph) it says all proposed improvements will be kept out of the flood zone. However, it appears a number of buildings and other improvements are located in the flood zone, including the banquet hall (#3), restrooms (#4), dining pad (#11), tennis and basketball courts, spa (#31 & #33), restroom (#35), office (#36), and snack bar (#44). Public Works will need to review the flood zone issues, but you should be aware that these buildings and improvements may need to be removed or relocated.

14. The application form lists the city for the project location mailing address as Santa Clarita, but the Assessor's records show it as Agua Dulce.
15. The project description mentions some proposed uses that are not labeled on the site plan. No equestrian facilities or stables are identified on the site plan, even though they're mentioned in the description. If any such facilities are existing or proposed, please show them on the site plan. Indicate how many horses are to be kept there and show the stalls on the floor plan of any stables. Describe the purpose of the stables. Are they for keeping horses owned by the owner, to provide horse rides for guests, boarding of horses, or some other purpose? Please provide a description of how the equestrian facilities are to be used and show where they are located.
16. The description mentions a juice bar, but this is not shown on the plan. Is this use the same as the snack bar?
17. A soccer field is mentioned in the description but is not shown on the site plan.
18. The description mentions swimming pools and fishing ponds. Four pools are shown and one pond, but it's not clear which ones are for fishing and which are for swimming. Please label them.
19. Include the existing and proposed floor plans for the restaurant structure (previously a snack bar) and clearly show any alterations being proposed for the building, and for any other existing structures being altered.
20. The project description says 42 buildings would be constructed or rehabilitated. The actual number of structures is considerably higher, as it appears there are actually 62 structures based on the site plan. The guest cabins on parcel 25 are counted as one structure, even though they is shown as six separate buildings. The "guest houses" also need to be counted as separate individual buildings. The guest cabins on parcels 52 & 54 are also counted as a single building even though they are depicted as 9 different structures. The RV parking (#39) does not appear to be a building and shouldn't be counted as a building. The occupant load list shows guard shacks numbered as #40 & 41. However, on the site plan there is no building #41 and two with the #40. The dining pad (#11) does not appear to be a building, but the kitchen adjacent to it appears to be a building. Please include plans for this kitchen building along with all other buildings on the site that are proposed or will have any proposed work to be done on them.
21. Guard shack #40 west of parcels 54 and 28 is in the public right of way, and so is part of the gate. They may not be located within the public right of way or any future dedication area. Also, the guard shack is listed as 150 square feet on the site plan, even though it appears to be about 35 square feet (5' x 7').
22. Guard shack #40 on parcel 12 should be repositioned so that it is outside of the driveway or it should be in the middle of the driveway with evenly spaced lanes on each side. It also should be parallel with the direction of the driveway instead of being skewed at an angle.
23. The proposed signs are shown within the public right of way area. The sign locations should be revised to match the locations approved under the amendment to RPP 200900080 approved on 2/19/13.
24. The project description on the application mentions installing a monument sign. Is this a separate sign from the ones previously approved on 2/19/13? If so, please show the sign location and include a sign plan.
25. On the application form the description mentions a winery including testing (tasting?) and selling. No winery is shown on the site plan nor are any facilities for wine tasting or sales identified. If the winery is to be included, it needs to be included on the site plan and included in the detailed project description.
26. Please indicate whether or not massage services will be performed by technicians or

- therapists holding licenses from the California Massage Therapy Council (CAMTC).
27. The mobile home (#30) should be labeled as caretaker's mobile home on the site plan.
 28. Label all buildings as (E) existing or (P) proposed on the site plan. If it is existing but remodeling is proposed, then label it (E/R) existing/remodel. If an addition is proposed, label it (E/A) existing/addition.
 29. The parking summary on the site plan is not accurate. The square footages are not listed correctly, the required parking is incorrect, and most uses are not included. It lists 393 spaces provided, which appears to be accurate based on the site plan. However, the project description (page 2, first paragraph) says parking for 500 vehicles would be provided on site, including a parking lot for 350 vehicles. The largest single parking lot has 167 spaces. The 393 total spaces shown are far short of what is required. A preliminary parking matrix was prepared listing all of the proposed uses (see attached). The total number of required spaces, based on this preliminary analysis, is 845. It could be reduced if changes or corrections are made, but the number of parking spaces will need to be increased substantially unless many of the uses are reduced or eliminated. Please provide a similar parking matrix incorporating any changes or corrections made to the project.
 30. The application form states that new building construction will have an area of approximately 112,000 square feet. Please provide a detailed breakdown listing all of the structures and the size of each. Based on the information provided, I estimated the total of the new and existing structures as 106,621 square feet. However, this figure will need to be adjusted if any changes or corrections are made.
 31. Please clarify the use of the snack bar. Indicate what types of food items will be sold there and whether it is similar to a take-out restaurant, juice bar, or a small retail food store.
 32. Please explain what the purpose of the shacks on parcel 54 is (buildings #25 and #29 and the un-numbered shack next to the guest cabins).
 33. Please resolve the Public Health Environmental Health concerns from the letter dated 2/28/13 and resolve the violations with them.
 34. A Certificate of Compliance (COC) is required for APN 3212-008-051, -052 & -054 and APN 3212-004-012 because new buildings are proposed on those parcels and there was no previous tract or parcel map creating the parcels. A single COC could be filed on all four of these parcels, or a separate one could be filed on each. A copy of the application form is attached.
 35. A covenant to hold property as one parcel is required. A covenant was done for the north four parcels for RPP 200900080, but since there are buildings crossing lot lines and shared parking and facilities, all 8 parcels will need to be tied together with a covenant to hold as one parcel. A copy of the draft covenant is attached. The complete legal description must be attached as Exhibit "A", and it must be signed, notarized and recorded. This can be done after the public hearing.
 36. This project is subject to the Rural Outdoor Lighting District Ordinance (Dark Skies). See the attached handout for a summary of the requirements. You can read more details about it on our website at this link:
http://planning.lacounty.gov/assets/upl/data/ord_outdoor-lighting-overview.pdf
 37. This project is subject to the Green Building, Drought Tolerant Landscaping, and Low Impact Development (LID) ordinance requirements. Please read the attached handouts for a summary of these requirements. Please comply with these requirements and provide the following additional information:
 - a. Show the amount of existing and proposed impervious surfaces on each of the 8 parcels related to the project, in square feet. The application form lists an approximate impervious area total of 200,000 square feet, but a detailed breakdown is needed that shows how the total impervious area is calculated for both before and after the project.
 - b. Also include a landscape plan and show how much area will be devoted to drought-tolerant landscaping and non-drought-tolerant landscaping for each parcel, in square feet.
 - c. Please show at least three new 15-gallon trees for every 10,000 square feet of

developed area. At least 65% of the trees need to be from the drought-tolerant list. Existing trees that are 6 inches or more in diameter may be counted toward this total. See the following link for the drought tolerant list and Green ordinance details:

<http://planning.lacounty.gov/green>

38. One of the drought-tolerant requirements restricts the lawn area to a maximum of 5,000 square feet. Pursuant to Section 22.52.2270, the Director of the Department, without notice or a hearing, may grant a modification to the landscaping requirements of this Part 21 under the following circumstances:

1. When a project's topographic features, lot size, or other conditions make it unreasonable, impractical, or otherwise creates an unnecessary hardship to require compliance with these landscaping requirements; or
2. When the nature of a large scale or multi-lot project necessitates flexibility in the project design that impacts the landscaping for the project.

Please provide a burden of proof statement supporting the above findings to request a modification to the 5,000 square foot limit on lawn area. Please note that this procedure applies only to the requirements from the drought-tolerant ordinance (Part 21), which does not include the tree planting requirement listed in 37c above.

39. The site plan identifies an area for 55 RV parking spaces. However, it does not depict the individual spaces. Please show the RV spaces on the plan.
40. This project does not qualify for a categorical exemption under CEQA and requires an Initial Study. Please pay the Initial Study fee and required referral fees. You've already paid \$310 for the Environmental Assessment Initial Review. You'll need to pay an additional \$4,115 to cover the Environmental Assessment Initial Study (Negative Declaration) fee and agency referral fees, including \$987 for Public Works and \$416 for Parks and Recreation. The \$310 you've paid for the Environmental Assessment will be deducted from the \$3,022 Initial Study (Negative Declaration) fee, for a balance of \$2,712 ($\$2,712 + \$987 + \$416 = \$4,115$). The Initial Study is required to evaluate the impacts to the environment of the proposed project and will require consultation with other agencies. Additional information may be requested to complete the environmental review.
41. The pending Zoning Enforcement case must be resolved prior to scheduling of a public hearing for the case.
42. The project description mentions concerts and other large events. Please include in the description the maximum number of people who would attend a concert or large event on the property, and an estimate of the largest total number of people who would be on the property (all 8 parcels) at any one time, including employees and all other persons.

A One-Stop Counseling meeting is recommended for this project due to its size and complexity and the numerous agencies involved. This is a meeting held each month at Department of Public Works (DPW) headquarters in Alhambra where the applicants can meet with multiple County agencies with regards to proposed projects to help applicants better understand the requirements of each agency. It will help to better coordinate the project and help resolve issues. The fees for the One-Stop are \$253.25 for DPW, \$84 for Fire, and \$129 for Public Health. The \$328 Regional Planning fee will be waived since you've filed a pending CUP already. The total fees for the One-Stop are \$466.25 if all the agencies attend. Although the One-Stop is not required, it is strongly recommended for this project. A copy of the One-Stop application form is attached for reference.

A separate meeting with Regional Planning will also probably be necessary to help address the issues and requirements mentioned in this letter.

Please note that the Agua Dulce Town Council is a local body that has reviewed and provided comments on land use projects in Los Angeles County. To present before the Agua Dulce Town Council, please contact the Agua Dulce Town Council at the following address to arrange a meeting: 33201 Agua Dulce Canyon Road Box #8, Agua Dulce, CA 91390.

Failure to disclose all pertinent information for consideration in the review of this case could result in delays, continuation of public hearings, new environmental analysis and/or additional costs. Additional materials may be required pending the outcome of consultation with other agencies.

If you have any questions regarding this matter, please contact Richard Claghorn at (213) 974-6443, from 7:30 a.m. to 5:30 p.m., Monday through Thursday or via email at rclaghorn@planning.lacounty.gov. Our offices are closed on Fridays.

Sincerely,

Department of Regional Planning
Richard J. Bruckner
Director

Richard Claghorn, Principal Regional Planning Assistant
Zoning Permits North Section

ST:RC



shaul yakovi <shaul92@gmail.com>

Fwd: Official written correspondence from County Engineer re: parking lot surface material at your project site

1 message

shaul yakovi <shaul92@gmail.com>
To: erez kami <kami69@gmail.com>

Mon, Jun 3, 2013 at 10:24 PM

----- Forwarded message -----

From: **Mark Herwick** <mherwick@planning.lacounty.gov>

Date: Tue, Dec 18, 2012 at 1:58 PM

Subject: Official written correspondence from County Engineer re: parking lot surface material at your project site

To: "karnier@gmail.com" <karnier@gmail.com>, shaul yakovi <shaul92@gmail.com>

Cc: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Good to meet with you today and I'm glad that you are submitting a CUP for your project before the Dec. 27, 2012 effective date of OVOV. As we have discussed at previous meetings, the most recent being Nov. 8, 2012 when your counsel and County Counsel were present, the parking areas in your project must be paved according to Title 22 standards (concrete or asphalt) or in a manner deemed acceptable by the County Engineer. At the Nov. 8 meeting we agreed that an official written letter from Public Works (aka County Engineer) indicating that the alternative paving material you are using is acceptable would be necessary.

When we informally met today in the DRP lobby you indicated that you have the letter—it is crucial that it is provided at the time of your CUP application scheduled for 2:30pm tomorrow, Dec. 19.

Also, regarding the conversation Richard and I had with you regarding your existing site plan—1) it should be amended showing only the parking required for the project, and 2) include a sign plan.

Thank you,

-Mark

Mark Herwick, AICP

Supervising Regional Planner

(213) 974-6470



shaul yakovi <shaul92@gmail.com>

Re: signs

1 message

shaul yakovi <shaul92@gmail.com>

Fri, Feb 15, 2013 at 2:21 PM

To: Richard Claghorn <rclaghorn@planning.lacounty.gov>

Hi Richard

you can remove the banquet from the sign also u can point the sign on 054 on the 028 please i think we point that on the 028 on the hill

please approved the site plan

Thank You
Shaul

On Wed, Feb 13, 2013 at 4:30 PM, Richard Claghorn <rclaghorn@planning.lacounty.gov> wrote:

Hello,

The new location for the sign on parcel -026 is acceptable. However, the south sign location is not. The arrow is pointing to a location in the middle of the private driveway. Even if it was moved outside of the driveway it would still be on parcel 3212-008-0054. Because it is on parcel 3212-008-054, and since that parcel was not part of the approved site plan for RPP 200900080, we can't approve the signage on that parcel through this submittal. You could ask to relocate it further up the driveway if it is relocated completely on parcel 54. You'll also need to respond to item 3 in the correction letter by submitting revised sign plans with the words "Banquet Hall" removed. Thanks.

Richard Claghorn

Land Development Coordinating Center

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6278

From: Richard Claghorn
Sent: Monday, December 31, 2012 10:22 AM
To: 'shaul yakovi'; 'kamier@gmail.com'
Subject: signs

Hello,

Please read the attached letter regarding the signs for RPP 200900080. Let me know if you have any questions.
Thanks.

Richard Claghorn

Land Development Coordinating Center

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6278



shaul yakovi <shaul92@gmail.com>

32222 Agua Dulce Canyon

5 messages

Miller, Mitch <MMILLER@dpw.lacounty.gov> Wed, Dec 19, 2012 at 3:04 PM
To: Mark Child <mchild@planning.lacounty.gov>
Cc: "carni69@gmail.com" <carni69@gmail.com>, "shaul92@gmail.com" <shaul92@gmail.com>, "sgmaalouf@gmail.com" <sgmaalouf@gmail.com>

Mark,

The owners of the site requested that I contact you regarding any concerns that Public Works may have with the use of a CAB surface for parking areas

We have no concerns with the use of a fine crushed aggregate base used for the surface material in the parking areas. However handicap areas must generally be paved to meet ADA compliance.

Thanks and call me if you have any questions.

Mitch Miller
Senior Civil Engineer
Building and Safety Division
Los Angeles County Department of Public Works
(626) 458-6390 Fax (626) 458-6350
mmiller@dpw.lacounty.gov

shaul yakovi <shaul92@gmail.com> Thu, Dec 20, 2012 at 12:52 AM
To: Erez Karni <karni69@gmail.com>

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com> Thu, Dec 20, 2012 at 12:52 AM
To: Richard clag <rclaghorn@planning.lacounty.gov>

----- Forwarded message -----

From: **Miller, Mitch** <MMILLER@dpw.lacounty.gov>
Date: Wed, Dec 19, 2012 at 3:04 PM
Subject: 32222 Agua Dulce Canyon
To: Mark Child <mchild@planning.lacounty.gov>
Cc: "carni69@gmail.com" <carni69@gmail.com>, "shaul92@gmail.com" <shaul92@gmail.com>, "sgmaalouf@gmail.com" <sgmaalouf@gmail.com>

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com> Thu, Dec 20, 2012 at 12:57 AM
To: mherwick@planning.lacounty.gov

----- Forwarded message -----

From: **Miller, Mitch** <MMILLER@dpw.lacounty.gov>

Date: Wed, Dec 19, 2012 at 3:04 PM

Subject: 32222 Agua Dulce Canyon

To: **Mark Child** <mchild@planning.lacounty.gov>

Cc: "carni69@gmail.com" <carni69@gmail.com>, "shaul92@gmail.com" <shaul92@gmail.com>, "sgmaalouf@gmail.com" <sgmaalouf@gmail.com>

[Quoted text hidden]

Mark Child <mchild@planning.lacounty.gov>

Thu, Dec 20, 2012 at 2:09 PM

To: "Miller, Mitch" <MMILLER@dpw.lacounty.gov>, Mark Herwick <mherwick@planning.lacounty.gov>

Cc: "carni69@gmail.com" <carni69@gmail.com>, "shaul92@gmail.com" <shaul92@gmail.com>, "sgmaalouf@gmail.com" <sgmaalouf@gmail.com>

Hi Mitch,

Thanks very much for letting us know.

Mark

From: Miller, Mitch [mailto:MMILLER@dpw.lacounty.gov]

Sent: Wednesday, December 19, 2012 3:05 PM

To: Mark Child

Cc: 'carni69@gmail.com'; 'shaul92@gmail.com'; 'sgmaalouf@gmail.com'

Subject: 32222 Agua Dulce Canyon

Mark,

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Time extension

1 message


Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

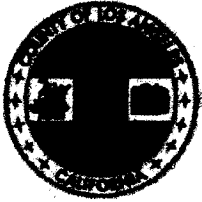
Mon, Oct 15, 2012 at 2:47 PM

Hello Shaul,

Here is the time extension letter for RPP 200900080.

Richard Claghorn
Land Development Coordinating Center
Department of Regional Planning
rclaghorn@planning.lacounty.gov
Office: 213-974-6278

 **0229_001.pdf**
59K



Los Angeles County
Department of Regional Planning

Planning for the Challenges Ahead



Richard J. Bruckner
Director

October 16, 2012

Shaul Yakovi
5837 Donna Avenue
Tarzana, CA 91356

Subject: Plot Plan RPP 200900080 Time Extension
Location: 32222 Agua Dulce Canyon Rd.

Dear Mr. Chen,

Plot Plan RPP 200900080 was approved on August 24, 2010 for an outdoor dance pavilion, accessory structures, parking and landscaping. This approval was valid for two years from the date of approval and the original approval was to expire August 24, 2012. You filed a request for a time extension of the expiration date on October 9, 2012.

A one year time extension for Plot Plan RPP 200900080 is hereby approved. The new expiration date is August 24, 2013. No further extensions are permitted per Zoning Code section 22.56.1740. If more time is needed to secure building permits, then a new approval is required. No modifications to the original approved plans have been submitted or approved.

If you have any questions you can call me at 213-974-6278 or send e-mail to rclaghorn@planning.lacounty.gov.

Richard Claghorn
Principal Regional Planning Assistant
Los Angeles County Department of Regional Planning



shaul yakovi <shaul92@gmail.com>

One-stop for 32222 Agua Dulce Canyon Rd.

4 messages

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Wed, Oct 10, 2012 at 4:31 PM

To: shaul yakovi <shaul92@gmail.com>

Cc: Susan Tae <stae@planning.lacounty.gov>, Mark Herwick <mherwick@planning.lacounty.gov>

Hello Shaul,

Yesterday you indicated you are planning to file a CUP for the property at 32222 Agua Dulce Canyon Rd. soon. You will need a CUP for the caretaker's residence. You also need to clearly specify what other uses and which parcels will be included in the CUP. The CUP will be processed by Zoning Permits North Section. It would be helpful to meet with them, along with Zoning Enforcement, LDCC and possibly Community Studies North prior to filing to discuss how your project will be impacted by the Zone Change and plan changes, and to find out about the CUP process and requirements. We have a service called a one-stop meeting that will facilitate coordination for a proposed CUP or other discretionary permit. You may also request to have other departments present for the one-stop meeting. Below is a summary of the process, which may include up to 4 one-stop meetings before and during the CUP process.

One-stop

- i. Pre-application – more detailed counter-level information.
- ii. Conceptual review – concept level feedback on project feasibility and potential issues.
- iii. Post-application – review detailed project and address real issues and redesign, etc.
- iv. Pre-hearing conference – Meet with you before the hearing, go over staff recommendation, etc.

The fee for the one-stop (\$322) can be applied to the application cost if you file within one year.

If you would like to meet with other departments, additional fees will be assessed: Health (\$129), Fire (\$84), DPW (\$250) or Parks (\$0).

Let me know if you'd like to schedule a pre-application one-stop. You can schedule it by contacting Susan Tae, the section head of Zoning permits North. If you have any other questions, please let me know. Thanks.

Richard Claghorn

Land Development Coordinating Center

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6278

shaul yakovi <shaul92@gmail.com>
 To: erez kami <kamier@gmail.com>
 Cc: mike@lewisandco.net

Wed, Oct 10, 2012 at 5:08 PM

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>
 To: craig@pagelawyers.com

Thu, Oct 11, 2012 at 6:50 AM

----- Forwarded message -----

From: **Richard Claghorn** <rclaghorn@planning.lacounty.gov>
 Date: Wed, Oct 10, 2012 at 4:31 PM
 Subject: One-stop for 32222 Agua Dulce Canyon Rd.
 To: shaul yakovi <shaul92@gmail.com>
 Cc: Susan Tae <stae@planning.lacounty.gov>, Mark Herwick <mherwick@planning.lacounty.gov>

[Quoted text hidden]

Mail Delivery Subsystem <mailer-daemon@googlemail.com>
 To: shaul92@gmail.com

Thu, Oct 11, 2012 at 6:50 AM

Delivery to the following recipient failed permanently:

craig@pagelawyers.com

Technical details of permanent failure:

Google tried to deliver your message, but it was rejected by the recipient domain. We recommend contacting the other email provider for further information about the cause of this error. The error that the other server returned was: 550 550 #5.1.0 Address rejected. (state 13).

----- Original message -----

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 11 Oct 2012 06:50:50 -0700 (PDT)

Received: by 10.49.82.46 with HTTP; Thu, 11 Oct 2012 06:50:49 -0700 (PDT)

In-Reply-To: <37ABACD303581640AEE6C89ACB51C7FB0BADA4A4@ITSSDOWEXMB08.HOSTED.LAC.COM>

References: <37ABACD303581640AEE6C89ACB51C7FB0BADA4A4@ITSSDOWEXMB08.HOSTED.LAC.COM>

Date: Thu, 11 Oct 2012 06:50:49 -0700

Message-ID: <CACZtKR8FZLOot4hoJkraSWi1nvS6V3QkRPGzksVha8yzqQZPGg@mail.gmail.com>

Subject: Fwd: One-stop for 32222 Agua Dulce Canyon Rd.

From: shaul yakovi <shaul92@gmail.com>

To: craig@pagelawyers.com

Content-Type: multipart/alternative; boundary=002354333a92e68c1804cbc8db37

----- Forwarded message -----

From: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Date: Wed, Oct 10, 2012 at 4:31 PM
Subject: One-stop for 32222 Agua Dulce Canyon Rd.
To: shaul yakovi <shaul92@gmail.com>
Cc: Susan Tae <stae@planning.lacounty.gov>, Mark Herwick <mherwick@planning.lacounty.gov>

Hello Shaul,****

** **

Yesterday you indicated you are planning to file a CUP for the property at 32222 Agua Dulce Canyon Rd. soon. You will need a CUP for the caretaker's residence. You also need to clearly specify what other uses and which parcels will be included in the CUP. The CUP will be processed by Zoning Permits North Section. It would be helpful to meet with them, along with Zoning Enforcement, LDCC and possibly Community Studies North prior to filing to discuss how your project will be impacted by the Zone Change and plan changes, and to find out about the CUP process and requirements. We have a service called a one-stop meeting that will facilitate coordination for a proposed CUP or other discretionary permit. You may also request to have other departments present for the one-stop meeting. Below is a summary of the process, which may include up to 4 one-stop meetings before and during the CUP process.****

** **

One-stop

- i. Pre-application – more detailed counter-level information. ****
- ii. Conceptual review – concept level feedback on project feasibility and potential issues. ****
- iii. Post-application – review detailed project and address real issues and redesign, etc. ****
- iv. Pre-hearing conference – Meet with you before the hearing, go over staff recommendation, etc. ****

** **

The fee for the one-stop (\$322) can be applied to the application cost if you file within one year.****

** **

If you would like to meet with other departments, additional fees will be assessed: Health (\$129), Fire (\$84), DPW (\$250) or Parks (\$0). ****

** **

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

ben& reef gardens

3 messages

shaul yakovi <shaul92@gmail.com>

Thu, Aug 30, 2012 at 11:16 AM

To: rclaghorn@planning.lacounty.gov

Hello Richard

this is shaul we have a problem with your site plan approval can you call us as soon as possible to Erez at 818-674-0804

Thanks
Shaul Yakovi

Richard Claghorn <rclaghorn@planning.lacounty.gov>

Thu, Aug 30, 2012 at 5:33 PM

To: shaul yakovi <shaul92@gmail.com>

Hello Shaul,

I spoke with Oscar today about your case. How soon are you planning to begin the grading for the parking lots shown on your approved site plan? How long do you anticipate it will take you to complete the new parking areas? Unless you are planning to begin work on the parking areas soon, it sounds like you'll probably need to file an amendment to your plot plan, which would require 3 sets of revised plans, showing your actual parking layout, an application form and \$488 fee. The plans would need to show the parking that is actually available on the site, and if you are adding more parking later you should show it as a second phase and indicate the expected timeframe when you expect to add the later phase.

Let me know if you have any other questions about it. Thanks.

Richard Claghorn

Land Development Coordinating Center

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6278

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>

Thu, Aug 30, 2012 at 9:42 PM

To: Erez Karni <karni69@gmail.com>

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

ben& reef gardens

3 messages

shaul yakovi <shaul92@gmail.com>
To: rclaghorn@planning.lacounty.gov

Thu, Aug 30, 2012 at 11:16 AM

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Thanks
Shaul Yakovi

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To: shaul yakovi <shaul92@gmail.com>

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Let me know if you have any other questions about it. Thanks.

Richard Claghorn

Land Development Coordinating Center

Department of Regional Planning

rclaghorn@planning.lacounty.gov

Office: 213-974-6278

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>
To: Erez Karni <karni69@gmail.com>

Thu, Aug 30, 2012 at 9:42 PM

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Re: RPP 200900080

1 message

Shaul92 <shaul92@gmail.com>

Tue, Aug 24, 2010 at 3:57 PM

To: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>

Thank you

"Claghorn, Richard" <rclaghorn@planning.lacounty.gov> wrote:

>Hi Shaul,

>

>

>

>Your plans are ready for pick up. You can come in today before 5:30 or

>tomorrow from 8:30 to 5:30 to pick them up. Thanks.

>

>

>

>Richard Claghorn

>

>

>



shaul yakovi <shaul92@gmail.com>

RPP 200900080

2 messages

Claghorn, Richard <rclaghorn@planning.lacounty.gov>
To: shaul92@gmail.com

Wed, Aug 18, 2010 at 3:01 PM

Hello Shaul,

As I was reviewing the revised landscape information you submitted today I noticed the pervious/impervious/turf/drought tolerant vegetation figures were not shown on the new plans. This information is required, so it needs to be updated. The other change that I noticed was a reduction in the area for the California Poppy under ground cover plants. This isn't really a problem, but it wasn't necessary to reduce it since it is considered a drought tolerant plant. Please revise to include the correct information on the plans for the pervious and impervious areas, turf areas, drought tolerant landscape areas, etc. Let me know if you have any questions. Thanks.

Richard Claghorn

shaul yakovi <shaul92@gmail.com>
To: ANGELAMGOMEZ@sbcglobal.net

Wed, Aug 18, 2010 at 7:04 PM

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

covenant

4 messages

Claghorn, Richard <rclaghorn@planning.lacounty.gov>
To: shaul92@gmail.com

Thu, Aug 5, 2010 at 3:01 PM

Hello Shaul,

Here is the covenant for the storage building that we discussed. For the legal description, attach a copy of the legal description for the four parcels (lots 25-28). Thanks.

Richard Claghorn

 **CANONB037EB_EXCHANGE_08052010-120510.PDF**
79K

shaul yakovi <shaul92@gmail.com>
To: karnier@gmail.com

Fri, Aug 6, 2010 at 6:34 PM

[Quoted text hidden]

 **CANONB037EB_EXCHANGE_08052010-120510.PDF**
79K

shaul yakovi <shaul92@gmail.com>
To: Zack Karni <zack@mcycorp.com>

Wed, Aug 18, 2010 at 10:05 AM

[Quoted text hidden]

 **CANONB037EB_EXCHANGE_08052010-120510.PDF**
79K

Zack Karni <zack@mcycorp.com>
To: shaul yakovi <shaul92@gmail.com>

Wed, Aug 18, 2010 at 10:30 AM

From: shaul yakovi [mailto:shaul92@gmail.com]
Sent: Wednesday, August 18, 2010 10:05 AM
To: Zack Karni
Subject: Fwd: covenant

[Quoted text hidden]

4/29/2021

Gmail - covenant

 **CANONB037EB_EXCHANGE_08052010-120510.PDF**
173K



shaul yakovi <shaul92@gmail.com>

Fw: refreshment stand

1 message

shaul92@gmail.com <shaul92@gmail.com>

Thu, Jul 29, 2010 at 8:08 PM

Reply-To: shaul92@gmail.com

To: karnier@gmail.com

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>**Date:** Thu, 29 Jul 2010 17:45:05 -0700**To:** <shaul92@gmail.com>**Subject:** refreshment stand

Shaul,

I showed the plans to John Gutwein that you brought in today. He doesn't think it looks like a refreshment stand. To be a refreshment stand it needs to have a window where people walk up to order or pick up their food or drinks. There can be a kitchen, or two kitchens if you want to have a kosher kitchen also, but the size seems very large for a refreshment stand. However, the main concern was the use, and that it looks like a restaurant, since the meals will be prepared in the kitchen and then brought to the patrons at their seats. In order to be considered a refreshment stand it needs to have a walk-up window where items are ordered and picked up. The plans also should label it as a refreshment stand, and the floor plan should have more details, showing the kosher, non-kosher kitchen, ordering window, etc. Let me know if you have any other questions about it. Thanks.

Richard Claghorn

**Plot Plan 200900080
(Project R2009-00106)
Agua Dulce CSD**

- Plot plan 200900080 is approved for an outdoor dance pavilion with accessory refreshment stand, an accessory 1,890 square foot office structure and two 735 square foot restroom structures with parking and landscaping as shown.
- No event is permitted where attendance exceeds 500 persons.
- Parking provided shall be 192 spaces as shown, including 8 handicapped parking spaces. Parking required is one space per three persons at the largest event, which is 167 spaces based on an event for 500 people.
- No catering or meals shall be provided, unless an approved film permit, Temporary Use Permit or Conditional Use Permit authorizes it. A refreshment stand accessory to the dance pavilion is approved, but it shall be limited to non-alcoholic beverages and snacks.
- This project is subject to the Green Building requirements. These requirements are as follows:
 - a.) Design to achieve at least 15% more energy efficiency than Title 24 2005 California Energy Efficiency Standards.
 - b.) Recycle/reuse at least 65% of non-hazardous construction debris by weight.
 - c.) Install smart irrigation controller.
 - d.) Plant at least twenty-six 15-gallon trees, at least 65% of which must be drought-tolerant. Thirty-five drought-tolerant 15-gallon trees are proposed.
 - e.) Install high efficiency toilets (maximum 1.28 gallons/flush)
- This project is subject to the Drought Tolerant Landscaping requirements, which are as follows:
 - a.) Minimum of 75% of all landscaping must be drought-tolerant (100% drought-tolerant proposed).
 - b.) Maximum 25% of all landscaping may be grass/turf.
 - c.) Grass must be water-efficient.
 - d.) Grass areas must be a minimum of five feet wide.
 - e.) Group plants with similar watering needs.
 - f.) The limit of 5,000 square feet of grass is modified by Director's Review. No increase in existing grass/turf area is proposed.
 - g.) A drought-tolerant landscaping covenant has been recorded.
- This project is subject to the LID requirements, which shall be determined by the Department of Public Works (DPW).
- Proposed grading includes 3,413.51 square feet of cut and 3,214.88 square feet of fill, to be balanced on site. Obtain permit from DPW for the grading and retaining wall.
- Obtain approval from DPW for structures within the restricted use area.
- Comply with all requirements from DPW, Building and Safety, Fire, Health, Regional Planning, Sheriff and all other relevant agencies.
- Obtain building permits from Building and Safety.
- This approval must be used by July 21, 2012.

DO NOT REMOVE!



shaul yakovi <shaul92@gmail.com>

Fw: Agua dulce

1 message

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: karnier@gmail.com

Tue, Jul 20, 2010 at 6:18 PM

Sent from my BlackBerry® smartphone with Nextel Direct Connect

-----Original Message-----

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>
Date: Tue, 20 Jul 2010 16:41:41
To: <shaul92@gmail.com>
Subject: RE: Agua dulce

Hello Shaul,

Here is the draft of the approval notes that I have so far. It may still be modified before it is final.

Richard Claghorn

-----Original Message-----

From: shaul92@gmail.com [mailto:shaul92@gmail.com]
Sent: Tuesday, July 20, 2010 10:47 AM
To: Claghorn, Richard
Subject: Agua dulce

Hello richard

We did not hear from you yesterday we still wating for your email to us

Thank you

Shaul yakovi
Sent from my BlackBerry(r) smartphone with Nextel Direct Connect

 **pp200900080draft.doc**
37K



shaul yakovi <shaul92@gmail.com>

Fw: RPP 200900080

1 message

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: karnier@gmail.com

Wed, Jul 14, 2010 at 3:08 PM

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>
Date: Wed, 14 Jul 2010 15:05:15 -0700
To: <shaul92@gmail.com>
Subject: RE: RPP 200900080

Shaul,

I have a question about the refreshment stand. What exactly will it be and where will it be located? Is it going to be a table(s) or booth within the canopy or nearby or some kind of structure? Will it vary depending on the event? Please provide some details on how this will be handled. I'm trying to get this approval done today, but I may not be able to finalize it yet since I'll need my supervisor's okay on our letter. I'm mostly done with it but not completely. I'll give you an update on it soon. Thanks.

Richard Claghorn

From: shaul92@gmail.com [mailto:shaul92@gmail.com]
Sent: Tuesday, July 13, 2010 5:26 PM
To: Claghorn, Richard
Subject: Re: RPP 200900080

Ok we will be at your office by 500
Thanks
Shaul

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>
Date: Tue, 13 Jul 2010 17:24:09 -0700
To: <shaul92@gmail.com>
Subject: RE: RPP 200900080

Hello Shaul,



shaul yakovi <shaul92@gmail.com>

Agua dulce

1 message

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: Richard clag <rclaghorn@planning.lacounty.gov>

Tue, Jul 20, 2010 at 10:47 AM

Hello richard

We did not hear from you yesterday we still wating for your email to us

Thank you

Shaul yakovi
Sent from my BlackBerry® smartphone with Nextel Direct Connect

I think I'll need a little more time to finish your case. Tomorrow I have a staff meeting and two appointments that will take up significant time, plus I remembered I will need to write a findings letter for the case and get it approved by my supervisor. I'll still try to have it done tomorrow, but probably not by 3pm. I hope to have everything done by 5pm. Thanks.

Richard Claghorn

From: Claghorn, Richard
Sent: Wednesday, July 07, 2010 12:03 PM
To: shaul92@gmail.com
Subject: RPP 200900080

Please read the attached letter. Let me know if you have any questions. Thanks.

Richard Claghorn



shaul yakovi <shaul92@gmail.com>

Re: RPP 200900080

1 message

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: Richard clag <rclaghorn@planning.lacounty.gov>

Tue, Jul 13, 2010 at 5:25 PM

Ok we will be at your office by 500
Thanks
Shaul

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>
Date: Tue, 13 Jul 2010 17:24:09 -0700
To: <shaul92@gmail.com>
Subject: RE: RPP 200900080

Hello Shaul,

I think I'll need a little more time to finish your case. Tomorrow I have a staff meeting and two appointments that will take up significant time, plus I remembered I will need to write a findings letter for the case and get it approved by my supervisor. I'll still try to have it done tomorrow, but probably not by 3pm. I hope to have everything done by 5pm.
Thanks.

Richard Claghorn

From: Claghorn, Richard
Sent: Wednesday, July 07, 2010 12:03 PM
To: shaul92@gmail.com
Subject: RPP 200900080

Please read the attached letter. Let me know if you have any questions. Thanks.

Richard Claghorn



shaul yakovi <shaul92@gmail.com>

Fw: RPP 200900080

1 message

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: angelamgomez@sbcglobal.net

Wed, Jul 7, 2010 at 3:07 PM

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: shaul92@gmail.com
Date: Wed, 7 Jul 2010 21:58:50 +0000
To: <karnier@gmail.com>
ReplyTo: shaul92@gmail.com
Subject: Fw: RPP 200900080

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: shaul92@gmail.com
Date: Wed, 7 Jul 2010 21:55:58 +0000
To: <karni69@gmail.com>
ReplyTo: shaul92@gmail.com
Subject: Fw: RPP 200900080

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>
Date: Wed, 7 Jul 2010 12:02:56 -0700
To: <shaul92@gmail.com>
Subject: RPP 200900080

Please read the attached letter. Let me know if you have any questions. Thanks.

Richard Claghorn

 **pp200900080cor5.doc**
31K



shaul yakovi <shaul92@gmail.com>

Fw: RPP 200900080

1 message

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: karnier@gmail.com

Wed, Jul 7, 2010 at 2:58 PM

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: shaul92@gmail.com
Date: Wed, 7 Jul 2010 21:55:58 +0000
To: <karni69@gmail.com>
ReplyTo: shaul92@gmail.com
Subject: Fw: RPP 200900080

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>
Date: Wed, 7 Jul 2010 12:02:56 -0700
To: <shaul92@gmail.com>
Subject: RPP 200900080

Please read the attached letter. Let me know if you have any questions. Thanks.

Richard Claghorn

 **pp200900080cor5.doc**
31K

July 7, 2010

Shaul Yakovi
32222 Agua Dulce Canyon Road
Agua Dulce, CA 91390

Subject: Plot Plan RPP 200900080

Location: 32222 Agua Dulce Canyon Road, Agua Dulce

Dear Applicant,

Your plot plan cannot be approved until the following corrections are made.

- 1.) The handicapped parking spaces on the latest site plan submitted on July 1, 2010 are not designed correctly. They don't have any loading spaces. The handicapped spaces shown on the plans submitted on August 20, 2009 were correct, but the latest version is not. Minimum size for handicapped spaces is 9 feet by 18 feet. There must be at least one van accessible space with an 8-foot wide passenger side loading area. Additional handicapped parking spaces need to have a minimum 5-foot wide loading space, which can be on either side. At least one handicapped space must be provided for every 25 total spaces for the first 100 spaces. For spaces 101 to 200 you must provide one handicapped space per 50 spaces or fraction thereof. For 184 spaces, for example, at least 6 of them must be for handicapped only.
- 2.) The site plan showing all the properties has no scale. Based on the lot width, it can be estimated that one inch is equal to about 41.74 feet (333.88 feet divided by 8 inches). However, the scale should be a standard scale such as one inch to 40 feet and the scale should be labeled so that measurements are easier to verify. A scale is shown on sheet F-1 (one inch to 50 feet) but it doesn't show all of the proposed parking spaces.
- 3.) Some of the parking spaces lack the required 26 feet of backup area. For example, there are 15 spaces on parcel 28 backing toward the floodway. These spaces appear to have less than 26 feet of unobstructed backup area. They need to be redesigned to provide more room for the 26 feet of backup area, be changed to compact only spaces (minimum 8' x 18' stall size with 23 feet of backup) or these spaces should be eliminated. Please verify that all spaces have a minimum of 26 feet of backup area.

Please provide three (3) sets of a revised site plan.

Please provide the requested information by September 7, 2009 or your case may be denied. If you have any questions you can call me at 213-974-6278 or send e-mail to rclaghorn@planning.lacounty.gov.

Sincerely,

Richard Claghorn
Principal Regional Planning Assistant
Los Angeles County Department of Regional Planning
Land Development Coordinating Center

Cc: Ben and Reef Gardens, 5837 Donna Ave., Tarzana, CA 91357



shaul yakovi <shaul92@gmail.com>

Fw: RPP 200900080

2 messages

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: karni69@gmil.com

Wed, Jul 7, 2010 at 1:05 PM

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>
Date: Wed, 7 Jul 2010 12:02:56 -0700
To: <shaul92@gmail.com>
Subject: RPP 200900080

Please read the attached letter. Let me know if you have any questions. Thanks.

Richard Claghorn

 **pp200900080cor5.doc**
31K

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: karni69@gmil.com

Wed, Jul 7, 2010 at 2:55 PM

[Quoted text hidden]

 **pp200900080cor5.doc**
31K



shaul yakovi <shaul92@gmail.com>

Ben reef gardens

1 message

shaul92@gmail.com <shaul92@gmail.com>

Tue, Jul 6, 2010 at 5:58 PM

Reply-To: shaul92@gmail.com

To: Richard clag <rclaghorn@planning.lacounty.gov>

Hello Richard

Hope you did not forget us you tall us that tuesday we going to have the ducs sign we did not hear from you please let us know when we pickup the plan

Thanks

Shaul yakovi

Sent from my BlackBerry® smartphone with Nextel Direct Connect



shaul yakovi <shaul92@gmail.com>

Ben reef gardens

1 message

shaul92@gmail.com <shaul92@gmail.com>

Tue, Jul 6, 2010 at 5:58 PM

Reply-To: shaul92@gmail.com

To: Richard clag <rclaghorn@planning.lacounty.gov>

Hello Richard

Hope you did not forget us you tall us that tuesday we going to have the ducs sign we did not hear from you please let us know when we pickup the plan

Thanks

Shaul yakovi

Sent from my BlackBerry® smartphone with Nextel Direct Connect

June 10, 2010

Shaul Yakovi
32222 Agua Dulce Canyon Road
Agua Dulce, CA 91390

Subject: Plot Plan RPP 200900080

Location: 32222 Agua Dulce Canyon Road, Agua Dulce

Dear Applicant,

There are still some items from the letter from July 27, 2009 that are unresolved as well as some new correction items based on the revised plans submitted on August 20, 2009. Your plot plan cannot be approved until the following corrections are made.

- 1.) The maximum number of people allowed at each event would be determined by the number of parking spaces provided on the property. One parking space per 3 persons is required. For example, if on-site parking for 50 vehicles can be provided, then the maximum number allowed at each event would be 150. All parking spaces need to be paved and meet county development standards. The maximum number of persons shown exceeds the limit of 500 that would be allowed without a Conditional Use Permit (CUP). It will need to be reduced to 500 or fewer per event.
- 2.) The areas on the parcel 26 landscape plan appear to be incorrect. On the other parcels the impervious area plus the turf area and native and drought tolerant landscape areas add up to the lot size. However, on parcel 26 they added up to 470,170.21 square feet, which is more than the listed lot area (450,056.73 square feet). On the plans submitted on August 20, 2009, the totals added up to 445,969.72, less than the total area. The impervious area plus the turf area and native and drought tolerant landscape areas must add up to the lot size.
- 3.) Although the impervious area, turf area and drought tolerant landscape areas add up to the listed lot size for parcels 25 and 27, the parking lot area increased on those parcels since the previous submittal, but the impervious area listed on the table did not change. All the figures shown on the tables for impervious area, turf area, drought tolerant landscaping area, etc. need to be updated to reflect the latest changes in the plan and need to be accurate. On parcel 28 there was no apparent increase in the parking area, so there doesn't appear to be a problem with the table for that parcel
- 4.) The newer parking spaces shown on the 8/20/09 plan appear to be on steep slopes. You indicated that some grading would be done in this area, including fill and retaining walls. A grading plan will be needed to show the proposed grading areas, including the amount of cut and fill, the heights and locations of retaining walls, the location of cut and fill, etc. Otherwise, these parking spaces should be eliminated from the plans, and the event capacity should be revised downward.

- 5.) In designing the parking layout, keep in mind that the slope of parking lots may not exceed 5%.

Please provide three (3) sets of a revised site plan.

Please provide the requested information by September 13, 2009 or your case may be denied. If you have any questions you can call me at 213-974-6278 or send e-mail to rclaghorn@planning.lacounty.gov.

Sincerely,

Richard Claghorn
Principal Regional Planning Assistant
Los Angeles County Department of Regional Planning
Land Development Coordinating Center

Cc: Ben and Reef Gardens, 5837 Donna Ave., Tarzana, CA 91357



shaul yakovi <shaul92@gmail.com>

Fw: RPP 200900080

1 message

shaul92@gmail.com <shaul92@gmail.com>

Mon, Jun 21, 2010 at 1:43 PM

Reply-To: shaul92@gmail.com

To: sami@midesigncorp.com

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>**Date:** Thu, 10 Jun 2010 16:01:50 -0700**To:** <shaul92@gmail.com>**Cc:** Gutwein, John<jgutwein@planning.lacounty.gov>; Paidar, Nooshin<npaidar@planning.lacounty.gov>**Subject:** RPP 200900080

Dear Shaul,

I discussed your case further with Susie Tae in our Land Divisions section today, and she said that we could leave it up to DPW to determine what restrictions would apply within the RUA. Removing or modifying the RUA would require Minor Land Division Revised Map, but this will not be necessary since DPW is apparently willing to allow the development within the area, subject to certain restrictions. Therefore, the biggest roadblock to your case's approval with our department has been removed. However, there are still a few issues that need to be resolved, which are explained in the attached letter. It appears they should be relatively simple to resolve. Let me know if you have any questions. I'll be gone until June 28, but hopefully you will have submitted corrected plans by that time and I can complete your review. Thank you.

Richard Claghorn

 **pp200900080cor4.doc**
33K

June 10, 2010

Shaul Yakovi
32222 Agua Dulce Canyon Road
Agua Dulce, CA 91390

Subject: Plot Plan RPP 200900080

Location: 32222 Agua Dulce Canyon Road, Agua Dulce

Dear Applicant,

There are still some items from the letter from July 27, 2009 that are unresolved as well as some new correction items based on the revised plans submitted on August 20, 2009. Your plot plan cannot be approved until the following corrections are made.

- 1.) The maximum number of people allowed at each event would be determined by the number of parking spaces provided on the property. One parking space per 3 persons is required. For example, if on-site parking for 50 vehicles can be provided, then the maximum number allowed at each event would be 150. All parking spaces need to be paved and meet county development standards. The maximum number of persons shown exceeds the limit of 500 that would be allowed without a Conditional Use Permit (CUP). It will need to be reduced to 500 or fewer per event.
- 2.) The areas on the parcel 26 landscape plan appear to be incorrect. On the other parcels the impervious area plus the turf area and native and drought tolerant landscape areas add up to the lot size. However, on parcel 26 they added up to 470,170.21 square feet, which is more than the listed lot area (450,056.73 square feet). On the plans submitted on August 20, 2009, the totals added up to 445,969.72, less than the total area. The impervious area plus the turf area and native and drought tolerant landscape areas must add up to the lot size.
- 3.) Although the impervious area, turf area and drought tolerant landscape areas add up to the listed lot size for parcels 25 and 27, the parking lot area increased on those parcels since the previous submittal, but the impervious area listed on the table did not change. All the figures shown on the tables for impervious area, turf area, drought tolerant landscaping area, etc. need to be updated to reflect the latest changes in the plan and need to be accurate. On parcel 28 there was no apparent increase in the parking area, so there doesn't appear to be a problem with the table for that parcel
- 4.) The newer parking spaces shown on the 8/20/09 plan appear to be on steep slopes. You indicated that some grading would be done in this area, including fill and retaining walls. A grading plan will be needed to show the proposed grading areas, including the amount of cut and fill, the heights and locations of retaining walls, the location of cut and fill, etc. Otherwise, these parking spaces should be eliminated from the plans, and the event capacity should be revised downward.

- 5.) In designing the parking layout, keep in mind that the slope of parking lots may not exceed 5%.

Please provide three (3) sets of a revised site plan.

Please provide the requested information by September 13, 2009 or your case may be denied. If you have any questions you can call me at 213-974-6278 or send e-mail to rclaghorn@planning.lacounty.gov.

Sincerely,

Richard Claghorn
Principal Regional Planning Assistant
Los Angeles County Department of Regional Planning
Land Development Coordinating Center

Cc: Ben and Reef Gardens, 5837 Donna Ave., Tarzana, CA 91357



shaul yakovi <shaul92@gmail.com>

Fw: RPP 200900080

1 message

shaul92@gmail.com <shaul92@gmail.com>

Reply-To: shaul92@gmail.com

To: Erez Karni <karni69@gmail.com>

Thu, Jun 10, 2010 at 4:39 PM

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>**Date:** Thu, 10 Jun 2010 16:01:50 -0700**To:** <shaul92@gmail.com>**Cc:** Gutwein, John <jgutwein@planning.lacounty.gov>; Paidar, Nooshin <npaidar@planning.lacounty.gov>**Subject:** RPP 200900080

Dear Shaul,

I discussed your case further with Susie Tae in our Land Divisions section today, and she said that we could leave it up to DPW to determine what restrictions would apply within the RUA. Removing or modifying the RUA would require Minor Land Division Revised Map, but this will not be necessary since DPW is apparently willing to allow the development within the area, subject to certain restrictions. Therefore, the biggest roadblock to your case's approval with our department has been removed. However, there are still a few issues that need to be resolved, which are explained in the attached letter. It appears they should be relatively simple to resolve. Let me know if you have any questions. I'll be gone until June 28, but hopefully you will have submitted corrected plans by that time and I can complete your review. Thank you.

Richard Claghorn

**pp200900080cor4.doc**

33K



shaul yakovi <shaul92@gmail.com>

32222 agua dulce cy rd

4 messages

karnier@gmail.com <karnier@gmail.com>

Mon, Feb 22, 2010 at 2:11 PM

Reply-To: karnier@gmail.com

To: rclaghorn@planning.lacounty.gov

Cc: mmoreno@dpw.lacounty.gov, shaul92@gmail.com, mike@lewisandco.net, ryakovi@yahoo.com, sami@midesigncorp.com, mmiller@dpw.lacounty.gov, jmeehan@fire.lacounty.gov

Dear richard

Per the request of mr marti moreno from la county public work we are asking you and miss n paydar to join this all departments meeting that will take place at the la county main office in Alhambra on thursday the 02/25 at 1.00 pm in mr moreno s Office

Please reapply to let us know if the date or time is at your convenient

Sent from my BlackBerry® smartphone with Nextel Direct Connect

karnier@gmail.com <karnier@gmail.com>

Mon, Feb 22, 2010 at 2:49 PM

Reply-To: karnier@gmail.com

To: rclaghorn@planning.lacounty.gov

Cc: mmoreno@dpw.lacounty.gov, shaul92@gmail.com, mike@lewisandco.net, ryakovi@yahoo.com, sami@midesigncorp.com, mmiller@dpw.lacounty.gov, gmeehan@fire.lacounty.gov

[Quoted text hidden]

Claghorn, Richard <rclaghorn@planning.lacounty.gov>

Tue, Feb 23, 2010 at 11:04 AM

To: karnier@gmail.com

Cc: mmoreno@dpw.lacounty.gov, shaul92@gmail.com, mike@lewisandco.net, ryakovi@yahoo.com, sami@midesigncorp.com, mmiller@dpw.lacounty.gov, gmeehan@fire.lacounty.gov

I will be able to attend the meeting at Public Works on Thursday at 1pm, but Nooshin Paidar will be unable to attend.

Richard Claghorn

-----Original Message-----

From: karnier@gmail.com [mailto:karnier@gmail.com]

Sent: Monday, February 22, 2010 2:49 PM

To: Claghorn, Richard

Cc: mmoreno@dpw.lacounty.gov.; shaul92@gmail.com; mike@lewisandco.net; ryakovi@yahoo.Com; sami@midesigncorp.com; mmiller@dpw.lacounty.gov; gmeehan@fire.lacounty.gov

Subject: 32222 agua dulce cy rd

Dear richard

Per the request of mr marti moreno from la county public work we are asking you and miss n paydar to join this all departments meeting that will take place at the la county main office in Alhambra on thursday the 02/25 at 1.00 pm in mr moreno s Office

Please reapply to let us know if the date or time is at your convenient

Sent from my BlackBerry(r) smartphone with Nextel Direct Connect

Miller, Mitch <MMILLER@dpw.lacounty.gov>

Tue, Feb 23, 2010 at 4:41 PM

To: Gerald Meehan <gmeehan@fire.lacounty.gov>

Cc: "Moreno, Martin" <MMORENO@dpw.lacounty.gov>, shaul92@gmail.com, karnier@gmail.com, "Gustin, James" <JGUSTIN@dpw.lacounty.gov>

Gerald,

Marty Moreno and myself are trying to coordinate a meeting to discuss proposed development for the subject property.

Meeting is proposed for Thursday @ 1:00pm at Public Works Building and Safety. 900 S. Fremont Alhambra, 3rd. floor. If you can attend, it is appreciated.

Thank you,

Mitch Miller
Senior Civil Engineer
Building and Safety Division
Los Angeles County Department of Public Works
(626) 458-6390 Fax (626) 458-6350
mmiller@dpw.lacounty.gov <<mailto:mmiller@dpw.lacounty.gov>>
[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Agua dulce

1 message

shaul92@gmail.com <shaul92@gmail.com>
Reply-To: shaul92@gmail.com
To: Richard clag <rclaghorn@planning.lacounty.gov>

Thu, Aug 27, 2009 at 2:32 PM

We are out side your office
Can u see us. We have paper work for u

Thanks

Shaul yakovi
Sent from my BlackBerry® smartphone with Nextel Direct Connect



shaul yakovi <shaul92@gmail.com>

Fw: RPP 200900080

1 message

shaul92@gmail.com <shaul92@gmail.com>

Mon, Aug 3, 2009 at 1:15 PM

Reply-To: shaul92@gmail.com

To: angelamgomez@sbcglobal.net

Sent from my BlackBerry® smartphone with Nextel Direct Connect

From: "Claghorn, Richard"**Date:** Mon, 27 Jul 2009 13:23:43 -0700**To:** shaul yakovi<shaul92@gmail.com>**Subject:** RPP 200900080

Please read the attached letter. The original and attachments will be mailed. Let me know if you have any questions. Thanks.

Richard Claghorn

 **pp200900080cor3.doc**
40K

July 27, 2009

Shaul Yakovi
32222 Agua Dulce Canyon Road
Agua Dulce, CA 91390

Subject: Plot Plan RPP 200900080

Location: 32222 Agua Dulce Canyon Road, Agua Dulce

Dear Applicant,

There are still some items from the letter from March 3, 2009 that are unresolved as well as some new correction items based on the revised plans. Your plot plan cannot be approved until the following corrections are made.

- 1.) A covenant to hold parcels as one tying lots 25, 26, 27 and 28 together is required since the use crosses these parcels and parking is located on the other parcels for the pavilion. A copy of the covenant form is attached. Please fill it out and submit to our staff for review prior to having the document notarized and recorded at the LA County Registrar/Recorder's office.
- 2.) Some of the parking spaces do not meet the required development standards. The handicapped spaces do not have the required loading areas. At least one of the handicapped spaces needs to be van accessible, with an 8 foot wide passenger side loading area. In addition, there need to be at least 4 other handicapped parking spaces with a minimum 5 foot wide loading area, which should be on the passenger side unless shared with another handicapped space. There need to be at least 5 total handicapped spaces if there are between 101 and 150 total spaces. You are showing 8 handicapped spaces, but none of them have the required loading areas.
- 3.) Some of the parking spaces lack the required 26 feet of backup area. For example, some of the spaces near the stream on parcel 28 appear to have only about 22 feet of backup area. There are other spaces as well that do not appear to have the required 26 feet of paved backup area, including some of the spaces on parcel 27. It shows a dirt road that is close behind some parking spaces. If the plans are just showing the existing dirt road that is to be paved over that is okay, but the plans need to clearly show the edge of the pavement so the backup area can be verified. If you propose compact spaces, they need only have 23 feet of backup area, but any such spaces need to be marked as such on the plans and on the site, and must conform to the compact space size requirements. See the attached commercial guideline sheet for more details.
- 4.) The maximum number of people allowed at each event would be determined by the number of parking spaces provided on the property. One parking space per 3 persons is required. For example, if on-site parking for 50 vehicles can be provided, then the maximum number allowed at each event would be 150. All parking spaces need to be

- paved and meet county development standards. The maximum number of persons shown (414) will need to be adjusted if the number of spaces provided changes.
- 5.) Please provide elevation plans for the tent structure and indicate the height of the structure.
 - 6.) Please provide more photographs and clearly label them. Photos of the entrance gate and an unidentified structure were included. However, we need photos of all the structures, as well as parking areas, the driveway, pond, vineyard area, creek, and other areas impacted by the development. Include a photo key map to show where each photo was taken and number the photos to correspond to the key map.
 - 7.) Please provide a copy of the property's current grant deed.
 - 8.) It appears that the structures are located within what is shown as a Restricted Use Area on the assessor's map and on the Parcel Map. This appears to be related to an area designated as a flood hazard area. Contact the Department of Public Works regarding this restriction and to find out whether they will allow you to build within the Restricted Use Area, and if so, what requirements and limitations would be applicable. Obtain required grading permits from Building and Safety (Public Works).
 - 9.) The tent on the property must comply with Fire Department requirements. Obtain Fire Department approval for the tent.
 - 10.) Our Zoning Enforcement section will need to verify that any outstanding violations have been resolved before the case is approved.
 - 11.) Provide copies of building permits for all structures on the property that were previously permitted.
 - 12.) The areas on the parcel 26 landscape plan appear to be incorrect. On the other parcels the impervious area plus the turf area and native and drought tolerant landscape areas add up to the lot size. However, on parcel 26 they add up to 470,170.21 square feet, which is more than the listed lot area (450,056.73 square feet). The impervious area plus the turf area and native and drought tolerant landscape areas should add up to the lot size.
 - 13.) Complete the Drought-tolerant landscaping covenant and have it notarized and recorded at the LA County Registrar/ Recorder's office. Please fill it out and submit to our staff for review prior to having the document notarized and recorded at the LA County Registrar/Recorder's office.
 - 14.) The project is subject to the Low Impact Development (LID) requirements, which require implementation of Best Management Practices regarding drainage issues. We need to know the total amount of impervious area (in square feet) on the property both before and after the development you are currently applying for in order to determine which standards apply. Impervious areas include all structures, paved areas and any other areas where stormwater can not permeate directly into the ground. Approval of the LID plan will need to be made by Public Works.

Please provide three (3) sets of a revised site plan.

Please provide the requested information by October 27, 2009 or your case may be denied. If you have any questions you can call me at 213-974-6278 or send e-mail to rclaghorn@planning.lacounty.gov.

Sincerely,

Richard Claghorn
Principal Regional Planning Assistant
Los Angeles County Department of Regional Planning
Land Development Coordinating Center

Cc: Ben and Reef Gardens, 5837 Donna Ave., Tarzana, CA 91357



shaul yakovi <shaul92@gmail.com>

Fwd: driveway 32222 Aqua Dulce Cyn. Rd

1 message

shaul yakovi <shaul92@gmail.com>

Thu, Apr 30, 2009 at 11:36 PM

To: laffabar@gmail.com

----- Forwarded message -----

From: **Cruz, Ruben** <RCRUZ@dpw.lacounty.gov>

Date: Wed, Apr 29, 2009 at 3:01 PM

Subject: RE: driveway 32222 Aqua Dulce Cyn. Rd

To: "Cruz, Ruben" <RCRUZ@dpw.lacounty.gov>, "Lexin, Robert" <RLEXIN@dpw.lacounty.gov>, "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>, "Al-Badawi, Ribhi" <RALBADAWI@dpw.lacounty.gov>, "Nguyen, Joseph" <CHNGUYEN@dpw.lacounty.gov>, "Gomez, Oscar" <ogomez@planning.lacounty.gov>

Cc: "Thompson, Scott" <STHOMP@dpw.lacounty.gov>, "Schleikorn, Letty" <LSCHLEIK@dpw.lacounty.gov>, "Paidar, Nooshin" <npaidar@planning.lacounty.gov>, shaul92@gmail.com, "Duong, Toan" <TDUONG@dpw.lacounty.gov>

Richard,

Per our telephone conversation with the applicant, the applicant will submit a copy of the site plan for Public Works tomorrow afternoon. Per our discussion, this driveway approach will be a temporary apron, until the plot plan and CUP has been reviewed and comment by Land Development. If the applicant wants to construct a sign within our road right of way, we will forward them to our 8th floor Construction Division to review and approval of the encroachment. Upon the submittal of the site plan, I will determine what review and approval will be required.

From: Cruz, Ruben**Sent:** Wednesday, April 29, 2009 2:14 PM**To:** Lexin, Robert; 'Claghorn, Richard'; Al-Badawi, Ribhi; Nguyen, Joseph; 'Gomez, Oscar'**Cc:** Thompson, Scott; Schleikorn, Letty; 'Paidar, Nooshin'**Subject:** RE: driveway 32222 Aqua Dulce Cyn. Rd

Richard and Oscar,

This project has not been submitted to Land Development for us to review and recommend approval. The applicant is calling my supervisor regarding the commercial driveway construction. I need additional information regarding this project (approval process, CUP, plot plan) ?

Applicant has informed me the CUP has expired, but DRP has given permission to continue with the paving including the reconstruction of driveway apron. At this time we do not know if the CUP requires additional improvements, or if a plot plan was approved without our Division reviewing and setting road improvements.

If you can please provide me with additional information, so we can assist the applicant. We are going to ask the applicant to submit to us the latest plot plan, so we can assist .the applicant.

From: Lexin, Robert
Sent: Wednesday, April 29, 2009 11:25 AM
To: Cruz, Ruben
Cc: Thompson, Scott
Subject: FW: driveway 32222 Aqua Dulce Cyn. Rd

Good morning Ruben,

The property owner of 32222 Aqua Dulce Cyn Rd. wants to obtain a permit for commercial driveway construction. They received the following (see below) from Regional Planning.

I talked with Leslie Cozby of B&S and she indicated that the property owner performed grading for construction across lots without a building permit and needs a CUP.

Please advise.

Thank you for your help,

Robert W. Lexin
Senior Construction Inspector
Permit Office No. 5
38126 North Sierra Highway
Palmdale, CA 93550
(661) 947-4151 Office
(661) 904-8380 Cell
(661) 947-5022 FAX
rlexin@dpw.lacounty.gov

From: shaul yakovi [mailto:shaul92@gmail.com]
Sent: Wednesday, April 29, 2009 9:18 AM
To: Lexin, Robert
Subject: Fwd: driveway

----- Forwarded message -----

From: Claghorn, Richard <rclaghorn@planning.lacounty.gov>
Date: Tue, Apr 28, 2009 at 5:15 PM
Subject: driveway
To: shaul yakovi <shaul92@gmail.com>

Shaul,

We spoke yesterday and earlier today about the driveway at 32222 Agua Dulce Canyon Road that you would like to complete the paving for. A permit (PCCO 200801981) relating to the driveway was issued but work was stopped due to some violations on the property before it was completed. You have a pending plot plan review case with us (RPP 200900080) for the outdoor dance pavilion and other structures on the property that you are seeking approval for. There are still some issues that need to be resolved before we can issue an approval of the plot plan case.

After discussing the driveway situation with Oscar Gomez of our Zoning Enforcement III section and Nooshin Paidar, my supervisor, we decided that it would be okay to resume work on completing the driveway once you get the okay from Public Works to resume. You would need to wait for the site plan to be approved and approval from Building and Safety and any other required agencies to be granted before the other work can be done.

We would not have any objection to you finishing work on the driveway once you get the okay from Public Works. We would also request that you verify the right of way location with Public Works and avoid putting any posts or other structures within the public right of way unless they authorize it. Let me know if you have any questions.

Richard Claghorn



shaul yakovi <shaul92@gmail.com>

driveway

3 messages

Claghorn, Richard <rclaghorn@planning.lacounty.gov>
To: shaul yakovi <shaul92@gmail.com>

Tue, Apr 28, 2009 at 5:15 PM

Shaul,

We spoke yesterday and earlier today about the driveway at 32222 Agua Dulce Canyon Road that you would like to complete the paving for. A permit (PCCO 200801981) relating to the driveway was issued but work was stopped due to some violations on the property before it was completed. You have a pending plot plan review case with us (RPP 200900080) for the outdoor dance pavilion and other structures on the property that you are seeking approval for. There are still some issues that need to be resolved before we can issue an approval of the plot plan case.

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We would not have any objection to you finishing work on the driveway once you get the okay from Public Works. We would also request that you verify the right of way location with Public Works and avoid putting any posts or other structures within the public right of way unless they authorize it. Let me know if you have any questions.

Richard Claghorn

shaul yakovi <shaul92@gmail.com>
To: laffabar@gmail.com

Tue, Apr 28, 2009 at 5:18 PM

[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>
To: rlexin@dpw.lacounty.gov

Wed, Apr 29, 2009 at 9:18 AM

----- Forwarded message -----

From: **Claghorn, Richard** <rclaghorn@planning.lacounty.gov>
Date: Tue, Apr 28, 2009 at 5:15 PM
Subject: driveway
To: shaul yakovi <shaul92@gmail.com>

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

survey for 32222 agua dulce include the enterances

2 messages

shaul yakovi <shaul92@gmail.com>

Mon, Mar 30, 2009 at 10:10 AM

To: rclaghorn@planning.lacounty.gov

Hello Mr Claghorn

please review asap please call me 213-923-5225 I am leaving to israel in few days

Thank You

Shaul Yakovi
shaul92@gmail.com
213-923-5225

----- Forwarded message -----

From: **shaul yakovi** <shaul92@gmail.com>

Date: Sun, Mar 29, 2009 at 2:52 PM

Subject: Fwd: Project as revised on March 25-28,2009. adding access roads and flat upper area

To: laffabar@gmail.com

----- Forwarded message -----

From: **shaul yakovi** <shaul92@gmail.com>

Date: Sun, Mar 29, 2009 at 2:33 PM

Subject: Fwd: Project as revised on March 25-28,2009. adding access roads and flat upper area

To: ANGELAMGOMEZ@sbcglobal.net


----- Forwarded message -----

From: **Atanacio Payan** <atanacio.payan@att.net>

Date: Sat, Mar 28, 2009 at 10:32 PM

Subject: Project as revised on March 25-28,2009. adding access roads and flat upper area

To: shaul yakovi <shaul92@gmail.com>Cc: Erez <laffabar@gmail.com>

3 attachments **09007-200.pdf**
1344K **09007.dwg**
1706K

 09007-50.pdf
1187K

shaul yakovi <shaul92@gmail.com>
To: ods02101cpc@officedepot.com

Tue, Apr 21, 2009 at 12:19 PM

attn:office depot attendant please make 3 copies of the second pdf attachent

thank
shaul

----- Forwarded message -----

From: **Claghorn, Richard** <rclaghorn@planning.lacounty.gov>
Date: Mon, Apr 6, 2009 at 8:21 AM
Subject: RE: survey for 32222 agua dulce include the enterances
To: shaul yakovi <shaul92@gmail.com>

Mr. Yakovi,

I just got this e-mail today. It was sent to my junk e-mail folder, and I just noticed it there and moved it to my inbox folder. The survey looks good from what I can see but I couldn't open the dwg file. Please send us 3 sets of the revised hard copy site plan. Thanks.

Richard Claghorn

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Fwd: FW: 32222 Agua Dulce Canyon Rd.

1 message

shaul yakovi <shaul92@gmail.com>
To: d_design_inc@yahoo.com

Thu, Dec 18, 2008 at 4:54 PM

----- Forwarded message -----

From: **Claghorn, Richard** <rclaghorn@planning.lacounty.gov>
Date: Thu, Dec 18, 2008 at 10:15 AM
Subject: FW: 32222 Agua Dulce Canyon Rd.
To: shaul92@gmail.com

I sent the e-mail below to Building and Safety based on our discussion on Tuesday.

Richard Claghorn

From: Claghorn, Richard
Sent: Thursday, December 18, 2008 10:10 AM
To: 'rbagby@dpw.lacounty.gov'; 'lcozby@dpw.lacounty.gov'; 'jmccarne@dpw.lacounty.gov'
Cc: Gomez, Oscar; Paidar, Nooshin
Subject: 32222 Agua Dulce Canyon Rd.

Mr. Shaoul Yakovi has requested that we write to you concerning the status of the property at 32222 Agua Dulce Canyon Road. There are 8 parcels in all.

The applicant has agreed to submit a site plan review for the renovation of the existing residence on parcel 3212-008-054. They have not yet filed the case, but plan to soon. The site plan review will only be for the remodeling of the residence and will not include the other work on the property. We have agreed to process this case separately from the CUP.

The applicant has agreed to submit a CUP for this same parcel (54) for an RV Park/campground/snack bar/caretaker residence and related uses, including grading/solid fill on the property. There was a previous CUP for an RV Park/caretaker's residence that has expired. They have not filed the case yet but plan to do so soon according to a letter we received from them.

The applicant is also seeking approval for parcels 3212-007-025 and -026. They want approval for holding outdoor events such as weddings, birthday parties, business conferences and other events. There was also some grading work done on these parcels for some ponds and some structures were built without permits. We are still in the process of determining what the appropriate permitting procedures will be for this property. We will notify you of the process that will be required once that has been determined. It will be either a site plan review or CUP.

The applicant has indicated to us that they do not plan on using APN 3212-007-027 and -028, APN 3212-008-051 and -052 and APN 3212 -004-012 at this time for any use and they plan to keep them as vacant parcels. Parcels 12, 51 and 52 have an existing driveway that will continue to provide access to parcel 54, but no other uses are proposed on these parcels according to the applicant.

Our Zoning Enforcement section has cited the property owner for violations on parcels 25, 26 and 54. They are in the process of working to correct the violations, and the applications they are filing will be part of this process. There are no current zoning violations on parcels 12, 51, 52, 27 and 28. The applicant has asked for our clearance for these vacant parcels but since there is no proposed use on these parcels there is nothing for us to review. They have reportedly done some work in the stream bed on parcels 27 and 28. We believe this work will require clearance from the Department of Fish and Game, but no Regional Planning approval would be needed for these parcels based on the information we have. If you have any questions regarding the Zoning Enforcement issues you may contact Oscar Gomez.

Let me know if you have any questions regarding any of the above properties. I'll be out of the office next week so if you have questions about the case during that time you may contact Oscar Gomez or Nooshin Paidar.

Richard Claghorn

BEN & REEF GARDENS, INC
32222 Agua Dulce Canyon Rd.
Agua Dulce, CA 91390

County of Los Angeles
Department of Los Angeles
320 West Temple Street
Los Angeles, California 90021

MR. RICHARD CLAGHORN
Principal Regional Planning Assistant
Land Development coordinating Center

After our meeting on in your office on December 16, 2008 following issue have been concluded

- 1. A site plan review application for lot 25 – 26 will be submitted to Zoning Department for approval**
- 2. A c.u.p application will be submitted for lot 54 as agreed. The c.u.p application will include all existing promises on the property such as:**

Snack bar-restart
Rave parking and camp ground
Pools in spa's
Playgrounds
Cantina/ souvenir shop
Home carrier/ care taker home
Restrooms
Recreations rooms
Movement of some dirt on larger pound

- 3. A separate site plan application for the existing dwelling on lot 54 will be submitted separate from the c.u.p application for the remodeling of the existing single home family pools, spas.**
- 4. On our meeting you have informed us and in our present by phone with Mr. Richard Bagby office manager of building and safe in Santa Clarita that no planning or zoning approval of any kind is right now required for lots 27, 28, 52, 51, and 12 And the reasons for that: lots remains as is no new proposed plan**

Therefore we are here by requesting you as we agreed in our meeting to release the letter to the Department of Building and Safety. As soon as possible in order for us to proceed with all necessary requirements of LA county.

Best Regards;

Ronit Waizgen
Ben & Reef Gardens INC,

BEN & REEF GARDENS, INC
32222 Agua Dulce Canyon Rd.
Agua Dulce, CA 91390

County of Los Angeles
Department of Los Angeles
320 West Temple Street
Los Angeles, California 90021

MR. RICHARD CLAGHORN
Principal Regional Planning Assistant
Land Development coordinating Center

After our meeting on in your office on December 16, 2008 following issue have been concluded

- 1. A site plan review application for lot 25 – 26 will be submitted to Zoning Department for approval**
- 2. A c.u.p application will be submitted for lot 54 as agreed. The c.u.p application will include all existing promises on the property such as:**

Snack bar-restart
Rave parking and camp ground
Pools in spa's
Playgrounds
Cantina/ souvenir shop
Home carrier/ care taker home
Restrooms
Recreations rooms
Movement of some dirt on larger pound

- 3. A separate site plan application for the existing dwelling on lot 54 will be submitted separate from the c.u.p application for the remodeling of the existing single home family pools, spas.**
- 4. On our meeting you have informed us and in our present by phone with Mr. Richard Bagby office manager of building and safe in Santa Clarita that no planning or zoning approval of any kind is right now required for lots 27, 28, 52, 51, and 12 And the reasons for that: lots remains as is no new proposed plan**

Therefore we are here by requesting you as we agreed in our meeting to release the letter to the Department of Building and Safety. As soon as possible in order for us to proceed with all necessary requirements of LA county.

Best Regards;

Ronit Waizgen
Ben & Reef Gardens INC,



shaul yakovi <shaul92@gmail.com>

32222 agua dulce

1 message

shaul yakovi <shaul92@gmail.com>
To: rclaghorn@planning.lacounty.gov

Tue, Dec 16, 2008 at 4:32 PM

----- Forwarded message -----

From: **shaul yakovi** <shaul92@gmail.com>
Date: Dec 16, 2008 4:30 PM
Subject:
To: shaul yakovi <shaul92@gmail.com>

 **BEN[1].doc**
25K



Payment Request Form

REQUIRED BY PLANNER >	EXISTING PROJECT #: <u>R2012-02971</u>	EXISTING PLAN/PERMIT #: <u>CUP 201200163</u>
	NEED A NEW PROJECT? Yes or <u>No</u>	NEED A NEW WORK CLASS? Yes or <u>No</u>

WORK CLASS FEES:

- CUP \$9,473 | Concurrent \$8,951 – Yes or No?
- CUP - Minor – \$1,621
- CUP - SEA (up to 3,500 sf.) – \$10,018
- CUP - SEA – \$20,717
- CUP _____ – \$ _____
- Oak Tree Permit w/ Hearing – \$9,473
- Oak Tree Permit w/out Hearing – \$1,179
- Parking Permit – \$9,473
- Revised Exhibit "A" – \$1,580
- Revised Exhibit "A" ZCR – \$518
- Site Plan Review _____ – \$ _____
- Site Plan Review, Amendment – \$546
- Variance – \$9,473
- Other _____ – \$ _____
- Other _____ – \$ _____

ENVIRONMENTAL WORK CLASS FEES:

- Initial Environmental Review – \$347
- ND - Initial Study – \$3,312
 - DPW Referral Other – \$1,084
 - DPW Referral - Major LD – \$1,855
 - DPR Referral – \$458

COASTAL DEVELOPMENT PERMIT WORK CLASS FEES:

- MDR & SCI Coastal Zone _____ – \$ _____
- SMM Coastal Zones _____ – \$ _____

ONE-STOP CONSULTATION FEES:

- DRP – \$361
- Fire – \$145
- Public Works – \$253.25
- Public Health – \$129
- Parks & Recreation – \$0

OTHER DEPARTMENTAL REFERRAL FEES:

- Fire - Site Plan Review – \$131
- Fire - Zone Change – \$247
- Fire - Mobile Home Permit – \$362
- Parks – \$238
- Other _____ – \$ _____

ZONING ENFORCEMENT FEES:

- Permit Reinspection Fee(s) – \$ _____
- Other _____ – \$ _____

APPEAL FEES

- RPC - Applicant – \$6,434
- RPC - Applicant - one or two project conditions – \$798
- Other _____ – \$ _____

Richard Claghorn 5-15-19
 NAME OF PLANNER DATE
[Signature]
 SIGNATURE OF PLANNER

NOTES

CUP DEPARTMENT REFERRAL FEES:

- Fire – \$362 384
 - Revision(s) – \$212 each; Total \$ _____
- Parks – \$641 559
 - Revision(s) – \$307 each; Total \$ _____
- Public Health w/ Public Water & Sewer – \$191
- Public Health w/ Private Water or Sewer – ~~\$643~~ 664
- Public Health w/ Noise Review – \$1,053

DRAWDOWN ACCOUNT FEES (REQUIRED BY PLANNER)

Does the applicant need to replenish an existing drawdown account?

- If yes, what is the account name?
(Contact Budget & Accounting if you don't know)
_____ – \$ _____
- If no, a new drawdown will be created. Please select the appropriate one below:
 - ZE Condition Check \$ _____
 - Minor EIR – \$5,000 Major EIR – \$10,000
 - MMRP – \$6,000 Plan Amendment – \$3,000
 - Other _____ – \$ _____

Payment Receipt

Receipt #: TRC-016195-15-05-2019

Paid On: 05/15/2019

Paid By:

Gardens of Paradise
 32222 Agua Dulce Canyon Road
 Santa Clarita, CA 91390



Department of Regional Planning
 Amy J. Bodek, AICP, Director

320 W Temple Street
 Los Angeles, CA 90012

(213) 974-6411

<http://planning.lacounty.gov>

Received By:
 Armench Arakilians

Printed On:
 5/15/2019

Project Number - Case Number Fee Name	Fee Amount	Payment Method	Reference No.	Paid Amount
- Misc Fee - Cashier NSF Service Fee - DRP	\$33.00	Cashier's Check	461750	\$33.00
R2012-02971 - RCUP-201200163 CUP - Referral - DPH - Private Sewage or Water	\$664.00	Cashier's Check	461750	\$664.00
CUP - Referral - DPR	\$559.00	Cashier's Check	461750	\$559.00
CUP - Referral - Fire	\$384.00	Cashier's Check	461750	\$384.00
	\$1,640.00		Total	\$1,640.00



shaul yakovi <shaul92@gmail.com>

FW: You have a New Assignment within Energov (RCUP-201200163)

2 messages

Jerry Asabor <JAsabor@dpw.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>
Cc: Kent Tsujii <KTSUJII@dpw.lacounty.gov>

Tue, Jul 16, 2019 at 8:01 AM

Good morning Shaul,

Regarding your Zoning Permit Application for an "Event Center, Day Spa, and Corporate Retreat," Public Works will also require a trip generation study.

If you could provide that to me at your earliest convenience, I would be happy to move forward with your application.

Sincerely,

Jerry Asabor
Civil Engineering Assistant
Los Angeles County Public Works
Office: (626) 300-4769

Jerry Asabor <JAsabor@dpw.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>
Cc: Ghassan Shelleh <GSHELLEH@dpw.lacounty.gov>

Tue, Mar 10, 2020 at 4:31 PM

Shaul,

Unfortunately, we do not have an electronic copy of the Trip Generation Handbook 3rd Edition.

Jerry Asabor
Civil Engineering Assistant
Los Angeles County Public Works

4/30/2021

Gmail - FW: You have a New Assignment within Energov (RCUP-201200163)

Office: (626) 300-4769

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Fwd: Ben & Reef Gardens inquiries

2 messages

shaul92@gmail.com <shaul92@gmail.com>

Thu, Jun 11, 2015 at 7:32 PM

To: erez karni <karni69@gmail.com>

Sent from my iPhone

Begin forwarded message:

From: Richard Claghorn <rclaghorn@planning.lacounty.gov>
Date: June 11, 2015 at 3:57:57 PM PDT
To: "shaul92@gmail.com" <shaul92@gmail.com>
Subject: Ben & Reef Gardens inquiries

Hello Shaul,

As I mentioned on the phone earlier, Robert Stenson of Equassure came into our office on March 4, 2015, inquired about your property, and gave me his business card. His phone # is 310-335-9350 and email is rstenson@equassure.com . I was later contacted on March 31 via email by David Rosenthal, who also asked about your property. I also spoke with him over the phone. His contact information is listed below:

David Rosenthal

Rosenthal Land Advocates, Inc.
Office: 949-943-3926

Cell: 949-943-2926

david@rosenthallandadvocates.com

Lic. 01173980

P.O. Box 50844, Irvine, CA 92619

[Click Here To See What People Are Saying About Us!](#)**Richard Claghorn**

Principal Regional Planning Assistant

Zoning Permits North Section
Department of Regional Planning
320 W. Temple Street, Room 1348
Los Angeles, CA 90012
Phone: 213-974-6443

Richard Claghorn <rclaghorn@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>

Thu, Jun 18, 2015 at 5:26 PM

Hello Shaul,

I think it will be better for you to bring in the revised plans, referral fees, and the other information requested in the May 12, 2015 letter to our office rather than at a visit to the property in Agua Dulce. I still want to visit the site again, but it probably won't be in July as we had discussed last week. Let me know if you would like to submit the revisions on July 7 as we talked about, or if you would like to do it another day. You can choose another day to submit, but it needs to be before the August 12 deadline. Let me know your preferred day and time and I will confirm if I'm available. Thanks.

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

ben & reef gardens

2 messages

shaul yakovi <shaul92@gmail.com>
To: BEMitnick@comerica.com

Tue, Feb 5, 2013 at 2:53 PM

Hello Barry

hear is the phone number to the planing department and name of the officer that assign to our file

Rob Glaser
213-9746443
email rglaser@planning.lacounty.gov

Thanks
Shaul Yakovi

shaul yakovi <shaul92@gmail.com>
To: joesafran@yahoo.com

Wed, Nov 19, 2014 at 10:02 AM

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Handicap Parking, Ben and Reef Gardens

2 messages

shaul yakovi <shaul92@gmail.com>

Tue, Apr 30, 2013 at 6:49 PM

To: rglaser@planning.lacounty.gov

Hello Rob,

Sorry about that last e-mail. This is the handicap parking with signs and everything. it is completely finished and is ready for use. Please remove all the restrictions and any other problems from the property. Oscar Gomez's office have the documentation. If you have any questions contact me through e-mail or phone.

Shaul Yakovi

(213)923-5225

shaul92@gmail.com

Much Appreciated,
Shaul Yakovi



handicap parking.JPG
4463K

shaul yakovi <shaul92@gmail.com>

Tue, Apr 30, 2013 at 6:49 PM

To: erez karni <karni69@gmail.com>

[Quoted text hidden]



handicap parking.JPG
4463K



shaul yakovi <shaul92@gmail.com>

handicap parking ben & reef gardens 32222 agua dulce cyn rd

1 message

shaul yakovi <shaul92@gmail.com>

Tue, Apr 30, 2013 at 6:43 PM

To: rglaser@planning.lacounty.gov

Hello Rob,



shaul yakovi <shaul92@gmail.com>

Fwd: Application Status regarding R2012-02971

2 messages

shaul yakovi <shaul92@gmail.com>
To: Erez Karni <karni69@gmail.com>

Mon, Dec 24, 2012 at 2:43 PM

----- Forwarded message -----

From: **Susan Tae** <stae@planning.lacounty.gov>

Date: Mon, Dec 24, 2012 at 8:55 AM

Subject: Application Status regarding R2012-02971

To: "Shaul92@gmail.com" <Shaul92@gmail.com>

Cc: Mark Herwick <mherwick@planning.lacounty.gov>, Oscar Gomez <ogomez@planning.lacounty.gov>, Mitch Glaser <mglaser@planning.lacounty.gov>, Robert Glaser <rglaser@planning.lacounty.gov>

Good morning Shaul,

My name is Susie Tae and I work with Mr. Rob Glaser. He will be out of the office this week, and asked that I forward you this e-mail, documenting that you have submitted the necessary information in order for the application to be deemed complete.

Hi Shaul,

This email is confirmation that your application for Project R2012-02971/CUP 201200163/ENV 201200305 is complete. The project request is for a Conditional Use Permit to authorize a private recreation club, a type 47 (beer, wine, and distilled spirits) ABC permit for on-site consumption, massage services, a winery with a tasting room, and a caretaker's residence in the R-R-1 (Resort and Recreation – One Acre Required Minimum Lot Size) zone. During the submittal process I have verified that you submitted the appropriate documentation, but I have returned part of this required information to you, since it was original documents to be reproduced. Please be aware that I will be waiting for these documents before proceeding.

Thanks,

Rob Glaser

Thank you, and happy holidays!

Susie

4/30/2021

Gmail - Fwd: Application Status regarding R2012-02971

Susan Tae, AICP

Supervising Regional Planner

Zoning Permits North Section

Department of Regional Planning

320 W. Temple Street

Los Angeles, CA 90012

<http://planning.lacounty.gov>

213-974-6443



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shaul yakovi <shaul92@gmail.com>
To: greg@pagelawyers.com

Mon, Dec 24, 2012 at 3:02 PM

[Quoted text hidden]



**NOTICE OF COMPLETION AND AVAILABILITY
DRAFT ENVIRONMENTAL IMPACT REPORT**

NOTICE OF PUBLIC HEARING

**SANTA CLARITA VALLEY AREA PLAN UPDATE
ONE VALLEY ONE VISION**



**PROJECT NO. R2007-01226-(5)
PLAN AMENDMENT CASE NO. 200900006-(5)
ZONE CHANGE CASE NO. 200900009-(5)
ENVIRONMENTAL ASSESSMENT CASE NO. 200900080-(5)
STATE CLEARINGHOUSE NO. 2008071119**

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Proposed Zone Change 200900009-(5), if adopted, would change the zoning designation of parcels to ensure that zoning is consistent with the land use categories designated in the proposed comprehensive update of the Santa Clarita Valley Area Plan. The proposed Zone Change would also amend the Los Angeles County Zoning Ordinance to clarify adopted provisions related to hillside management areas and to allow local plans, such as the comprehensive update of the Santa Clarita Valley Area Plan, to establish maximum residential densities in all hillside management areas.

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Canyon County Jo Anne Darcy Library 18601 Soledad Canyon Road Santa Clarita, California 91351	Newhall Library 22704 W. 9 th Street Newhall, California 91321
Castatic Library 27971 Sloan Canyon Road Castaic, CA 91384	Valencia Library 23743 W. Valencia Boulevard Santa Clarita, California 91355

Continued on reverse

For more information, please visit <http://planning.lacounty.gov>

Note: multiple lines mean that your property is divided into multiple land use/zoning designations.

**HM to RL2 / R-R-1 to A-1-2
M1 to RL2 / R-R-1 to A-1-2
O-P to RL2 / R-R-1 to A-1-2
W to RL2 / R-R-1 to A-1-2**

Land Use Change (Existing to Proposed) / Zoning Change (Existing to Proposed):

Your property: 3212007025



**Los Angeles County
Department of Regional Planning
320 West Temple Street, Room 1354
Los Angeles, CA 90012**

**BORDEN, STEVEN LAND SUSAN W TRS
26525 JOSEL DR
SANTA CLARITA CA 91387**

LEGAL NOTICE

Please read carefully
Your property may be affected.



**NOTICE OF COMPLETION AND AVAILABILITY
DRAFT ENVIRONMENTAL IMPACT REPORT**

NOTICE OF PUBLIC HEARING

**SANTA CLARITA VALLEY AREA PLAN UPDATE
ONE VALLEY ONE VISION**



**PROJECT NO. R2007-01226-15)
PLAN AMENDMENT CASE NO. 200900006-15)
ZONE CHANGE CASE NO. 200900009-15)
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STATE CLEARINGHOUSE NO. 2008071119**

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- | | |
|---|--|
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Continued on reverse

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Land Use Change (Existing to Proposed) / Zoning Change (Existing to Proposed):

Your property: 3212007026

HIM to RL2 / R-R-1 to A-1-2
N1 to RL2 / R-R-1 to A-1-2
O-P to RL2 / R-R-1 to A-1-2
W to RL2 / R-R-1 to A-1-2



Los Angeles County
Department of Regional Planning
320 West Temple Street, Room 1354
Los Angeles, CA 90012

BORDEN, STEVEN L AND SUSAN W TRS
26525 JOSEL DR
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Castaic Library 27971 Sloan Canyon Road Castaic, CA 91384	Valencia Library 23743 W. Valencia Boulevard Santa Clarita, California 91355

Continued on reverse

For more information, please visit <http://planning.lacounty.gov/ovov>

Note: multiple lines mean that your property is divided into multiple land use/zoning designations.

HM to RL2 / R-R-1 to A-1-2
N1 to RL2 / R-R-1 to A-1-2
O-P to RL2 / R-R-1 to A-1-2
W to RL2 / R-R-1 to A-1-2

Land Use Change (Existing to Proposed) / Zoning Change (Existing to Proposed):

Your property: 3212007027



Los Angeles County
Department of Regional Planning
320 West Temple Street, Room 1354
Los Angeles, CA 90012

BORDEN, STEVEN LAND SUSAN W TRS
26525 JOSEL DR
SANTA CLARITA CA 91387

LEGAL NOTICE

Please read carefully
Your property may be affected.



**NOTICE OF COMPLETION AND AVAILABILITY
DRAFT ENVIRONMENTAL IMPACT REPORT**

NOTICE OF PUBLIC HEARING

**SANTA CLARITA VALLEY AREA PLAN UPDATE
ONE VALLEY ONE VISION**



**PROJECT NO. R2007-01226-(5)
PLAN AMENDMENT CASE NO. 200900006-(5)
ZONE CHANGE CASE NO. 200900009-(5)
ENVIRONMENTAL ASSESSMENT CASE NO. 200900080-(5)
STATE CLEARINGHOUSE NO. 2008071119**

Notice of Completion and Availability, Draft Environmental Impact Report

The Los Angeles County Department of Regional Planning, acting in the capacity of "Lead County Agency" under the Los Angeles County Environmental Document Reporting Procedures and Guidelines, Chapter III, Section 304, has filed a "Notice of Completion" of a Draft Environmental Impact Report (DEIR) for the **Santa Clarita Valley Area Plan Update Project**. This document has been prepared in accordance with, and pursuant to, the California Environmental Quality Act (CEQA), as amended; the Public Resources Code, Sections 21000-21177; the "Guidelines for Implementation of the California Environmental Quality Act" (State CEQA Guidelines), as amended; and the California Code of Regulations, Title 14, Chapter 3, Sections 15000-15387.

The formal public review period for the DEIR will be from September 4, 2009 to November 2, 2009 (60 days). Written comments received on the DEIR prior to the close of the public comment period will be considered in the Final EIR. If you wish to send written comments, please write to Mr. Mitch Glaser, Department of Regional Planning, 320 W. Temple Street, Los Angeles, California 90012 or send an e-mail to ovov@planning.lacounty.gov.

To ensure public access to the DEIR, copies of this document will be available on September 4, 2009 at the reviewing locations listed below.

Notice of Public Hearing

Notice is hereby given that the Los Angeles County Regional Planning Commission ("Commission") will conduct a public hearing concerning this project on **October 5, 2009, at 6:30 p.m. at the Castaic Sports Complex, 31230 N. Castaic Road, Castaic, California 91384**. Interested persons will be given an opportunity to testify concerning this project and the DEIR. Testimony on the DEIR will be considered in the Final EIR.

If you are unable to attend the public hearing but wish to send written comments, please write to Mr. Mitch Glaser, Department of Regional Planning, 320 W. Temple Street, Los Angeles, California 90012 or send an e-mail to ovov@planning.lacounty.gov.

The Commission may conduct additional public hearings concerning this project. If the Commission approves this project, the Los Angeles County Board of Supervisors will conduct a public hearing concerning this project. Pursuant to the requirements of the Los Angeles County Zoning Ordinance and Section 65091 of the Government Code, notice of future public hearings will be provided in The

Signal Newspaper. **This is the only mailed notice you will receive. If you would like to receive mailed notice of future public hearings, please contact us (see reverse).**

If you challenge a County action in court, you may be limited to raising only those issues you or someone else raised at the public hearings or in written correspondence delivered at, or prior to, the public hearings.

Proposed Project

The proposed project is a comprehensive update of the Santa Clarita Valley Area Plan, a component of "One Valley One Vision," a joint planning effort with the City of Santa Clarita. The project includes the following:

Proposed Plan Amendment 200900006-(5), if adopted, would repeal the Santa Clarita Valley Area Plan, adopted in 1984 and subsequently amended, and would adopt the proposed comprehensive update of the Santa Clarita Valley Area Plan. The proposed Plan Amendment would also amend the Countywide General Plan to clarify adopted provisions related to hillside management areas, and to allow local plans, such as the comprehensive update of the Santa Clarita Valley Area Plan, to establish maximum residential densities in all hillside management areas.

Proposed Zone Change 200900009-(5), if adopted, would change the zoning designation of parcels to ensure that zoning is consistent with the land use categories designated in the proposed comprehensive update of the Santa Clarita Valley Area Plan. The proposed Zone Change would also amend the Los Angeles County Zoning Ordinance to clarify adopted provisions related to hillside management areas and to allow local plans, such as the comprehensive update of the Santa Clarita Valley Area Plan, to establish maximum residential densities in all hillside management areas.

Project Location

The project location includes all unincorporated areas within the Santa Clarita Valley planning area, as described and mapped in the currently adopted Santa Clarita Valley Area Plan and in the proposed comprehensive update of the Santa Clarita Valley Area Plan. The project location includes the unincorporated communities of Agua Dulce, Bouquet Canyon, Castaic, Fair Oaks Ranch, Hasley Canyon, San Francisquito Canyon, Val Verde, Sunset Pointe, Southern Oaks, Stevenson Ranch and Westridge.

Reviewing Locations

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- | | |
|--|---|
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22704 W. 9th Street
Newhall, California 91321</p> |
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23743 W. Valencia Boulevard
Santa Clarita, California 91355</p> |

Continued on reverse

For more information, please visit <http://planning.lacounty.gov/ovov>

Note: multiple lines mean that your property is divided into multiple land use/zoning designations.

Land Use Change (Existing to Proposed) / Zoning Change (Existing to Proposed):

Your property: 3212007028

**HM to RL2 / R-R-1 to A-1-2
N1 to RL2 / R-R-1 to A-1-2
O-P to RL2 / R-R-1 to A-1-2
W to RL2 / R-R-1 to A-1-2**



**Los Angeles County
Department of Regional Planning
320 West Temple Street, Room 1354
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**BORDEN, STEVEN L AND SUSAN W TRS
26525 JOSEL DR
SANTA CLARITA CA 91387**

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**NOTICE OF COMPLETION AND AVAILABILITY
DRAFT ENVIRONMENTAL IMPACT REPORT**

NOTICE OF PUBLIC HEARING

**SANTA CLARITA VALLEY AREA PLAN UPDATE
ONE VALLEY ONE VISION**



**PROJECT NO. R2007-01228-(5)
PLAN AMENDMENT CASE NO. 200900006-(5)
ZONE CHANGE CASE NO. 200900009-(5)
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STATE CLEARINGHOUSE NO. 2008071119**

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Santa Clarita, California 91355 |

Continued on reverse

For more information, please visit <http://planning.lacounty.gov>

Note: multiple lines mean that your property is divided into multiple land use/zoning designations.

HM to RL2 / R-R-1 to A-1-2
N1 to RL2 / R-R-1 to A-1-2
W to RL2 / A-1-1 to A-1-2
W to RL2 / R-R-1 to A-1-2

Land Use Change (Existing to Proposed) / Zoning Change (Existing to Proposed):

Your property: 3212008054



Los Angeles County
Department of Regional Planning
320 West Temple Street, Room 1354
Los Angeles, CA 90012

BORDEN, STEVEN L AND SUSAN W TRS
26525 JOSEL DR
SANTA CLARITA CA 91387

LEGAL NOTICE

Please read carefully.
Your property may be affected.



shaul yakovi <shaul92@gmail.com>

Fwd: Application Status regarding R2012-02971

2 messages

shaul yakovi <shaul92@gmail.com>
To: Erez Karni <karni69@gmail.com>

Mon, Dec 24, 2012 at 2:43 PM

----- Forwarded message -----

From: **Susan Tae** <stae@planning.lacounty.gov>

Date: Mon, Dec 24, 2012 at 8:55 AM

Subject: Application Status regarding R2012-02971

To: "Shaul92@gmail.com" <Shaul92@gmail.com>

Cc: Mark Herwick <mherwick@planning.lacounty.gov>, Oscar Gomez <ogomez@planning.lacounty.gov>, Mitch Glaser <mglaser@planning.lacounty.gov>, Robert Glaser <rglaser@planning.lacounty.gov>

Good morning Shaul,

My name is Susie Tae and I work with Mr. Rob Glaser. He will be out of the office this week, and asked that I forward you this e-mail, documenting that you have submitted the necessary information in order for the application to be deemed complete.

Hi Shaul,

This email is confirmation that your application for Project R2012-02971/CUP 201200163/ENV 201200305 is complete. The project request is for a Conditional Use Permit to authorize a private recreation club, a type 47 (beer, wine, and distilled spirits) ABC permit for on-site consumption, massage services, a winery with a tasting room, and a caretaker's residence in the R-R-1 (Resort and Recreation – One Acre Required Minimum Lot Size) zone. During the submittal process I have verified that you submitted the appropriate documentation, but I have returned part of this required information to you, since it was original documents to be reproduced. Please be aware that I will be waiting for these documents before proceeding.

Thanks,

Rob Glaser

Thank you, and happy holidays!

Susie

4/30/2021

Gmail - Fwd: Application Status regarding R2012-02971

Susan Tae, AICP

Supervising Regional Planner

Zoning Permits North Section

Department of Regional Planning

320 W. Temple Street

Los Angeles, CA 90012

<http://planning.lacounty.gov>

213-974-6443



CONFIDENTIALITY NOTICE: This email message, including any attachments, from the Department of Regional Planning is intended for the official and confidential use of the recipients to whom it is addressed. It contains information that may be confidential, privileged, work product, or otherwise exempted from disclosure under applicable law. If you have received this message in error, be advised that any review, disclosure, use, dissemination, distribution, or reproduction of this message or its contents is strictly prohibited. Please notify us immediately by reply email that you have received this message in error, and destroy this message, including any attachments.

shaul yakovi <shaul92@gmail.com>
To: greg@pagelawyers.com

Mon, Dec 24, 2012 at 3:02 PM

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Fwd: agua dulce

2 messages

shaul yakovi <shaul92@gmail.com>

Tue, Oct 23, 2012 at 5:18 PM

To: greg@pagelawyers.com

----- Forwarded message -----

From: **Mike Lewis** <mike@lewisandco.net>

Date: Wed, Oct 17, 2012 at 5:19 PM

Subject: agua dulce

To: mglaser@planning.lacounty.gov

Cc: jsanabria@planning.lacounty.gov, shaul92@gmail.com, karnier@gmail.com, evizcarra@lacbos.org

Mitch,

Spoke with Edel Vizcarra today and understand that the final adoption of this plan has been postponed until November 27th.

I would like to arrange a meeting with you and the property owner so we can discuss their concerns and their plans for a Conditional Use Permit.

Edel indicated he would be willing to join us.

Let me know what times might work for you.

Mike Lewis

Consultant

951-206-4420

From: shaul yakovi [mailto:shaul92@gmail.com]**Sent:** Thursday, October 11, 2012 1:18 PM**To:** mike@lewisandco.net**Subject:** agua

Fwd: OVOV. Planing

Inboxx

Erez

11:13 AM (43 minutes ago)

to me

Shaul take a look

Mail account

Begin forwarded message:

From: Mitch Glaser <mglaser@planning.lacounty.gov>
Date: October 11, 2012 10:31:28 AM PDT
To: "karnier@gmail.com" <karnier@gmail.com>
Cc: Jon Sanabria <jsanabria@planning.lacounty.gov>
Subject: OVOV

Mr. Karni: It is my understanding that you called my office yesterday for more information regarding the Santa Clarita Valley Area Plan Update, otherwise known as One Valley One Vision, or OVOV. It is also my understanding that you are specifically concerned with the zoning changes for Assessor's Parcel Numbers 3212-007-025, 3212-007-026, 3212-007-027, 3212-007-028, and 3212-008-054 in the unincorporated community of Agua Dulce. OVOV began in 2001. We released a Preliminary Draft Plan in 2008, a Draft Plan in 2009, a Revised Draft Plan in 2010, and a Final Draft Plan in 2011. The Regional Planning Commission conducted public hearings in 2009, 2010, and 2011 and ultimately recommended approval by the Board of Supervisors. On February 28, 2012, the Board of Supervisors conducted a public hearing and indicated its intent to approve the Plan. I anticipate that the Board will adopt the Plan in the near future. For more information regarding OVOV, please refer to the project web site at <http://planning.lacounty.gov/ovov>. The Preliminary Draft Plan (and subsequent drafts) designated these parcels as Rural Land 2 (RL2), with a maximum density of 1 unit per 2 acres. In addition, the Preliminary Draft Plan (and subsequent drafts) designated these parcels as a Significant Ecological Area (SEA). In 2009, we conducted a zoning consistency analysis. We noted that the existing zoning is R-R (Resort and Recreation). In consideration of the RL2 designation and the SEA designation, we felt that A-1 (Light Agricultural) was a more appropriate zone. So after conducting the zoning consistency analysis, we proposed to change the zoning from R-R to A-1. In summer 2009, we researched our records and conducted some field studies and did not find any existing uses that would become non-conforming. The proposed zoning has been shown on maps, and our OVOV-NET mapping system, since fall 2009. In fall 2009, we sent a notice to each property owner affected by OVOV. The notice listed the proposed land use designation and the proposed zoning designation for each property. The mailing addresses were provided by the County Assessor's Office. The notices for Assessor's Parcel Numbers 3212-007-025, 3212-007-026, 3212-007-027, 3212-007-028, and 3212-008-054 were mailed to the following: BORDEN, STEVEN L AND SUSAN W TRS26525 JOSEL DR SANTA CLARITA CA91387

I hope this information is helpful. Please feel free to contact me if you have additional questions.
Thanks, Mitch Glaser, AICP Supervising Regional Planner Community Studies North
Section Department of Regional Planning 320 W. Temple Street Los Angeles, CA
90012 <http://planning.lacounty.gov> 213-974-6476

shaul yakovi <shaul92@gmail.com>
To: greg@pagelawyers.com

Wed, Oct 24, 2012 at 2:44 PM

----- Forwarded message -----

From: <mike@lewisandco.net>
Date: Oct 23, 2012 6:49 PM
Subject: Re: agua dulce
To: "Mitch Glaser" <mglaser@planning.lacounty.gov>
Cc: "Jon Sanabria" <jsanabria@planning.lacounty.gov>, "Shaul Yakovi" <shaul92@gmail.com>, "karnier@gmail.com" <karnier@gmail.com>, "Edel Vizcarra" <evizcarra@lacbos.org>

Any day but tuesday works. I'm tied up all day with the construction contractors associations.

Mike

Sent from my Verizon Wireless BlackBerry

From: Mitch Glaser <mglaser@planning.lacounty.gov>
Date: Tue, 23 Oct 2012 22:28:56 +0000
To: Mike Lewis <mike@lewisandco.net>
Cc: Jon Sanabria <jsanabria@planning.lacounty.gov>; shaul92@gmail.com <shaul92@gmail.com>; karnier@gmail.com <karnier@gmail.com>; evizcarra@lacbos.org <evizcarra@lacbos.org>
Subject: RE: agua dulce

Hi Mike:

Can you meet with us on Tuesday October 30 before 11 a.m.? Please let me know ASAP.

Thanks,

Mitch

Mitch Glaser, AICP
Supervising Regional Planner
Community Studies North Section
Department of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012
<http://planning.lacounty.gov>
213-974-6476

From: Mitch Glaser
Sent: Wednesday, October 17, 2012 5:47 PM
To: Mike Lewis
Cc: Jon Sanabria; shaul92@gmail.com; karnier@gmail.com; evizcarra@lacbos.org
Subject: Re: agua dulce

Hi Mike:

I would be happy to meet with you. It is my understanding that folks from our current planning and zoning enforcement groups have been involved so I will need to invite them as well. I may also need to invite our county counsel. I will coordinate with everyone on the county side and will send you and Edel some possible dates and times ASAP.

Thanks,

Mitch

Mitch Glaser, AICP
Supervising Regional Planner

4/30/2021

Gmail - Fwd: agua dulce

Community Studies North Section

Department of Regional Planning

320 W. Temple Street

Los Angeles, CA 90012

<http://planning.lacounty.gov>

213-974-6476

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

(no subject)

1 message

shaul yakovi <shaul92@gmail.com>

Thu, Oct 11, 2012 at 12:00 PM

To: greg@pagelawyers.com

Fwd: OVOV. Planing
InboxxErez
11:13 AM (43 minutes ago)

to me

Shaul take a look

Mail account

Begin forwarded message:

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Cc: Jon Sanabria <jsanabria@planning.lacounty.gov>
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Mr. Karni: It is my understanding that you called my office yesterday for more information regarding the Santa Clarita Valley Area Plan Update, otherwise known as One Valley One Vision, or OVOV. It is also my understanding that you are specifically concerned with the zoning changes for Assessor's Parcel Numbers 3212-007-025, 3212-007-026, 3212-007-027, 3212-007-028, and 3212-008-054 in the unincorporated community of Agua Dulce. OVOV began in 2001. We released a Preliminary Draft Plan in 2008, a Draft Plan in 2009, a Revised Draft Plan in 2010, and a Final Draft Plan in 2011. The Regional Planning Commission conducted public hearings in 2009, 2010, and 2011 and ultimately recommended approval by the Board of Supervisors. On February 28, 2012, the Board of Supervisors conducted a public hearing and indicated its intent to approve the Plan. I anticipate that the Board will adopt the Plan in the near future. For more information regarding OVOV, please refer to the project web site at <http://planning.lacounty.gov/ovov>. The Preliminary Draft Plan (and subsequent drafts) designated these parcels as Rural Land 2 (RL2), with a maximum density of 1 unit per 2 acres. In addition, the Preliminary Draft Plan (and subsequent drafts) designated these parcels as a Significant Ecological Area (SEA). In 2009, we conducted a zoning consistency analysis. We noted that the existing zoning is R-R (Resort and Recreation). In consideration of the RL2 designation and the SEA designation, we felt that A-1 (Light Agricultural) was a more appropriate zone. So after conducting the zoning consistency analysis, we proposed to change the zoning from R-R to A-1. In summer 2009, we researched our records and conducted some field studies and did not find any existing uses that would become non-conforming. The proposed zoning has been shown on maps, and our OVOV-NET mapping system, since fall 2009. In fall 2009, we sent a notice to each property owner affected by OVOV. The notice listed the proposed land use designation and the proposed zoning designation for each property. The mailing addresses were provided by the County Assessor's Office. The notices for Assessor's Parcel Numbers 3212-007-025, 3212-007-026, 3212-007-027, 3212-007-028, and 3212-008-054 were mailed to the following: BORDEN, STEVEN L AND SUSAN W TRS26525 JOSEL DRSANTA CLARITA CA91387

I hope this information is helpful. Please feel free to contact me if you have additional questions. Thanks, Mitch Mitch Glaser, AICPSupervising Regional PlannerCommunity Studies North SectionDepartment of Regional Planning320 W. Temple StreetLos Angeles, CA 90012<http://planning.lacounty.gov>213-974-6476



shaul yakovi <shaul92@gmail.com>

32222 Agua Dulce Cyn

2 messages

Dawn Melillo <dmelillo@dpw.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>

Wed, Apr 14, 2021 at 6:10 PM

Good morning Sean,

As discussed, Planning approval is required prior to any building permit issuance. Please contact 213-974-6411 or kschlegel@planning.lacounty.gov.

Dawn Melillo

Building Engineering Inspector

Los Angeles County Department of Public Works

661-222-2940

shaul yakovi <shaul92@gmail.com>
To: Steve Kaplan <sk.landuselaw@gmail.com>

Thu, Apr 15, 2021 at 1:55 PM

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Meeting at 32222 Aqua Dulce Canyon Rd

2 messages

Kerstin Schlegel <kschlegel@planning.lacounty.gov>
To: "shaul92@gmail.com" <shaul92@gmail.com>

Thu, Jan 11, 2018 at 11:54 AM

Dear Mr. Yakovi,

This e-mail is to confirm our meeting scheduled for Wednesday, January 17 at 1.30pm at your property located at 32222 Aqua Dulce Canyon Rd.

Please let me know if you have any questions.

Regards,

Kerstin Schlegel
Senior Planner
Zoning Enforcement North Section
Department of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012
<http://planning.lacounty.gov>
213-974-6456



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shaul yakovi <shaul92@gmail.com>
To: Kerstin Schlegel <kschlegel@planning.lacounty.gov>

Wed, Jan 17, 2018 at 1:45 PM

Hello Kristin

Today is the 17th of the month we have an appointment at 1:30 right now is 150 and is look you're not Showing up so I'm waiting for another 30 minutes and then I call your office

Thanks

Shaul

Sent from my iPhone

On Jan 11, 2018, at 11:54 AM, Kerstin Schlegel <kschlegel@planning.lacounty.gov> wrote:

Dear Mr. Yakovi,

This e-mail is to confirm our meeting scheduled for Wednesday, January 17 at 1.30pm at your property located at 32222 Aqua Dulce Canyon Rd.

Please let me know if you have any questions.

Regards,

Kerstin Schlegel
Senior Planner
Zoning Enforcement North Section
Department of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012
<http://planning.lacounty.gov>
213-974-6456

<image001.gif>

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Fwd: agua dulce

1 message

Erez Karni <karnier@gmail.com>
To: shaul yakovi <shaul92@gmail.com>

Wed, Dec 16, 2020 at 3:28 PM

Office mail server

Begin forwarded message:

From: Mitch Glaser <mglaser@planning.lacounty.gov>
Date: October 25, 2012 at 09:02:26 PDT
To: mike@lewisandco.net
Cc: Jon Sanabria <jsanabria@planning.lacounty.gov>, Shaul Yakovi <Shaul92@gmail.com>, karnier@gmail.com, Edel Vizcarra <evizcarra@lacbos.org>, Amir Bashar <abashar@planning.lacounty.gov>, Richard Claghorn <rclaghorn@planning.lacounty.gov>, Robert Glaser <rglaser@planning.lacounty.gov>, Oscar Gomez <ogomez@planning.lacounty.gov>, "Navarro, Veronica" <vnavarro@counsel.lacounty.gov>, Mark Herwick <mherwick@planning.lacounty.gov>, Susan Tae <stae@planning.lacounty.gov>
Subject: RE: agua dulce

Hi Mike:

Thursday November 8 is the earliest date that works for all the County folks. I have scheduled the meeting for 2 p.m. and the meeting location is Room 160 at the Hall of Records (320 W. Temple Street). Room 160 is on the first floor of the building near the snack bar.

Attendees will include the following:

- Amir Bashar, Zoning Enforcement North
- Richard Claghorn, Land Development Coordinating Center / Site Plan Review
- Mitch Glaser, Community Studies North
- Rob Glaser, Zoning Permits North
- Oscar Gomez, Zoning Enforcement North
- Patricia Keane, County Counsel

Feel free to contact me if you have any questions in the meantime.

Thanks,

Mitch

Mitch Glaser, AICP
Supervising Regional Planner
Community Studies North Section
Department of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012
<http://planning.lacounty.gov>
213-974-6476

From: mike@lewisandco.net [mailto:mike@lewisandco.net]
Sent: Wednesday, October 24, 2012 10:54 AM
To: Mitch Glaser
Cc: Jon Sanabria; Shaul Yakovi; karnier@gmail.com; Edel Vizcarra
Subject: Re: agua dulce

29, 5, 7, 8 all work. Can we do the 29th?
Mike

Sent from my Verizon Wireless BlackBerry

From: Mitch Glaser <mglaser@planning.lacounty.gov>
Date: Wed, 24 Oct 2012 15:10:35 +0000
To: mike@lewisandco.net<mike@lewisandco.net>
Cc: Jon Sanabria<jsanabria@planning.lacounty.gov>; Shaul Yakovi<shaul92@gmail.com>; karnier@gmail.com<karnier@gmail.com>; Edel Vizcarra<evizcarra@lacbos.org>
Subject: RE: agua dulce

Hi Mike:

Thanks for letting me know. Here are some new options, please advise of your availability and I will coordinate with the folks on my end.

Monday October 29, before 1 p.m.
Wednesday October 31, 2 p.m. or later
Monday November 5, 11 a.m. or later
Wednesday November 7, anytime
Thursday November 8, 1 p.m. or later

Mitch

Mitch Glaser, AICP
Supervising Regional Planner
Community Studies North Section
Department of Regional Planning
320 W. Temple Street
Los Angeles, CA 90012
<http://planning.lacounty.gov>
213-974-6476

From: mike@lewisandco.net [mailto:mike@lewisandco.net]
Sent: Tuesday, October 23, 2012 6:49 PM
To: Mitch Glaser
Cc: Jon Sanabria; Shaul Yakovi; karnier@gmail.com; Edel Vizcarra
Subject: Re: agua dulce

Any day but tuesday works. I'm ried up all day with the construction contractors associations.
Mike

Sent from my Verizon Wireless BlackBerry

From: Mitch Glaser <mglaser@planning.lacounty.gov>
Date: Tue, 23 Oct 2012 22:28:56 +0000
To: Mike Lewis<mike@lewisandco.net>
Cc: Jon Sanabria<jsanabria@planning.lacounty.gov>; shaul92@gmail.com<shaul92@gmail.com>; karnier@gmail.com<karnier@gmail.com>; evizcarra@lacbos.org<evizcarra@lacbos.org>
Subject: RE: agua dulce

Hi Mike:

Can you meet with us on Tuesday October 30 before 11 a.m.? Please let me know ASAP.

Thanks,

Mitch

Mitch Glaser, AICP
Supervising Regional Planner
Community Studies North Section

Department of Regional Planning

320 W. Temple Street

Los Angeles, CA 90012

<http://planning.lacounty.gov>

213-974-6476

From: Mitch Glaser**Sent:** Wednesday, October 17, 2012 5:47 PM**To:** Mike Lewis**Cc:** Jon Sanabria; shaul92@gmail.com; karnier@gmail.com; evizcarra@lacbos.org**Subject:** Re: agua dulce

Hi Mike:

I would be happy to meet with you. It is my understanding that folks from our current planning and zoning enforcement groups have been involved so I will need to invite them as well. I may also need to invite our county counsel. I will coordinate with everyone on the county side and will send you and Edel some possible dates and times ASAP.

Thanks,

Mitch

Mitch Glaser, AICP

Supervising Regional Planner

Community Studies North Section

Department of Regional Planning

320 W. Temple Street

Los Angeles, CA 90012

<http://planning.lacounty.gov>

213-974-6476

On Oct 17, 2012, at 5:19 PM, "Mike Lewis" <mike@lewisandco.net> wrote:

Mitch,

Spoke with Edel Vizcarra today and understand that the final adoption of this plan has been postponed until November 27th.

I would like to arrange a meeting with you and the property owner so we can discuss their concerns and their plans for a Conditional Use Permit.

Edel indicated he would be willing to join us.

Let me know what times might work for you.

Mike Lewis
Consultant
951-206-4420

From: shaul yakovi [mailto:shaul92@gmail.com]
Sent: Thursday, October 11, 2012 1:18 PM
To: mike@lewisandco.net
Subject: agua

Fwd: OVOV. Planing
Inboxx

Erez
11:13 AM (43 minutes ago)

to me

Shaul take a look

Mail account

Begin forwarded message:

From: Mitch Glaser <mglaser@planning.lacounty.gov>
Date: October 11, 2012 10:31:28 AM PDT
To: "karnier@gmail.com" <karnier@gmail.com>
Cc: Jon Sanabria <jsanabria@planning.lacounty.gov>
Subject: OVOV

Mr. Karni: It is my understanding that you called my office yesterday for more information regarding the Santa Clarita Valley Area Plan Update, otherwise known as One Valley One Vision, or OVOV. It is also my understanding that you are specifically concerned with the zoning changes for Assessor's Parcel Numbers 3212-007-025, 3212-007-026, 3212-007-027, 3212-007-028, and 3212-008-054 in the unincorporated community of Agua Dulce. OVOV began in 2001. We released a Preliminary Draft Plan in 2008, a Draft Plan in 2009, a Revised Draft Plan in 2010, and a Final Draft Plan in 2011. The Regional Planning Commission conducted public hearings in 2009, 2010, and 2011 and ultimately recommended approval by the Board of Supervisors. On February 28, 2012, the Board of Supervisors conducted a public hearing and indicated its intent to approve the Plan. I anticipate that the Board will adopt the Plan in the near future. For more information regarding OVOV, please refer to the project web site at <http://planning.lacounty.gov/ovov>. The Preliminary Draft Plan (and subsequent drafts) designated these parcels as Rural Land 2 (RL2), with a maximum density of 1 unit per 2 acres. In addition, the Preliminary Draft Plan (and subsequent drafts) designated these parcels as a Significant Ecological Area (SEA). In 2009, we conducted a zoning consistency analysis. We noted that the existing zoning is R-R (Resort and Recreation). In consideration of the RL2 designation and the SEA designation, we felt that A-1 (Light Agricultural) was a more appropriate zone. So after conducting the zoning consistency analysis, we proposed to change the zoning from R-R to A-1. In summer 2009, we researched our records and conducted some field studies and did not find any existing uses that would become non-conforming. The proposed zoning has been shown on maps, and our OVOV-NET mapping system, since fall 2009. In fall 2009, we sent a notice to each property owner affected by OVOV. The notice listed the proposed land use designation and the proposed zoning designation for each property. The mailing addresses were provided by the County Assessor's Office. The notices for Assessor's Parcel Numbers 3212-007-025,

4/30/2021

Gmail - Fwd: agua dulce

3212-007-026, 3212-007-027, 3212-007-028, and 3212-008-054 were mailed to the following:
BORDEN, STEVEN L AND SUSAN W TRS26525 JOSEL DRSANTA CLARITA CA91387

I hope this information is helpful. Please feel free to contact me if you have additional questions. Thanks, Mitch Mitch Glaser, AICP Supervising Regional Planner Community Studies North Section Department of Regional Planning 320 W. Temple Street Los Angeles, CA 90012 <http://planning.lacounty.gov> 213-974-6476



shaul yakovi <shaul92@gmail.com>

Fwd: Application Status regarding R2012-02971

2 messages

shaul yakovi <shaul92@gmail.com>
To: Erez Karni <karni69@gmail.com>

Mon, Dec 24, 2012 at 2:43 PM

----- Forwarded message -----

From: **Susan Tae** <stae@planning.lacounty.gov>

Date: Mon, Dec 24, 2012 at 8:55 AM

Subject: Application Status regarding R2012-02971

To: "Shaul92@gmail.com" <Shaul92@gmail.com>

Cc: Mark Herwick <mherwick@planning.lacounty.gov>, Oscar Gomez <ogomez@planning.lacounty.gov>, Mitch Glaser <mglaser@planning.lacounty.gov>, Robert Glaser <rglaser@planning.lacounty.gov>

Good morning Shaul,

My name is Susie Tae and I work with Mr. Rob Glaser. He will be out of the office this week, and asked that I forward you this e-mail, documenting that you have submitted the necessary information in order for the application to be deemed complete.

Hi Shaul,

This email is confirmation that your application for Project R2012-02971/CUP 201200163/ENV 201200305 is complete. The project request is for a Conditional Use Permit to authorize a private recreation club, a type 47 (beer, wine, and distilled spirits) ABC permit for on-site consumption, massage services, a winery with a tasting room, and a caretaker's residence in the R-R-1 (Resort and Recreation – One Acre Required Minimum Lot Size) zone. During the submittal process I have verified that you submitted the appropriate documentation, but I have returned part of this required information to you, since it was original documents to be reproduced. Please be aware that I will be waiting for these documents before proceeding.

Thanks,

Rob Glaser

Thank you, and happy holidays!

Susie

4/30/2021

Gmail - Fwd: Application Status regarding R2012-02971

Susan Tae, AICP

Supervising Regional Planner

Zoning Permits North Section

Department of Regional Planning

320 W. Temple Street

Los Angeles, CA 90012

<http://planning.lacounty.gov>

213-974-6443



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shaul yakovi <shaul92@gmail.com>
To: greg@pagelawyers.com

Mon, Dec 24, 2012 at 3:02 PM

[Quoted text hidden]



shaul yakovi <shaul92@gmail.com>

Fwd: driveway 32222 Aqua Dulce Cyn. Rd

1 message

shaul yakovi <shaul92@gmail.com>

Thu, Apr 30, 2009 at 11:36 PM

To: laffabar@gmail.com

----- Forwarded message -----

From: **Cruz, Ruben** <RCRUZ@dpw.lacounty.gov>

Date: Wed, Apr 29, 2009 at 3:01 PM

Subject: RE: driveway 32222 Aqua Dulce Cyn. Rd

To: "Cruz, Ruben" <RCRUZ@dpw.lacounty.gov>, "Lexin, Robert" <RLEXIN@dpw.lacounty.gov>, "Claghorn, Richard" <rclaghorn@planning.lacounty.gov>, "Al-Badawi, Ribhi" <RALBADAWI@dpw.lacounty.gov>, "Nguyen, Joseph" <CHNGUYEN@dpw.lacounty.gov>, "Gomez, Oscar" <ogomez@planning.lacounty.gov>

Cc: "Thompson, Scott" <STHOMP@dpw.lacounty.gov>, "Schleikorn, Letty" <LSCHLEIK@dpw.lacounty.gov>, "Paidar, Nooshin" <npaidar@planning.lacounty.gov>, shaul92@gmail.com, "Duong, Toan" <TDUONG@dpw.lacounty.gov>

Richard,

Per our telephone conversation with the applicant, the applicant will submit a copy of the site plan for Public Works tomorrow afternoon. Per our discussion, this driveway approach will be a temporary apron, until the plot plan and CUP has been reviewed and comment by Land Development. If the applicant wants to construct a sign within our road right of way, we will forward them to our 8th floor Construction Division to review and approval of the encroachment.

Upon the submittal of the site plan, I will determine what review and approval will be required.

From: Cruz, Ruben**Sent:** Wednesday, April 29, 2009 2:14 PM**To:** Lexin, Robert; 'Claghorn, Richard'; Al-Badawi, Ribhi; Nguyen, Joseph; 'Gomez, Oscar'**Cc:** Thompson, Scott; Schleikorn, Letty; 'Paidar, Nooshin'**Subject:** RE: driveway 32222 Aqua Dulce Cyn. Rd

Richard and Oscar,

This project has not been submitted to Land Development for us to review and recommend approval. The applicant is calling my supervisor regarding the commercial driveway construction. I need additional information regarding this project (approval process, CUP, plot plan) ?

Applicant has informed me the CUP has expired, but DRP has given permission to continue with the paving including the reconstruction of driveway apron. At this time we do not know if the CUP requires additional improvements, or if a plot plan was approved without our Division reviewing and setting road improvements.

If you can please provide me with additional information, so we can assist the applicant. We are going to ask the applicant to submit to us the latest plot plan, so we can assist .the applicant.

From: Lexin, Robert
Sent: Wednesday, April 29, 2009 11:25 AM
To: Cruz, Ruben
Cc: Thompson, Scott
Subject: FW: driveway 32222 Aqua Dulce Cyn. Rd

Good morning Ruben,

The property owner of 32222 Aqua Dulce Cyn Rd. wants to obtain a permit for commercial driveway construction. They received the following (see below) from Regional Planning.

I talked with Leslie Cozby of B&S and she indicated that the property owner performed grading for construction across lots without a building permit and needs a CUP.

Please advise.

Thank you for your help,

Robert W. Lexin

Senior Construction Inspector

Permit Office No. 5

38126 North Sierra Highway

Palmdale, CA 93550

(661) 947-4151 Office

(661) 904-8380 Cell

(661) 947-5022 FAX

rlexin@dpw.lacounty.gov

From: shaul yakovi [mailto:shaul92@gmail.com]
Sent: Wednesday, April 29, 2009 9:18 AM
To: Lexin, Robert
Subject: Fwd: driveway

----- Forwarded message -----

From: Claghorn, Richard <rclaghorn@planning.lacounty.gov>
Date: Tue, Apr 28, 2009 at 5:15 PM
Subject: driveway
To: shaul yakovi <shaul92@gmail.com>

Shaul,

We spoke yesterday and earlier today about the driveway at 32222 Agua Dulce Canyon Road that you would like to complete the paving for. A permit (PCCO 200801981) relating to the driveway was issued but work was stopped due to some violations on the property before it was completed. You have a pending plot plan review case with us (RPP 200900080) for the outdoor dance pavilion and other structures on the property that you are seeking approval for. There are still some issues that need to be resolved before we can issue an approval of the plot plan case.

After discussing the driveway situation with Oscar Gomez of our Zoning Enforcement III section and Nooshin Paidar, my supervisor, we decided that it would be okay to resume work on completing the driveway once you get the okay from Public Works to resume. You would need to wait for the site plan to be approved and approval from Building and Safety and any other required agencies to be granted before the other work can be done.

We would not have any objection to you finishing work on the driveway once you get the okay from Public Works. We would also request that you verify the right of way location with Public Works and avoid putting any posts or other structures within the public right of way unless they authorize it. Let me know if you have any questions.

Richard Claghorn



shaul yakovi <shaul92@gmail.com>

Re: Inspection

3 messages

shaul yakovi <shaul92@gmail.com>

Tue, May 14, 2013 at 3:17 PM

To: Amir Bashar <abashar@planning.lacounty.gov>

Hi Amir

i did not see your email but if you like to come this thursday email me the time of the day

Thank You
Shaul Yakovi

On Tue, May 7, 2013 at 11:48 AM, Amir Bashar <abashar@planning.lacounty.gov> wrote:

Hi Mr. Yakovi,

I would like to schedule an appointment with you to inspect the improved and paved parking spaces for the property on Agua Dulce Cyn Rd. Specifically, I would like to measure the handicapped spaces to see that they meet the required codes. I have Thursday afternoon open to meet with you on the property. Please let me know if this works for you.
Thanks!

Amir Bashar

Regional Planning

Zoning Enforcement

213-974-6455

661-222-2940

shaul yakovi <shaul92@gmail.com>

Mon, May 20, 2013 at 3:32 PM

To: Amir Bashar <abashar@planning.lacounty.gov>

Hello Amir

It was nice to see you on Thursday hope you clear our violation

Thank You
Shaul Yakovi
[Quoted text hidden]

shaul yakovi <shaul92@gmail.com>

Tue, May 28, 2013 at 2:22 PM

To: Amir Bashar <abashar@planning.lacounty.gov>

Hi amir

I am still waiting for your department's answer and clearing the violation. I've been waiting for this for two weeks
Thank You

Shaul Yakovi

On Tue, May 21, 2013 at 8:10 AM, Amir Bashar <abashar@planning.lacounty.gov> wrote:

Hi Shaul,

Unfortunately my supervisor is out of the office this week. I still need to go over the inspection results with him which will be this upcoming Tuesday (holiday on Monday). Thank you for your patients.

Amir

[Quoted text hidden]